

# SITE PLAN

## ONE AND FOUR CORPORATE DRIVE ANDOVER, MA

JANUARY 26, 2022

### OWNERS AND APPLICANTS:

IQHQ-1 CORPORATE, LLC AND  
 IQHQ-4 CORPORATE, LLC  
 ATTN: MR. WILLIAM ASHTON  
 C/O IQHQ REAL ESTATE INVESTMENT TRUST  
 ONE BOSTON PLACE, 201 WASHINGTON ST., STE 3920  
 BOSTON, MASSACHUSETTS 02108  
 TEL: (617) 314-7951

### CIVIL ENGINEER:

LINDEN ENGINEERING PARTNERS, LLC  
 100 TRADECENTER, SUITE G700  
 WOBURN, MA 01801-1851  
 TEL: (781) 933-3711

### ARCHITECT:

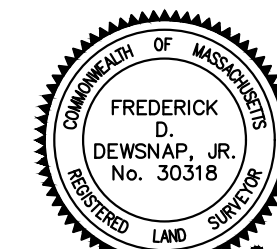
ELLENZWEIG  
 230 CONGRESS STREET  
 BOSTON, MA 02110  
 TEL: (617) 491-5575

### LANDSCAPE ARCHITECT:

COPLEY WOLFF DESIGN GROUP  
 10 POST OFFICE SQUARE, SUITE 1315  
 BOSTON, MA 02109  
 TEL: (617) 654-9000

### NOTE:

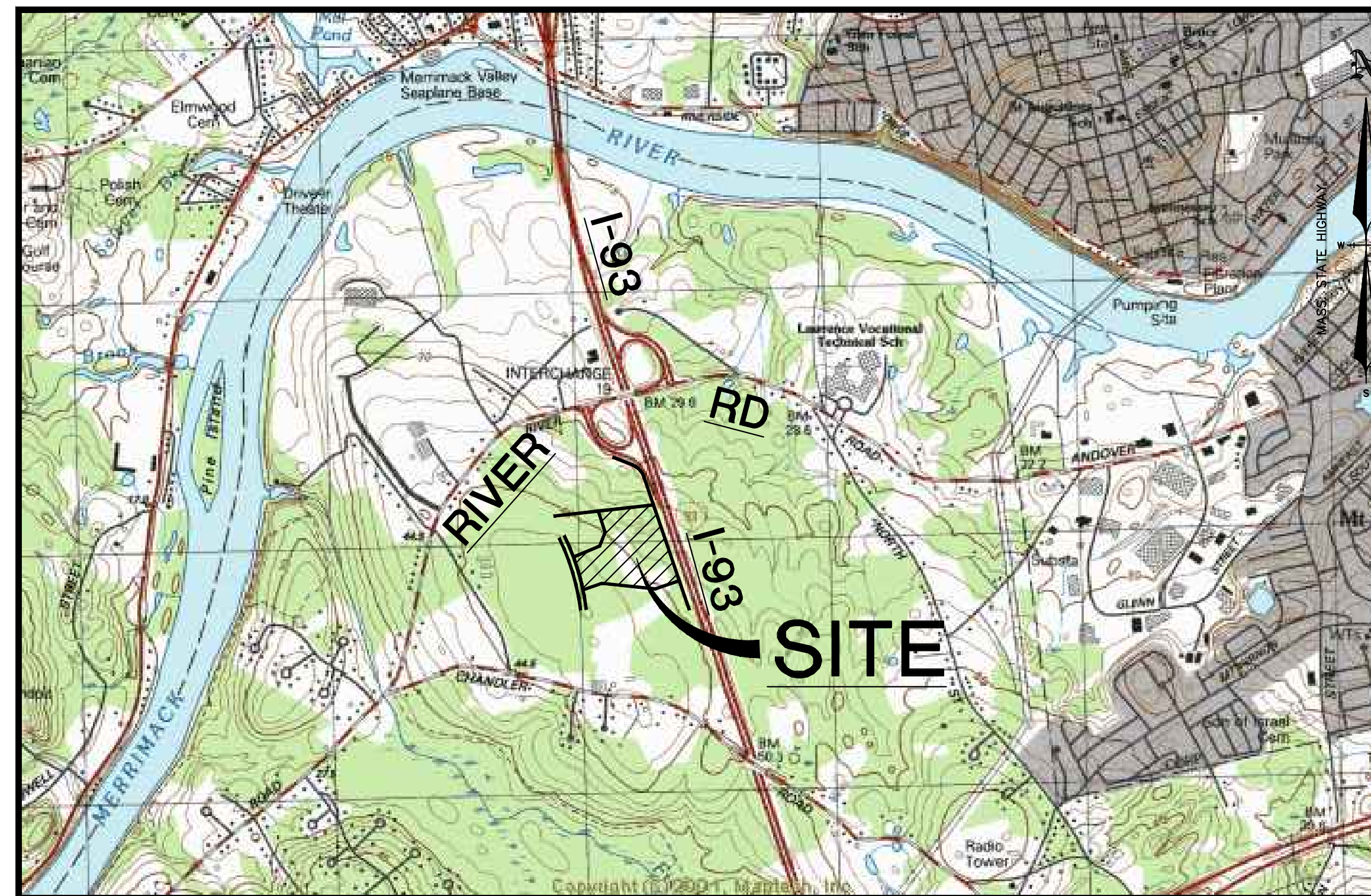
1. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST TOWN OF ANDOVER AND MASSACHUSETTS DEPARTMENT OF TRANSPORTATION, HIGHWAY DIVISION STANDARDS AND SPECIFICATIONS.



*Frederick D. Newsam, Jr.*

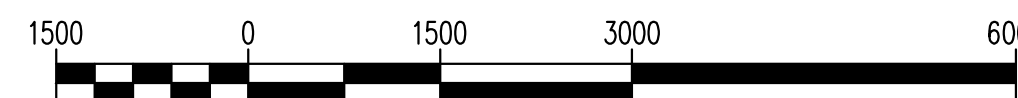


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### LOCUS MAP

SCALE 1" = 1500'



### DRAWING LIST:

COVER COVER SHEET

SITE SURVEY  
 SV-1 - SV-4 EXISTING SITE SURVEY PLAN

#### SITE PLANS

- C-1 SITE LAYOUT AND MATERIALS PLAN
- C-2 SITE GRADING AND EROSION CONTROL PLAN
- C-3 SITE UTILITY PLAN
- C-4 SEWER CONNECTION PLAN, NOTES & ZONING TABLE
- C-5 - C-9 CONSTRUCTION DETAILS

#### FUTURE PARKING

FP-1 - FP-3 FUTURE PARKING PLAN

#### SITE LIGHTING

- SL-1 SITE LIGHTING PLAN
- SL-2 LIGHTING SCHEDULES, DETAILS AND NOTES
- SL-3 PHOTOMETRIC PLAN
- SL-4 SITE LIGHTING FIXTURES

#### LANDSCAPING

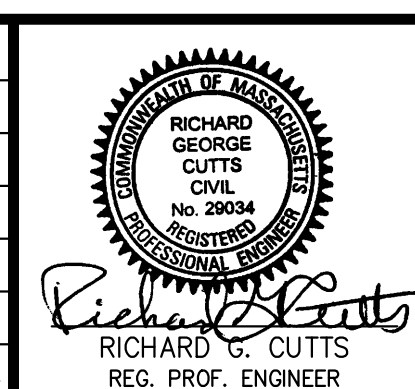
- L-100 - L-101 MATERIAL PLAN
- L-200 - L-201 LAYOUT PLAN
- L-300 GRADING PLAN
- L-400 - L-401 PLANTING PLAN
- L-500 - L-502 DETAILS

#### ARCHITECTURAL

- A1.00 FIRST FLOOR PLAN
- A1.01 SECOND FLOOR PLAN
- A1.02 ROOF PLAN
- A2.01 EXTERIOR ELEVATIONS

1/26/2022	RGC	ISSUED FOR PERMITTING
DATE	BY	REVISIONS

CALC. BY:	WAJ
DR. BY:	WAJ
CKD. BY:	RGC/WAJ
APPD. BY:	RGC
JOB NO.:	21055
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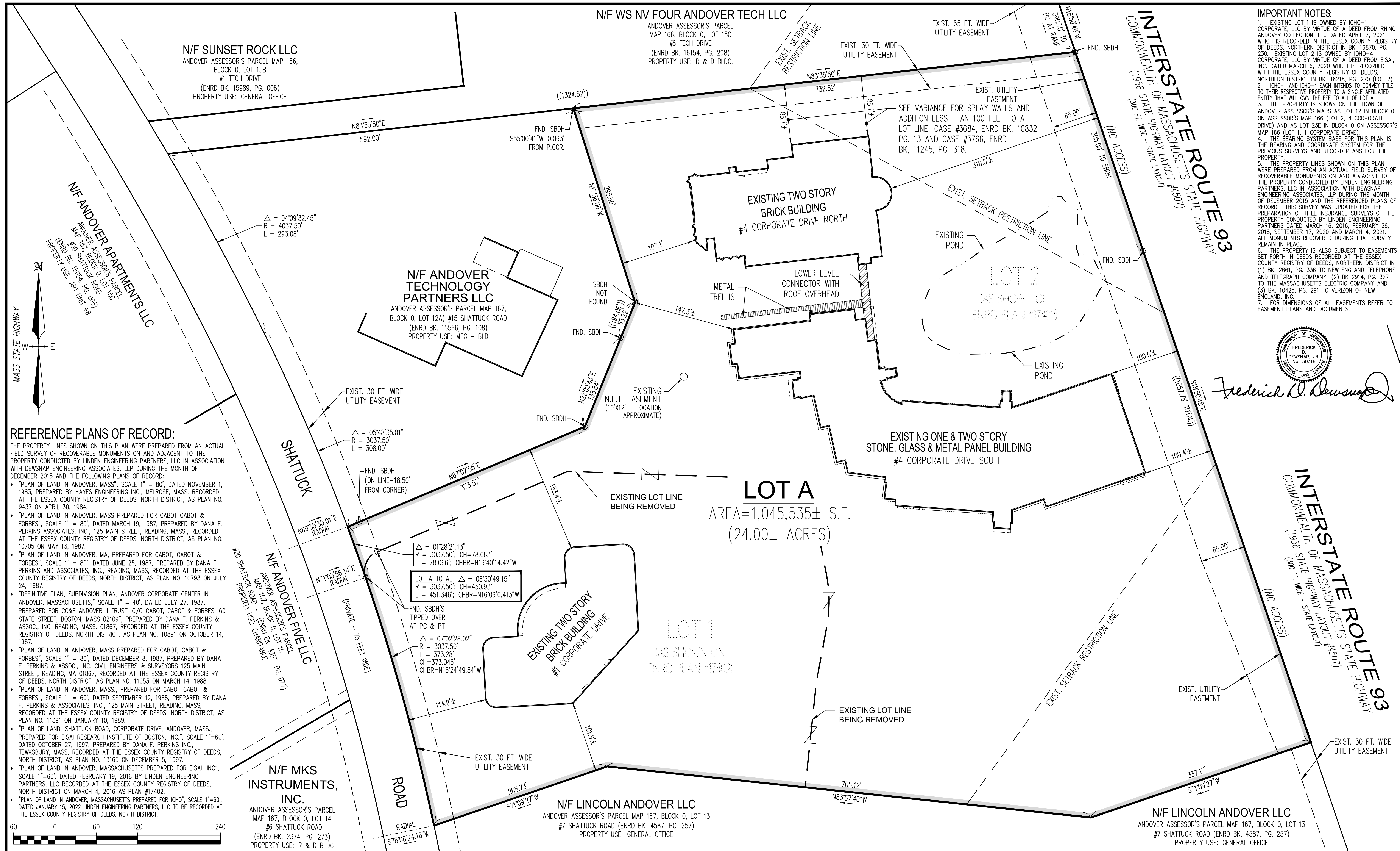
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Civil - Environmental Engineering including Storm water, Wastewater, Water Supply, Highway & Infrastructure Design, Land Planning, Land Subdivision, Site Design, Environmental Permitting, Wetlands Permitting & Land Development Permitting

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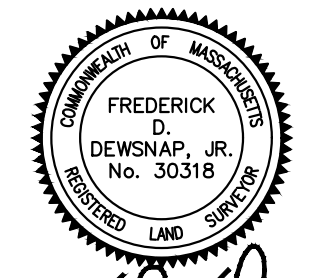
**COVER SHEET**  
**PROPOSED RENOVATION AND ADDITION**  
**ONE AND FOUR CORPORATE DRIVE**  
**ANDOVER, MASSACHUSETTS**

SHEET  
COVER



**IMPORTANT NOTES:**

- EXISTING LOT 1 IS OWNED BY IQHQ-1 CORPORATE, LLC BY VIRTUE OF A DEED FROM RHINO ANDOVER COLLECTION, LLC DATED APRIL 7, 2021 WHICH IS RECORDED IN THE ESSEX COUNTY REGISTRY OF DEEDS, NORTHERN DISTRICT IN BK. 16870, PG. 230. EXISTING LOT 2 IS OWNED BY IQHQ-4 CORPORATE, LLC BY VIRTUE OF A DEED FROM EISAL, INC. DATED MARCH 6, 2020 WHICH IS RECORDED WITH THE ESSEX COUNTY REGISTRY OF DEEDS, NORTHERN DISTRICT IN BK. 16218, PG. 270 (LOT 2).
- IQHQ-1 AND IQHQ-4 EACH INTENDS TO CONVEY TITLE TO THEIR RESPECTIVE PROPERTY TO A SINGLE AFFILIATED ENTITY THAT WILL OWN THE FEE TO ALL OF LOT A.
- THE PROPERTY IS SHOWN ON THE TOWN OF ANDOVER ASSESSOR'S MAPS AS LOT 12 IN BLOCK 0 ON ASSESSOR'S MAP 166 (LOT 2, 4 CORPORATE DRIVE) AND AS LOT 23E IN BLOCK 0 ON ASSESSOR'S MAP 166 (LOT 1, 1 CORPORATE DRIVE).
- THE BEARING SYSTEM BASE FOR THIS PLAN IS THE BEARING AND COORDINATE SYSTEM FOR THE PREVIOUS SURVEYS AND RECORD PLANS FOR THE PROPERTY.
- THE PROPERTY LINES SHOWN ON THIS PLAN WERE PREPARED FROM AN ACTUAL FIELD SURVEY OF RECOVERABLE MONUMENTS ON AND ADJACENT TO THE PROPERTY CONDUCTED BY LINDEN ENGINEERING PARTNERS, LLC IN ASSOCIATION WITH DEWSNAP ENGINEERING ASSOCIATES, LLP DURING THE MONTH OF DECEMBER 2015 AND THE REFERENCED PLANS OF RECORD. THIS SURVEY WAS UPDATED FOR THE PREPARATION OF TITLE INSURANCE SURVEYS OF THE PROPERTY CONDUCTED BY LINDEN ENGINEERING PARTNERS DATED MARCH 16, 2016, FEBRUARY 26, 2018, SEPTEMBER 17, 2020 AND MARCH 4, 2021. ALL MONUMENTS RECOVERED DURING THAT SURVEY REMAIN IN PLACE.
- THE PROPERTY IS ALSO SUBJECT TO EASEMENTS SET FORTH IN DEEDS RECORDED AT THE ESSEX COUNTY REGISTRY OF DEEDS, NORTHERN DISTRICT IN (1) BK. 2661, PG. 336 TO NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY; (2) BK. 2914, PG. 327 TO THE MASSACHUSETTS ELECTRIC COMPANY AND (3) BK. 10425, PG. 291 TO VERIZON OF NEW ENGLAND, INC.
- FOR DIMENSIONS OF ALL EASEMENTS REFER TO EASEMENT PLANS AND DOCUMENTS.



Frederick D. Dewson, Jr.

**REFERENCE PLANS OF RECORD:**

- THE PROPERTY LINES SHOWN ON THIS PLAN WERE PREPARED FROM AN ACTUAL FIELD SURVEY OF RECOVERABLE MONUMENTS ON AND ADJACENT TO THE PROPERTY CONDUCTED BY LINDEN ENGINEERING PARTNERS, LLC IN ASSOCIATION WITH DEWSNAP ENGINEERING ASSOCIATES, LLP DURING THE MONTH OF DECEMBER 2015 AND THE FOLLOWING PLANS OF RECORD:
- "PLAN OF LAND IN ANDOVER, MASS", SCALE 1" = 80', DATED NOVEMBER 1, 1983, PREPARED BY HAYES ENGINEERING INC., MELROSE, MASS, RECORDED AT THE ESSEX COUNTY REGISTRY OF DEEDS, NORTH DISTRICT, AS PLAN NO. 9437 ON APRIL 30, 1984.
  - "PLAN OF LAND IN ANDOVER, MASS PREPARED FOR CABOT CABOT & FORBES", SCALE 1" = 80', DATED MARCH 19, 1987, PREPARED BY DANA F. PERKINS ASSOCIATES, INC., 125 MAIN STREET, READING, MASS., RECORDED AT THE ESSEX COUNTY REGISTRY OF DEEDS, NORTH DISTRICT, AS PLAN NO. 10705 ON MAY 13, 1987.
  - "PLAN OF LAND IN ANDOVER, MA, PREPARED FOR CABOT, CABOT & FORBES", SCALE 1" = 80', DATED JUNE 25, 1987, PREPARED BY DANA F. PERKINS AND ASSOCIATES, INC., READING, MASS, RECORDED AT THE ESSEX COUNTY REGISTRY OF DEEDS, NORTH DISTRICT, AS PLAN NO. 10793 ON JULY 24, 1987.
  - "DEFINITIVE PLAN, SUBDIVISION PLAN, ANDOVER CORPORATE CENTER IN ANDOVER, MASSACHUSETTS," SCALE 1" = 40', DATED JULY 27, 1987, PREPARED FOR CC&F ANDOVER II TRUST, C/O CABOT, CABOT & FORBES, 60 STATE STREET, BOSTON, MASS 02109, PREPARED BY DANA F. PERKINS & ASSOC., INC, READING, MASS. 01867, RECORDED AT THE ESSEX COUNTY REGISTRY OF DEEDS, NORTH DISTRICT, AS PLAN NO. 10891 ON OCTOBER 14, 1987.
  - "PLAN OF LAND IN ANDOVER, MASS PREPARED FOR CABOT, CABOT & FORBES", SCALE 1" = 80', DATED DECEMBER 8, 1987, PREPARED BY DANA F. PERKINS & ASSOC., INC. CIVIL ENGINEERS & SURVEYORS 125 MAIN STREET, READING, MA 01867, RECORDED AT THE ESSEX COUNTY REGISTRY OF DEEDS, NORTH DISTRICT, AS PLAN NO. 11053 ON MARCH 14, 1988.
  - "PLAN OF LAND IN ANDOVER, MASS., PREPARED FOR CABOT CABOT & FORBES", SCALE 1" = 60', DATED SEPTEMBER 12, 1988, PREPARED BY DANA F. PERKINS & ASSOCIATES, INC., 125 MAIN STREET, READING, MASS, RECORDED AT THE ESSEX COUNTY REGISTRY OF DEEDS, NORTH DISTRICT, AS PLAN NO. 11391 ON JANUARY 10, 1989.
  - "PLAN OF LAND, SHATTUCK ROAD, CORPORATE DRIVE, ANDOVER, MASS., PREPARED FOR EISAL RESEARCH INSTITUTE OF BOSTON, INC.", SCALE 1"=60', DATED OCTOBER 27, 1997, PREPARED BY DANA F. PERKINS INC., TEWKSBURY, MASS, RECORDED AT THE ESSEX COUNTY REGISTRY OF DEEDS, NORTH DISTRICT, AS PLAN NO. 13165 ON DECEMBER 5, 1997.
  - "PLAN OF LAND IN ANDOVER, MASSACHUSETTS PREPARED FOR EISAL, INC.", SCALE 1"=60'. DATED FEBRUARY 19, 2016 BY LINDEN ENGINEERING PARTNERS, LLC RECORDED AT THE ESSEX COUNTY REGISTRY OF DEEDS, NORTH DISTRICT ON MARCH 4, 2016 AS PLAN #17402.
  - "PLAN OF LAND IN ANDOVER, MASSACHUSETTS PREPARED FOR IQHQ", SCALE 1"=60'. DATED JANUARY 15, 2022 LINDEN ENGINEERING PARTNERS, LLC TO BE RECORDED AT THE ESSEX COUNTY REGISTRY OF DEEDS, NORTH DISTRICT.



DATE	BY	REV#	ISSUED FOR PERMITTING
1/26/2022	RGC	A	ISSUED FOR PERMITTING
			REVISIONS

CALC. BY:	WAJ
DR. BY:	WAJ
CKD. BY:	RGC/WAJ
APPD. BY:	RGC
JOB NO.:	21055
SCALE:	1" = 60'
DATE:	JAN. 26, 2022

**LINDEN ENGINEERING PARTNERS LLC**

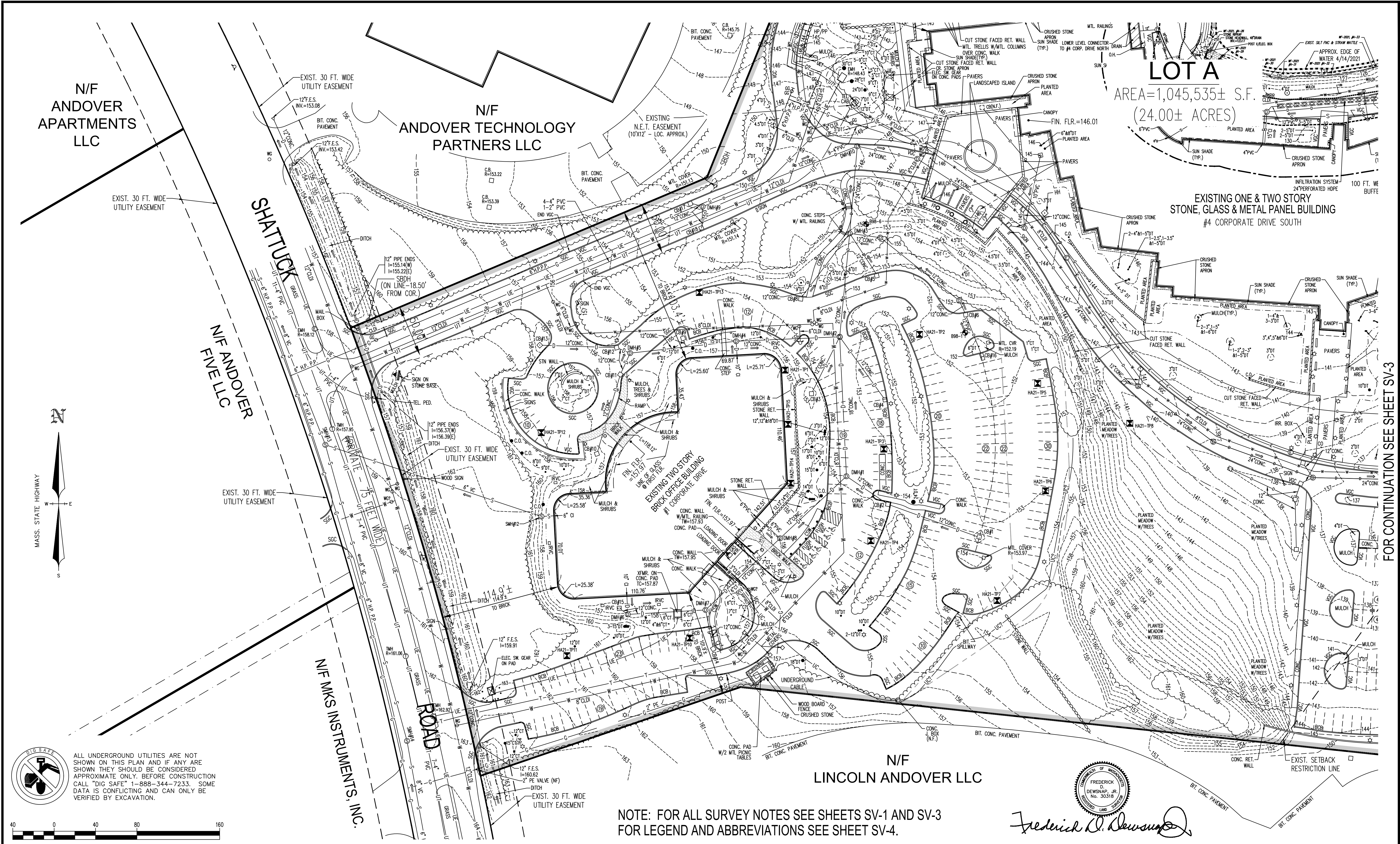
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**EXISTING SITE SURVEY PLAN  
PROPOSED RENOVATION AND ADDITION  
ONE AND FOUR CORPORATE DRIVE  
ANDOVER, MASSACHUSETTS**

**SHEET  
SV-1**



**LOT A**  
 AREA=1,045,535± S.F.  
 (24.00± ACRES)

EXISTING ONE & TWO STORY  
 STONE, GLASS & METAL PANEL BUILDING  
 #4 CORPORATE DRIVE SOUTH

NOTE: FOR ALL SURVEY NOTES SEE SHEETS SV-1 AND SV-3  
 FOR LEGEND AND ABBREVIATIONS SEE SHEET SV-4.

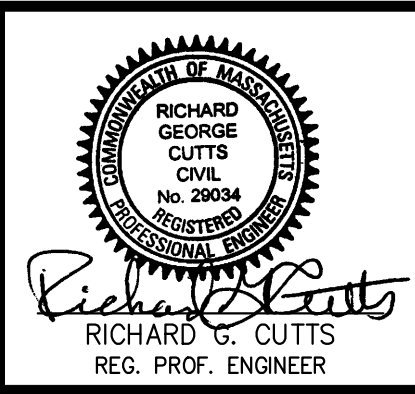
FREDERICK O. DEWSNAP, JR.  
 No. 30318  
 REGISTERED LAND SURVEYOR  
 STATE OF MASSACHUSETTS  
*Frederick O. Dewsnap, Jr.*

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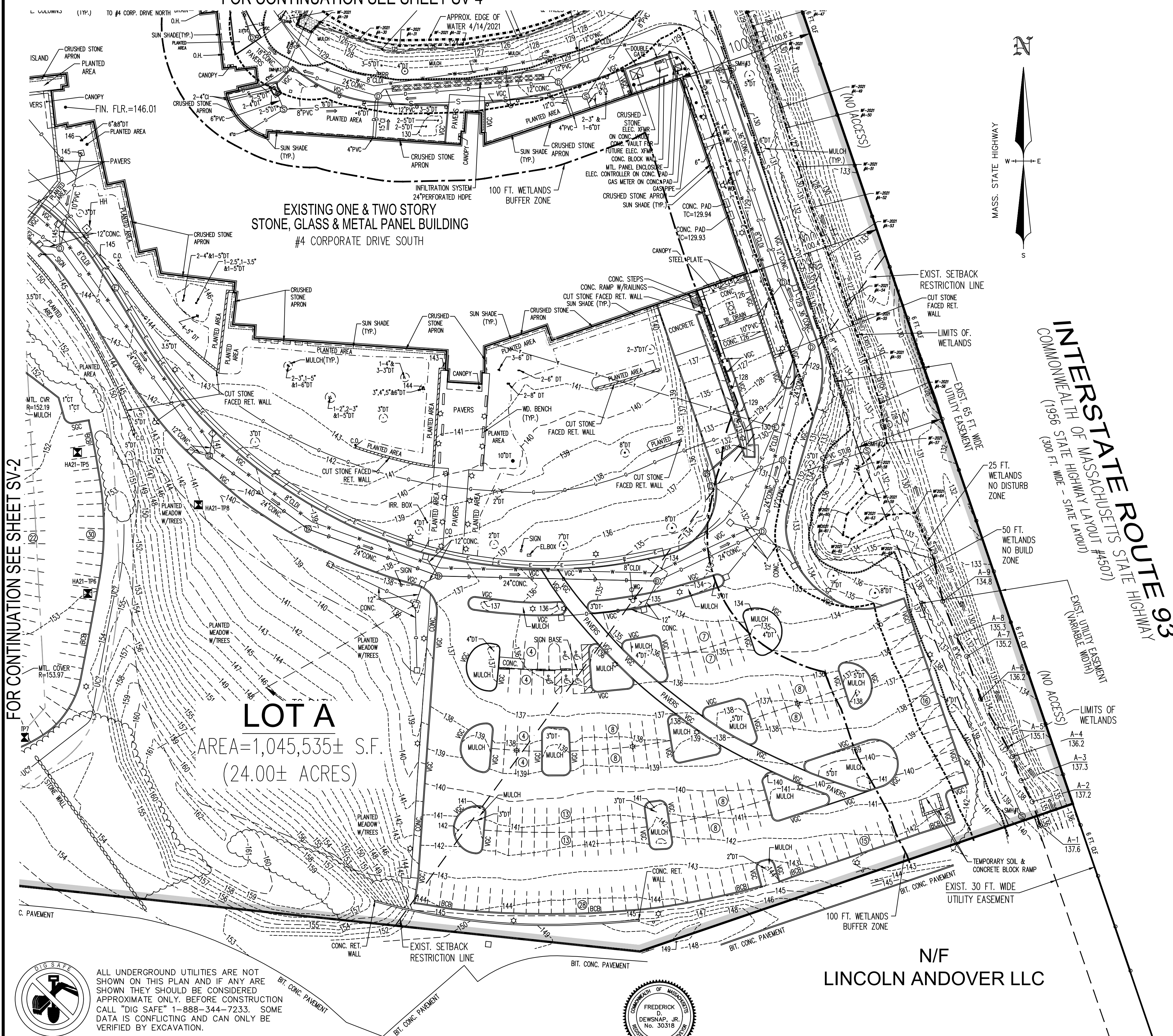
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**EXISTING SITE SURVEY PLAN  
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 ONE AND FOUR CORPORATE DRIVE  
 ANDOVER, MASSACHUSETTS**

**SHEET  
 SV-2**

FOR CONTINUATION SEE SHEET SV-3

FOR CONTINUATION SEE SHEET SV-4



EXISTING ONE & TWO STORY  
STONE, GLASS & METAL PANEL BUILDING  
#4 CORPORATE DRIVE SOUTH

**LOT A**  
AREA=1,045,535± S.F.  
(24.00± ACRES)

N/F  
LINCOLN ANDOVER LLC

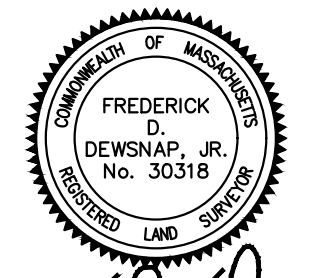
INTERSTATE ROUTE 93  
COMMONWEALTH OF MASSACHUSETTS STATE HIGHWAY #4507  
(300 FT. WIDE - STATE LAYOUT)

**IMPORTANT NOTES:**

1. THE PROPERTY SHOWN ON THIS SURVEY IS KNOWN AS 1 AND 4 CORPORATE DRIVE IN ANDOVER, MA.
2. THE 1, AND 4 CORPORATE DRIVE PROPERTIES (LOTS 1 & 2) ARE SHOWN ON THE TOWN OF ANDOVER ASSESSOR'S MAP 167 AS LOTS 12 AND 12E IN BLOCK 0 AND CONTAINS A TOTAL SITE AREA OF 1,045,535 SQ. FT. OR 24.00 ACRES.
3. LOTS 1 AND 2 SHOWN ON THIS SURVEY ARE ZONED I-D - INDUSTRIAL D AS DEFINED BY THE TOWN OF ANDOVER ZONING BYLAWS.
4. THE PROPERTY LINES SHOWN ON THIS PLAN WERE PREPARED FROM AN ACTUAL FIELD SURVEY OF RECOVERABLE MONUMENTS ON AND ADJACENT TO THE PROPERTY CONDUCTED BY LINDEN ENGINEERING PARTNERS, LLC IN ASSOCIATION WITH DEWSNAP ENGINEERING ASSOCIATES, LLP DURING THE MONTH OF DECEMBER 2015 AND PLANS OF RECORD.
5. THE LOCATIONS OF THE EXISTING BUILDINGS ON THE PROPERTY SHOWN ON THIS PLAN WERE PREPARED FROM AN ACTUAL FIELD SURVEY OF THE PROPERTY AND PREVIOUS PLANS BY DANA F. PERKINS & ASSOCIATES, INC., READING, MASS AND BY MARTINAGE ENGINEERING ASSOCIATES, INC., READING, MASS.
6. INFORMATION REGARDING THE LOCATIONS OF OVERHEAD AND UNDERGROUND CABLE TELEVISION LINES ON AND ADJACENT TO THE PROPERTY WAS NOT RECEIVED FROM AT&T BROADBAND OR ANY OTHER CABLE PROVIDERS AND THEREFORE THESE LINES ARE NOT SHOWN ON THESE PLANS.
7. SITE LIGHTING CONDUITS, LINES AND APPURTENANCES, LAWN IRRIGATION LINES AND APPURTENANCES, SUBDRAINS, FOUNDATION DRAINS AND UNDERDRAINS AND APPURTENANCES, IF ANY, ARE NOT SHOWN ON THIS PLAN.
8. THE LOCATION OF THE UTILITIES AS SHOWN HEREON HAVE BEEN COMPILED FROM VISIBLE STRUCTURES AND INFORMATION OBTAINED FROM VARIOUS SOURCES. UNDERGROUND ELECTRIC LINES AND CONDUITS, TELEPHONE LINES AND CONDUITS, COMMUNICATIONS LINES AND CONDUITS, CABLE TV LINES AND CONDUITS, FIRE ALARM LINES AND CONDUITS, GAS MAINS AND SERVICES, SANITARY SEWER MAINS AND SERVICES, SURFACE DRAINAGE MAINS AND SERVICES AND WATER MAINS AND SERVICES (IF ANY) MAY NOT BE SHOWN ON THIS PLAN AND IF SHOWN THEIR LOCATIONS AND ELEVATIONS SHOULD BE CONSIDERED ONLY APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ON THE PROPERTY. LINDEN ENGINEERING PARTNERS, LLC MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED AND FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THEREFORE THE INFORMATION SHOWN ON THESE PLANS IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. ANY PERSON PERFORMING WORK ON OR ADJACENT TO THE SITE SHALL CALL 811 OR 1-888-344-7233 (1-888-DIGSAFE) "DIG SAFE" AS REQUIRED BY THE MASSACHUSETTS GENERAL LAWS SECTION 40 AND CHAPTER 82, SECTION 76(D) AT LEAST 72 HOURS PRIOR TO PERFORMING ANY EXCAVATION IN ORDER TO HAVE THE UTILITIES MARKED OUT. PRIOR TO PLANNING ANY NEW UTILITY CONNECTIONS, THE PROPER PUBLIC UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED TO VERIFY THE SIZE AND LOCATIONS OF THEIR EXISTING FACILITIES.
9. THE LIMITS OF WETLANDS SHOWN ON THIS PLAN WERE FLAGGED IN THE FIELD BY JOHN G. CROWE ASSOCIATES, INC., BELMONT, MA IN NOVEMBER 2002. THE FLAGS PLACED IN THE FIELD WERE LOCATED BY MARTINAGE ENGINEERING ASSOCIATES, INC. BY ACTUAL FIELD SURVEY DURING NOVEMBER AND DECEMBER 2002. THE WETLANDS LINE IS ALSO SHOWN ON A PLAN ENTITLED, "25 FT. NON-DISTURBANCE ZONE, EISAI RESEARCH INSTITUTE, CORPORATE DRIVE, ANDOVER, MASSACHUSETTS", SCALE 1"=60', DATED MAY 5, 2008, PREPARED BY MARTINAGE ENGINEERING ASSOCIATES, INC., READING, MASS. 01867, RECORDED AT THE ESSEX COUNTY REGISTRY OF DEEDS, NORTH DISTRICT, AS PLAN NO. 15948 ON JUNE 19, 2008. THIS PLAN SHOWS MONUMENTS WHICH HAVE BEEN SET IN THE FIELD AT POINTS ALONG THE 25 FOOT NO-DISTURB LINE FROM THE FLAGGED WETLAND.
10. ONLY SELECTED FREESTANDING TREES ON THE PROPERTY WERE LOCATED BY FIELD SURVEY. TREES IN PLANTED AREAS ARE NOT SHOWN AND ALL EXISTING TREES ON THE PROPERTY ARE NOT SHOWN ON THIS PLAN. ALL TREE SIZES WERE NOT UPDATED FROM THE 2002 SURVEY.
11. ALL PAVEMENT, UNLESS OTHERWISE NOTED, IS BITUMINOUS CONCRETE, ALL WALKWAYS, UNLESS OTHERWISE NOTED, ARE CONCRETE.
12. ALL NON-PAVED AREAS NOT SHOWN AS WOODS OR MULCH ARE GRASSED UNLESS OTHERWISE NOTED.
13. IF THESE PLANS ARE UTILIZED FOR EARTHWORK CALCULATIONS THE PERSON PERFORMING THE CALCULATIONS SHOULD BE KNOWLEDGEABLE IN THE STANDARD SURVEYING TOLERANCES AND ACCURACIES INVOLVED IN THE PREPARATION OF A ONE FOOT CONTOUR INTERVAL TOPOGRAPHIC PLAN USING A COMBINATION OF METHODOLOGIES. THIS PLAN HAS BEEN PREPARED SUCH THAT 90% OF THE CONTOURS ARE ACCURATE TO WITHIN 0.5 FEET AND THE REMAINING 10% OF THE CONTOURS ARE ACCURATE TO WITHIN 1 FOOT. 90% OF THE SPOT ELEVATIONS SHOWN ARE ACCURATE TO WITHIN 0.3 FEET AND THE REMAINING 10% ARE ACCURATE TO WITHIN 0.5 FEET. ANYONE USING THESE PLANS SHOULD MAKE APPROPRIATE ALLOWANCES IN THEIR CALCULATIONS OR STUDIES.
14. NO VISIBLE ROCK OR LEDGE WAS OBSERVED AT THE SITE, HOWEVER, THESE PLANS SHOULD NOT BE UTILIZED FOR THE CALCULATION OF LEDGE QUANTITIES.
15. GEOTECHNICAL EXPLORATIONS (TP AND B) REFER TO EXPLORATIONS DONE BY HALEY & ALDRICH. SEE GEOTECHNICAL REPORT FOR MORE INFORMATION.

NOTE: FOR ALL SURVEY NOTES SEE SHEETS SV-1 AND ABOVE FOR LEGEND AND ABBREVIATIONS SEE SHEET SV-4.

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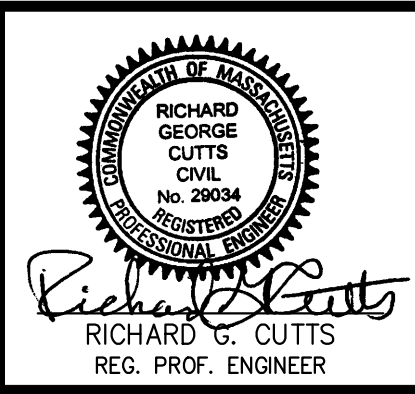


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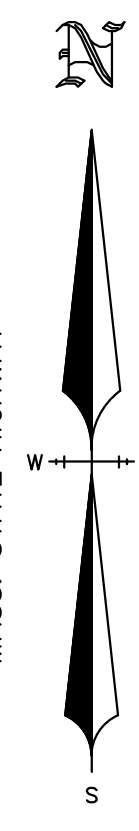
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**EXISTING SITE SURVEY PLAN  
PROPOSED RENOVATION AND ADDITION  
ONE AND FOUR CORPORATE DRIVE  
ANDOVER, MASSACHUSETTS**

SHEET  
SV-3



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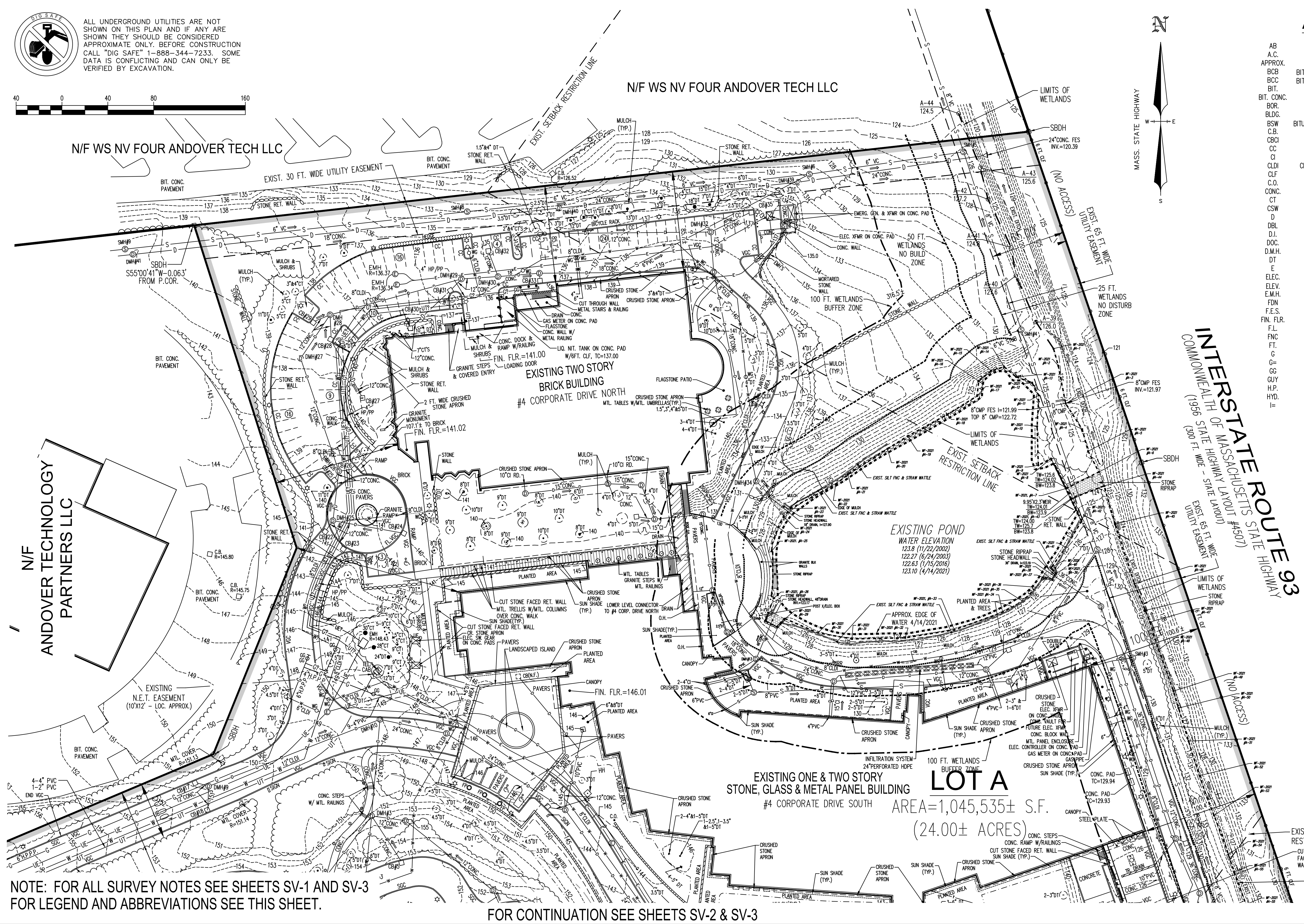


### ABBREVIATIONS

AB	ABANDONED	L.C.C.	LAND COURT CASE
A.C.	ASBESTOS CEMENT	LOC.	LOCATION
APPROX.	APPROXIMATE	LP	LIGHT POLE
BCC	BITUMINOUS CONCRETE BERM	M.W.	MONITORING WELL
BCC	BITUMINOUS CONCRETE CURB	N.F.	NOT FOUND
BIT.	BITUMINOUS	N/F	NOW OR FORMERLY
BIT. CONC.	BITUMINOUS CONCRETE	OHW	OVERHEAD WIRE
BOR.	BORING	P.P.	POLYPROPYLENE
BLDG.	BUILDING	P.P.R.	POST & RAIL
BSW	BITUMINOUS CONCRETE SIDEWALK	P.V.	POST INDICATOR VALVE
C.B.	CATCH BASIN	PVC	POLYVINYL CHLORIDE
CB/C	CB W/CURB INLET	PVMT	PAVEMENT
CC	CONCRETE CURB	R	RIM ELEV. =
CI	CAST IRON	R.D.	ROOF DRAIN
CLDI	CEMENT LINED DUCTILE IRON	RET. WALL	RETAINING WALL
CLF	CHAIN LINK FENCE	S	SEWER
C.O.	CLEANOUT	S.F.	SQUARE FEET
CONC.	CEMENT CONCRETE	SGC	SLOPED GRANITE CURB
CT	CONIFEROUS TREE	SFM	SEWER FORCE MAIN
CSW	CONCRETE SIDEWALK	S.M.H.	SEWER MANHOLE
D	DRAIN	STL	STEEL
DBL	DOUBLE	STOCK	STOCKADE
D.I.	DUCTILE IRON	TBM	TEMPORARY BENCHMARK
DOC.	DOCUMENT	TEL.	TELEPHONE
D.M.H.	DRAIN MANHOLE	T.O.W.	TOP OF WALL
DT	DECIDUOUS TREE	T.P.	TOP PIT
E	ELECTRIC	T.M.H.	TELEPHONE MANHOLE
ELEC.	ELECTRIC	TRANSF.	TRANSFORMER
ELEV.	ELEVATION	TYP	TYPICAL
E.M.H.	ELECTRIC MANHOLE	UE	UNDERGROUND ELECTRIC
FDN	FOUNDATION	U.G.	UNDERGROUND
F.E.S.	FLARED END SECTION	UP	UTILITY POLE
FIN. FLR.	FINISH FLOOR	UT	UNDERGROUND TELEPHONE
F.L.	FLOOR LIGHT	UT/FA	UNDERGROUND TEL/FIRE ALARM
FNC	FENCE	VASD	VERT. ASBESTOS SUBDRAIN
FT.	FEET	VC	VITRIFIED CLAY
G	GAS	VGC	VERTICAL GRANITE CURB
G#	GRADE =	W	WATER
GG	GAS TIE	WD.	WOOD
GUY	GUY WIRE	WE =	WATER ELEV. =
H.P.	HIGH PRESSURE	WG	WATER GATE
HYD.	FIRE HYDRANT	WLR#	WETLAND RIBBON #
I	INVERT ELEV. =	WS	WATER SHUT OFF

### LEGEND

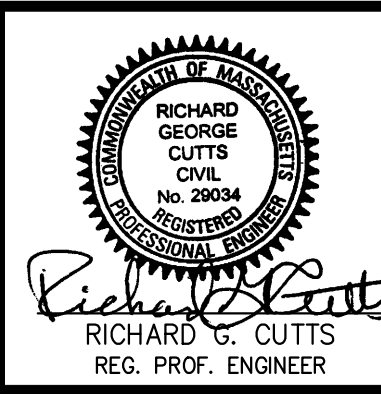
	CATCH BASIN (SINGLE OR DOUBLE)
	DRAIN LINE W/MANHOLE
	SEWER LINE W/MANHOLE
	SEWER FORCE MAIN
	WATER LINE W/GATE VALVE
	HYDRANT W/GATE VALVE & TEE
	GAS LINE W/GATE VALVE
	UNDERGROUND ELECTRIC W/MANHOLE
	UNDERGROUND TELEPHONE W/MANHOLE
	UNDERGROUND CABLE
	UTILITY POLE W/GUY WIRE
	OVERHEAD WIRES W/UTILITY POLE
	LIGHT POLE
	TREE LIGHT OR FLOOD LIGHT
	CHAIN LINK FENCE
	WIRE GUARD RAIL
	MONITORING WELL
	FLOW DIRECTION
	BITUMINOUS CONCRETE CURBING
	SLOPED GRANITE CURBING
	VERTICAL GRANITE CURBING
	HANDICAP PARKING SPACE
	REGULAR PARKING SPACE
	SIGN
	EDGE OF WOODS
	DECIDUOUS TREE
	CONIFEROUS TREE



NOTE: FOR ALL SURVEY NOTES SEE SHEETS SV-1 AND SV-3 FOR LEGEND AND ABBREVIATIONS SEE THIS SHEET.

FOR CONTINUATION SEE SHEETS SV-2 & SV-3

DATE	1/26/2022	BY	RGC	REV#	1
ISSUED FOR PERMITTING REVISIONS					
CALC. BY:	WAJ	DR. BY:	WAJ	CKD. BY:	RGC/WAJ
APPD. BY:	RGC	JOB NO.:	21055	SCALE:	1" = 40'
DATE:	JAN. 26, 2022				



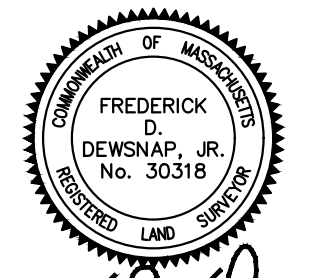
**LINDEN ENGINEERING PARTNERS LLC**  
 100 TradeCenter Suite G700  
 Woburn, MA 01801-1851  
 Tel: (781) 933-3711  
 Fax: (781) 287-1277

Civil - Environmental Engineering including Storm Water, Wastewater, Water Supply, Highway & Infrastructure Design, Land Planning, Land Subdivision, Site Design, Environmental Permitting, Wetlands Permitting & Land Development Permitting

PREPARED FOR:  
**IQHQ-1 CORPORATE, LLC AND IQHQ-4 CORPORATE, LLC**  
 ATTN: MR. WILLIAM ASHTON  
 ONE BOSTON PLACE, 201 WASHINGTON STREET, SUITE 3920  
 BOSTON, MASSACHUSETTS 02108  
 TEL: (617) 314-7951

**EXISTING SITE SURVEY PLAN  
 PROPOSED RENOVATION AND ADDITION  
 ONE AND FOUR CORPORATE DRIVE  
 ANDOVER, MASSACHUSETTS**

**SHEET  
 SV-4**



*Frederick D. DeWanna, Jr.*



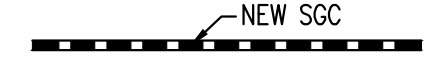
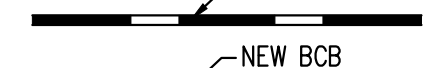
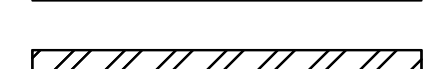

N/F  
ANDOVER  
APARTMENTS  
LLC

N/F  
ANDOVER TECHNOLOGY  
PARTNERS LLC

N/F ANDOVER  
FIVE LLC

N/F  
LINCOLN ANDOVER LLC

LAYOUT AND MATERIALS LEGEND:

-  NEW BUILDING
-  CRUSHED STONE DRIP STRIP
-  SLOPED GRANITE CURB (SGC)
-  VERTICAL GRANITE CURB (VGC)
-  BITUMINOUS CONCRETE BERM (BCB)
-  RETAINING WALL

FOUR CORPORATE DRIVE

EXISTING TWO STY  
BRICK BUILDING  
(TO BE RENOVATED)

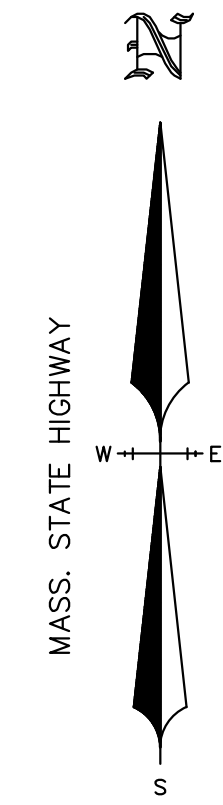
NEW TWO STORY  
ADDITION


LOT A  
AREA=1,045,535± S.F.  
(24.00± ACRES)

1 CORPORATE DRIVE PARKING INFORMATION:

PROPOSED PARKING AVAILABLE @ BUILDING 1:  
190 REGULAR + 7 HANDICAPPED ACCESSIBLE + 3 COMPACT = 200 SPACES.  
4 OF THE HANDICAPPED SPACES AND 10 OF THE REGULAR SPACES WILL HAVE ACCESS TO ELECTRIC VEHICLE CHARGING STATIONS.  
NO CHANGES ARE PROPOSED TO THE EXISTING 4 CORPORATE DRIVE PARKING.

NOTE: FOR ALL LAYOUT AND MATERIAL NOTES SEE SHEET C-4  
ALL EXISTING PAVEMENTS, CURBING, BERM, WALKWAYS, SIGNS, ETC.  
WITHIN THE WORK AREA SHALL BE REMOVED PRIOR TO ANY NEW  
CONSTRUCTION AND PROPERLY DISPOSED OF OFF-SITE.

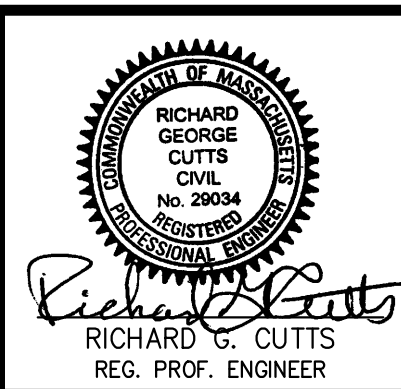


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SCALE:	1" = 40'
DATE:	JAN. 26, 2022



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**SITE LAYOUT AND MATERIALS PLAN  
PROPOSED RENOVATION AND ADDITION  
ONE AND FOUR CORPORATE DRIVE  
ANDOVER, MASSACHUSETTS**


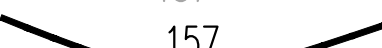
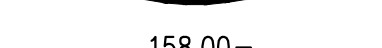
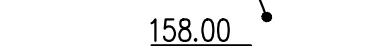
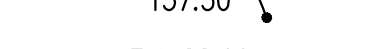
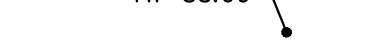
SHEET  
C-1

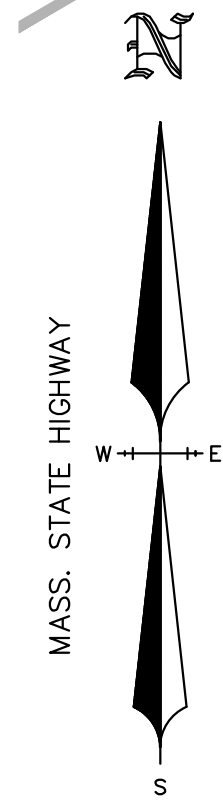
N/F  
ANDOVER  
APARTMENTS  
LLC

N/F  
ANDOVER TECHNOLOGY  
PARTNERS LLC

N/F  
LINCOLN ANDOVER LLC

**GRADING LEGEND:**

-  EXISTING GROUND CONTOUR
-  PROPOSED CONTOUR
-  PROPOSED NEW SPOT GRADE
-  PROPOSED NEW TOP CURB/BTM CURB GRADE
-  PROPOSED NEW TOP OF WALL GRADE
-  STRAW WATTLE



N/F ANDOVER  
FIVE LLC

SHATTUCK  
ROAD

N/F MKS INSTRUMENTS, INC.


ROAD

**NEW TWO STORY  
ADDITION**  
(FF. ATRIM=158.0)  
(FF. MAIN=156.0)

**EXISTING TWO STORY  
BRICK BUILDING  
(TO BE RENOVATED)**  
(FF=158.0)

**LOT A**  
AREA=1,045,535± S.F.  
(24.00± ACRES)

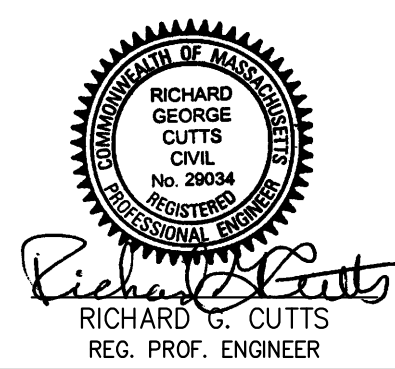
NOTE: FOR ALL SITE GRADING NOTES SEE SHEET C-4

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**SITE GRADING AND EROSION CONTROL PLAN  
PROPOSED RENOVATION AND ADDITION  
ONE AND FOUR CORPORATE DRIVE  
ANDOVER, MASSACHUSETTS**

SHEET  
C-2

N/F ANDOVER APARTMENTS LLC

N/F ANDOVER TECHNOLOGY PARTNERS LLC

FOUR CORPORATE DRIVE

N/F ANDOVER FINE LLC

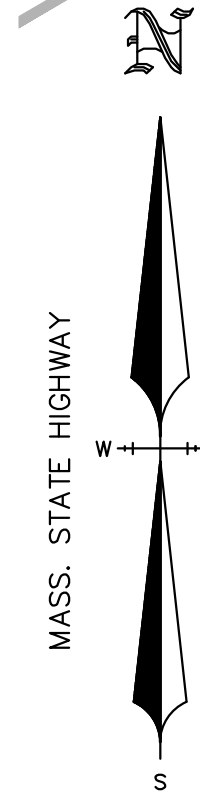
N/F MKS INSTRUMENTS, INC.

N/F LINCOLN ANDOVER LLC

LOT A  
AREA=1,045,535± S.F.  
(24.00± ACRES)

UTILITY LEGEND:

- DMH ● SMH
  - CB
  - CB
  - CB
  - ID
  - C.O.
  - I=197.00
  - FES
  - GV
  - HYD
  - PIV
  - NFP
  - NW
  - NS
  - ND
  - NG
  - NUT
  - NUE
  - SW
  - SW
  - SW
- NEW SEWER/DRAIN MANHOLE
  - NEW CATCH BASIN
  - NEW DOUBLE CATCH BASIN
  - NEW QUAD CATCH BASIN
  - NEW INLINE DRAIN
  - NEW CLEANOUT
  - NEW FLARED END SECTION
  - NEW GATE VALVE W/BOX TO GRADE
  - NEW FIRE HYDRANT
  - NEW POST INDICATOR VALVE
  - NEW LIGHT POLE
  - NEW FIRE PROTECTION LINE
  - NEW TOWN WATER LINE
  - NEW SANITARY SEWER LINE
  - NEW STORM DRAIN LINE
  - NEW GAS LINE
  - NEW TELEPHONE LINE
  - NEW ELECTRIC LINE
  - STRAW WATTLE
  - NEW ELEC. TRANSFORMER ON CONC. PAD



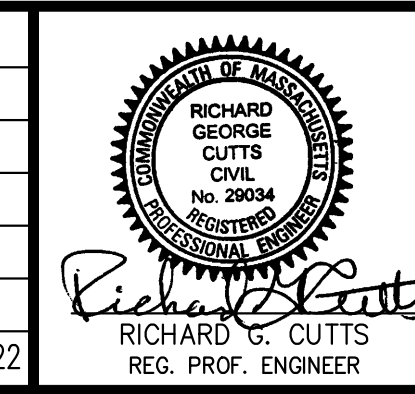
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NOTE: FOR ALL SITE UTILITY NOTES SEE SHEET C-4

FOR CONTINUATION  
SEE SHEET C-4

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**LINDEN ENGINEERING PARTNERS LLC**

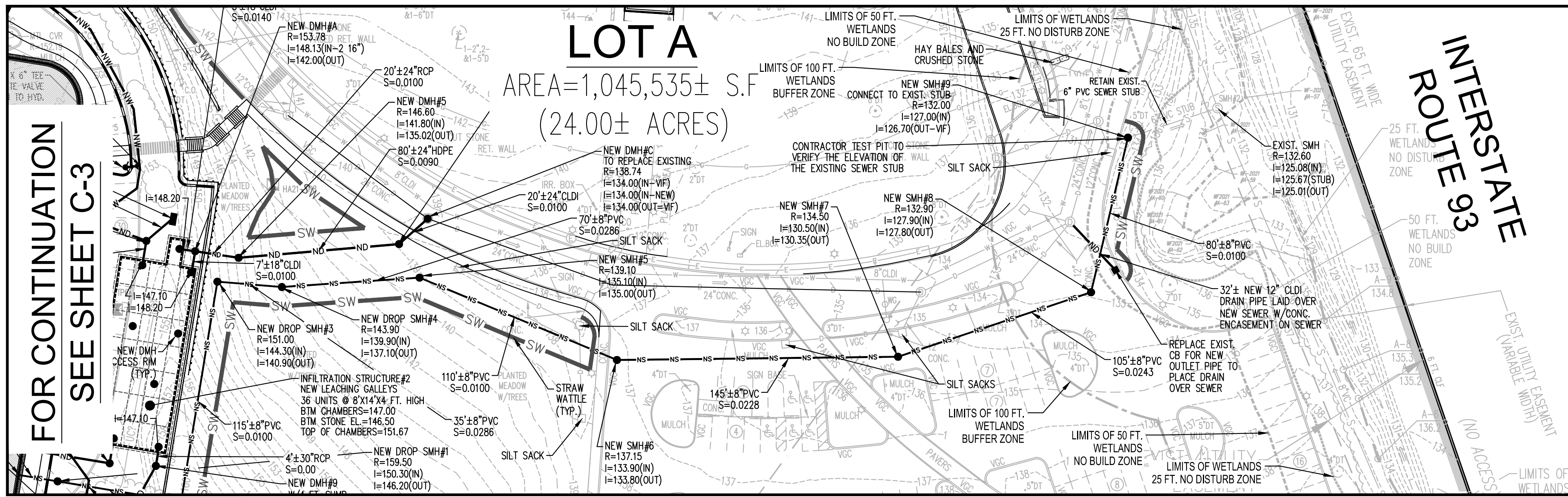
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**SITE UTILITY PLAN**  
PROPOSED RENOVATION AND ADDITION  
ONE AND FOUR CORPORATE DRIVE  
ANDOVER, MASSACHUSETTS

SHEET  
C-3



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### SEWER CONNECTION PLAN

(SCALE 1"=40')

#### LAYOUT AND MATERIALS NOTES:

- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT, LANDSCAPE ARCHITECT AND CIVIL ENGINEER IN WRITING OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS PRIOR TO ANY WORK AND DURING THE WORK. ANY FIELD ADJUSTMENTS ARE TO BE APPROVED BY THE ARCHITECT, LANDSCAPE ARCHITECT AND CIVIL ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- THE CONTRACTOR SHALL STAKE OUT ALL PROPOSED IMPROVEMENTS FOR THE APPROVAL OF THE ARCHITECT, LANDSCAPE ARCHITECT AND CIVIL ENGINEER PRIOR TO PROCEEDING WITH THE CONSTRUCTION OF THE IMPROVEMENTS.
- ALL EXISTING PAVEMENTS, CURBING, BERM, WALKWAYS, SIGNS, ETC. WITHIN THE WORK AREA SHALL BE REMOVED PRIOR TO ANY NEW CONSTRUCTION AND PROPERLY DISPOSED OF OFF-SITE.
- ALL DIMENSIONS SHOWN ARE TO THE EDGE OF PAVEMENT/FACE OF CURBING, FACE OF WALL OR BUILDING. ALL LINES ARE PERPENDICULAR TO OR PARALLEL TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
- WHERE NEW PAVEMENT OR WALKWAYS MEET EXISTING PAVEMENT OR WALKWAYS THE CONTRACTOR SHALL SAW CUT EDGE OF EXISTING PAVEMENT OR WALKWAY AND INSTALL THE NEW PAVEMENT OR WALKWAY TO MEET THE LINE AND GRADE OF EXISTING PAVEMENT OR WALKWAY.
- ALL NEW CURBING DESIGNATED ON THE PLAN AS "VGC" SHALL BE MASSDOT - HIGHWAY DIVISION, VERTICAL GRANITE CURBING TYPE VA-4.
- ALL NEW CURBING DESIGNATED ON THE PLAN AS "SGC" SHALL BE MASSDOT - HIGHWAY DIVISION, GRANITE EDGING TYPE SA.
- ALL NEW CURBING DESIGNATED ON THE PLAN AS "BCB" SHALL BE A MODIFIED "CAPE COD" BERM CONFORMING TO THE DETAIL SHOWN ON THESE PLANS.
- ALL MINOR CURB RADI SHALL BE A 5 FOOT RADIUS UNLESS OTHERWISE NOTED ON THESE PLANS.
- ALL PROPOSED DRIVEWAYS AND DRIVE AISLES SHALL BE A MINIMUM OF 24 FEET WIDE UNLESS OTHERWISE NOTED ON THESE PLANS.
- ALL PROPOSED REGULAR PARKING SPACES FOR THE PROJECT SHALL BE 9 FEET WIDE BY 18 FEET LONG UNLESS OTHERWISE NOTED ON THESE PLANS. EACH PARKING SPACE SHALL HAVE A 4 INCH WIDE PAINTED WHITE STRIPE ON EACH SIDE OF THE SPACE.
- ALL PROPOSED PARALLEL PARKING SPACES SHALL BE 8 FEET WIDE BY 22 FEET LONG AND SHALL BE MARKED BY PAINTED LINES AS SHOWN IN THIS PLAN.
- ALL PROPOSED COMPACT PARKING SPACES SHALL BE A MINIMUM OF 9 FEET WIDE AND A LENGTH OF MORE THAN 16 FEET (THE TOWN OF ANDOVER MINIMUMS ARE 8 FEET WIDE X 16 FEET LONG. THE SPACES SHOWN ARE ALL >17 FEET LONG). EACH COMPACT PARKING SPACE SHALL HAVE A 4 INCH WIDE PAINTED WHITE STRIPE ON EACH SIDE OF THE SPACE AND THE WORD "COMPACT" PAINTED IN WHITE IN THE SPACE AT THE DRIVEWAY END OF THE SPACE.
- ALL PROPOSED STANDARD HANDICAPPED PARKING SPACES SHALL BE 9 FEET WIDE BY 18 FEET LONG WITH A 5 FOOT ACCESS AISLE BETWEEN THE SPACES. EACH GROUPING OF HANDICAPPED PARKING SPACES SHALL CONTAIN TWO VAN SPACES WHICH SHALL BE 9 FEET WIDE BY 18 FEET LONG WITH AN 8 FOOT ACCESS AISLE BETWEEN THE SPACES. EACH HANDICAPPED PARKING SPACE SHALL HAVE A 4 INCH WIDE PAINTED WHITE STRIPE ON EACH SIDE OF THE SPACE AND A PAINTED HANDICAPPED SYMBOL (WHITE WHEEL CHAIR ON BLUE BACKGROUND) ON THE PAVEMENT WITHIN THE SPACES NEAR THE DRIVEWAY END OF THE SPACE. EACH HANDICAPPED SPACE SHALL HAVE A PRECAST CONCRETE WHEEL STOP AND A HANDICAPPED PARKING SIGN. SIGNS SHALL BE CONSISTENT WITH THE OWNER'S SIGNAGE STANDARDS ON THE CAMPUS AND THE MASS. ABB REGULATIONS.
- ALL PROPOSED WALKWAYS SHALL BE A MINIMUM OF 5 FEET WIDE UNLESS OTHERWISE NOTED ON THESE PLANS.
- HANDICAPPED RAMPS SHALL BE PROVIDED AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT AND THE COMMONWEALTH OF MASSACHUSETTS ARCHITECTURAL ACCESS BOARD REGULATIONS. DETECTABLE WARNING STRIPS SHALL BE PROVIDED AT ALL RAMPS IF REQUIRED BY THE REGULATIONS.
- ALL VEHICULAR SURFACES AND DRIVEWAYS SHALL BE PAVED WITH BITUMINOUS CONCRETE PAVEMENT. ALL PROPOSED WALKWAYS SHALL BE CONCRETE UNLESS OTHERWISE NOTED.
- THE CONCRETE PAD FOR THE LIQUID STORAGE TANKS SHALL BE CONSTRUCTED TO MEET THE LIQUID TANK VENDOR'S STANDARD DETAILS AND DIMENSIONS INCLUDING PROTECTIVE BOLLARDS AND SECURITY FENCING.
- SEE ARCHITECTURAL PLANS FOR THE PROPOSED BUILDING CONFIGURATIONS.
- FOR DETAILS OF THE STEPS AND RETAINING WALLS AT THE NEW LOADING DOCK SEE THE ARCHITECTURAL AND STRUCTURAL PLANS.
- FOR DETAILS OF THE FRONT ENTRY, THE WALKWAY TO 4 CORPORATE DRIVE AND THE STAIRS AND WALKWAY TO 4 CORPORATE DRIVE AS WELL AS ALL SITE LANDSCAPING AND OTHER WALKWAYS SEE LANDSCAPING PLANS BY COPLEY WOLFF DESIGN GROUP.
- SEE ELECTRICAL PLANS FOR ELECTRIC VEHICLE CHARGING STATION DETAILS AND WIRING/CONDUIT.
- SEE SITE LIGHTING PLANS FOR ALL SITE LIGHTING.

#### DRAINAGE AND UTILITY NOTES:

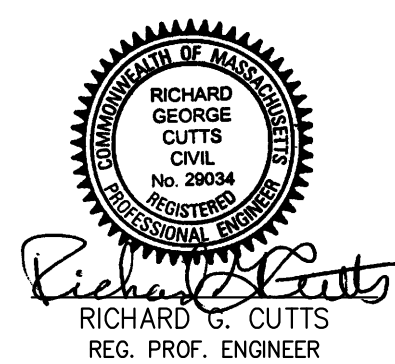
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND CIVIL ENGINEER IN WRITING OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS PRIOR TO AND DURING THE EXECUTION OF THE WORK. ALL FIELD ADJUSTMENTS SHALL BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER PRIOR TO CONSTRUCTION OF THE AFFECTED WORK.
- IF ANY EXISTING UTILITY LINE OR SERVICE IS DAMAGED BY THE CONTRACTOR DURING THE PROGRESS OF THE WORK IT SHALL BE IMMEDIATELY REPAIRED OR REPLACED AT THE CONTRACTOR'S SOLE EXPENSE TO THE SATISFACTION OF ARCHITECT AND CIVIL ENGINEER AS WELL AS THE RELEVANT UTILITY COMPANY. UTILITY SERVICE TO ALL EXISTING BUILDINGS ON AND ADJACENT TO THE PROJECT SHALL BE MAINTAINED AT ALL TIMES.
- THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION OR EXCAVATION ON THE PROPERTY. ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN ON THESE PLANS. THE INFORMATION SHOWN ON THESE PLANS IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY COMPANIES AND THE TOWN OF ANDOVER WATER AND SEWER DEPARTMENT RELATIVE TO THE LOCATIONS AND ELEVATIONS OF THESE LINES.
- AS REQUIRED BY MASSACHUSETTS GENERAL LAWS, CHAPTER 82, SECTION 40 AND CHAPTER 164, SECTION 76(d), THE CONTRACTOR MUST CALL "DIG SAFE", TELEPHONE NO. 1-888-344-7233, AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR WORK ON THE PROPERTY IN ORDER TO HAVE ALL EXISTING UTILITY LINES MARKED OUT. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND CIVIL ENGINEER IN WRITING OF ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS PRIOR TO AND DURING WORK.
- ALL EXISTING PAVEMENT, UTILITY STRUCTURES, LIGHT POLES, SIGNS, ETC. WITHIN THE PROPOSED WORK AREA WILL HAVE TO BE REMOVED. UTILITY STRUCTURES, PIPES AND CONDUITS WITHIN THE AREA ENCLOSED BY A LINE 10 FEET OUTSIDE THE PROPOSED ADDITION WILL NEED TO BE COMPLETELY EXCAVATED AND REMOVED. ACCEPTABLE BACKFILL AND METHODS OF PLACEMENT AND COMPACTION MUST BE USED WITHIN THIS AREA. UTILITY STRUCTURES IN OTHER AREAS OF THE SITE WILL BE REMOVED. PIPES WITHIN 3 FEET OF FINISH GRADE OR PIPES THAT CONFLICT WITH THE INSTALLATION OF NEW UTILITY LINES WILL ALSO NEED TO BE REMOVED. OTHER PIPES AND CONDUITS MAY REMAIN IF PLUGGED WITH CONCRETE AFTER THE STRUCTURES ARE REMOVED.
- ALL PROPOSED BUILDING UTILITY CONNECTIONS SHOWN ON THESE PLANS ARE BASED ON INFORMATION PROVIDED TO OUR FIRM BY THE BUILDING MECHANICAL AND ELECTRICAL ENGINEERS. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN FINAL BUILDING MECHANICAL/ELECTRICAL/PLUMBING PLANS AND COORDINATE THE BUILDING CONNECTIONS MAKING MINOR FIELD ADJUSTMENTS IF NECESSARY. IF MAJOR DISCREPANCIES ARE DISCOVERED BETWEEN THE CONNECTIONS SHOWN ON THESE PLANS AND THE FINAL BUILDING MECHANICAL/ELECTRICAL/PLUMBING PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND CIVIL ENGINEER IN WRITING FOR DIRECTION ON HOW TO PROCEED.
- ALL UTILITY COVERS FOR STRUCTURES LOCATED WITHIN THE PROJECT LIMITS WHICH ARE NEW OR ARE TO REMAIN SHALL BE ADJUSTED TO FINISH GRADE. UTILITY COVERS INCLUDE BUT ARE NOT LIMITED TO, CATCH BASINS FRAMES AND GRATES, MANHOLE FRAMES AND COVERS, GATE VALVE COVERS, CURB STOPS, HAND HOLES, ETC.
- THE MINIMUM DRAIN AND SEWER MANHOLE DIAMETER SHALL BE 4'. LARGER DIAMETER MANHOLES MAY BE REQUIRED DUE TO THE NUMBER, SIZE AND LOCATION OF PIPING.
- THE MINIMUM COVER FOR ALL WATER MAINS AND SERVICES SHALL BE 5'-0". THERE ARE UTILITY CROSSINGS THAT REQUIRE WATER MAINS TO BE SET DEEPER THAN 5'-0".
- ALL PROPOSED CATCH BASINS SHALL HAVE 4' DEEP SUMPS AND SHALL BE FITTED WITH HOODS.
- IN THE EVENT THAT CATCH BASIN OR MANHOLE INVERTS ARE LESS THAN 4'-0" BELOW PROPOSED RIM ELEVATION THE CONTRACTOR SHALL USE A FLAT TOP SLAB AS OPPOSED TO A CONE RISER.
- THE CONTRACTOR SHALL CONFIRM THAT EXISTING ABANDONED UNDERGROUND UTILITIES ENCOUNTERED DURING CONSTRUCTION ARE SHUT OFF AND ARE NO LONGER IN USE.
- THE CONTRACTOR SHALL SUPPLY AND INSTALL SILT SACKS IN ALL EXISTING AND NEW CATCH BASINS WITHIN THE LIMIT OF WORK AND MAINTAIN THE SILT SACKS AS SPECIFIED.
- CONSULT WITH THE GEOTECHNICAL ENGINEER AND THE STRUCTURAL ENGINEER FOR THE LOCATIONS OF ANY FOUNDATION DRAINS REQUIRED. THESE FOUNDATION AND SUBDRAINS SHALL BE CONNECTED TO THE NEW STORM DRAINAGE SYSTEM AND THESE DRAINS ARE NOT SHOWN ON THESE PLANS.
- THE CONSTRUCTION OF THE WATER, SEWER AND DRAINAGE SYSTEMS SHALL CONFORM TO THE TOWN OF ANDOVER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
- THE CONSTRUCTION OF ALL ELECTRIC, NATURAL GAS AND TELEPHONE/COMMUNICATIONS SYSTEMS SHALL CONFORM TO THE STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANIES. SEE SEPARATE PLANS BY THE BUILDING ELECTRICAL ENGINEERS FOR THE SIZES AND NUMBERS OF ELECTRIC CONDUITS, TELEPHONE CONDUITS, AND EMERGENCY GENERATOR CONDUITS.
- SITE LIGHTING POLES, FIXTURES AND CONDUITS ARE NOT SHOWN ON THIS PLAN. SEE THE SITE LIGHTING PLANS FOR THE LOCATIONS OF ALL SITE LIGHTING COMPONENTS.
- THE ELECTRIC, TELEPHONE AND GAS UTILITY LINES AND EQUIPMENT SHOWN ON THESE PLANS IS SUBJECT TO REVISION BASED ON THE RESPECTIVE UTILITY COMPANIES FINAL ENGINEERING DESIGN FOR THESE SERVICES.

#### GRADING AND EROSION CONTROL NOTES:

- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND CIVIL ENGINEER IN WRITING OF ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS PRIOR TO AND DURING WORK. ALL FIELD ADJUSTMENTS TO BE APPROVED BY THE ARCHITECT, LANDSCAPE ARCHITECT AND CIVIL ENGINEER PRIOR TO COMMENCING WITH THE WORK.
- ALL TREES TO BE SAVED SHALL BE SURROUNDED BY TREE PROTECTION FENCING.
- THE CONTRACTOR SHALL LOAM AND SEED ALL AREAS NOT NOTED TO RECEIVE OTHER TREATMENT.
- ALL PROPOSED GRADES SHALL BLEND SMOOTHLY WITH EXISTING GRADES. FROM THE EDGE OF PAVEMENT, CURBING OR IMPROVEMENTS, THE GRADE SHALL SLOPE <2% FOR A DISTANCE OF 2.5 FEET AND THEN AT A SLOPE OF 2:1 TO MEET EXISTING GRADE (3:1 WHERE POSSIBLE).
- ALL SPOT ELEVATIONS SHOWN ARE FINISHED GROUND, FINISHED PAVEMENT OR FINISHED WALKWAY GRADES UNLESS OTHERWISE NOTED. TOP OF CURB GRADES FOR BITUMINOUS CONCRETE BERM ARE 0.3 FT. HIGHER THAN THE EDGE OF PAVEMENT GRADE, TOP OF CURB GRADES FOR SLOPED GRANITE CURBING ARE 0.42 FT. HIGHER THAN THE EDGE OF PAVEMENT GRADE, TOP OF CURB GRADES FOR VERTICAL GRANITE CURBING ARE 0.5 FT. HIGHER THAN THE EDGE OF PAVEMENT GRADE.
- THE ENTIRE WORK AREA IS TO BE SURROUNDED BY A TEMPORARY 6 FT. HIGH CHAIN LINK FENCE WITH ADEQUATELY SIZED GATES POSITIONED AS DETERMINED BY THE OWNER, THE GENERAL CONTRACTOR AND THE TOWN OF ANDOVER FIRE DEPARTMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION OF THE SWPPP AND OBTAINING AN EPA GENERAL CONSTRUCTION PERMIT FOR THE PROJECT.
- EROSION CONTROLS CONSISTING OF STRAW WATTLES SHALL BE INSTALLED AROUND THE ENTIRE PERIMETER OF THE WORK AREA. SILT SACKS SHALL BE INSTALLED IN ALL CASTCH BASINS WITHIN AND PROXIMATE TO THE WORK AREA. THE INSTALLATION OF ALL EROSION CONTROLS SHALL BE INSPECTED BY THE CIVIL ENGINEER PRIOR TO LAND DISTURBANCE.
- A STONE TRACKING PAD OR PADS SHALL BE INSTALLED AT EVERY ENTRANCE TO THE WORK AREA FOLLOWING THE STANDARD DETAIL.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES AROUND ALL DISTURBED AREAS IN GOOD CONDITION TO ENSURE PROPER EROSION CONTROL UNTIL ALL CASTCH WORK HAS BEEN COMPLETED AND ALL SURFACES HAVE BEEN PAVED OR VEGETATED COVER HAS BEEN ESTABLISHED. AT THE COMPLETION OF THE WORK AND THE STABILIZATION OF ALL SURFACES, THE EROSION CONTROLS MAY BE REMOVED WITH THE EXPRESS APPROVAL OF THE CIVIL ENGINEER. ALL AREAS DISTURBED BY THE EROSION CONTROLS OR THEIR REMOVAL SHALL BE LOAMED AND SEEDED.
- INLET PROTECTION PROVIDED FOR THE DRAINAGE SYSTEM (ALL EXISTING AND NEW INLETS) SHALL BE MAINTAINED UNTIL ALL WORK HAS BEEN COMPLETED AND AREAS HAVE BEEN PAVED AND VEGETATION HAS BEEN ESTABLISHED.
- SET ALL CONCRETE WALKWAYS AND PADS AT ALL BUILDING DOORS DOWN 1/4" LOWER THAN INTERIOR FINISHED FLOOR ELEVATION.
- THE PROPOSED PROJECT INVOLVES APPROXIMATELY 2,500 CUBIC YARDS OF CUT AND 5,000 CUBIC YARDS OF FILL. A LARGE PORTION OF THE FILL WILL BE IMPORTED GRAVEL FOR PAVEMENTS AND THE PROPOSED ADDITION.

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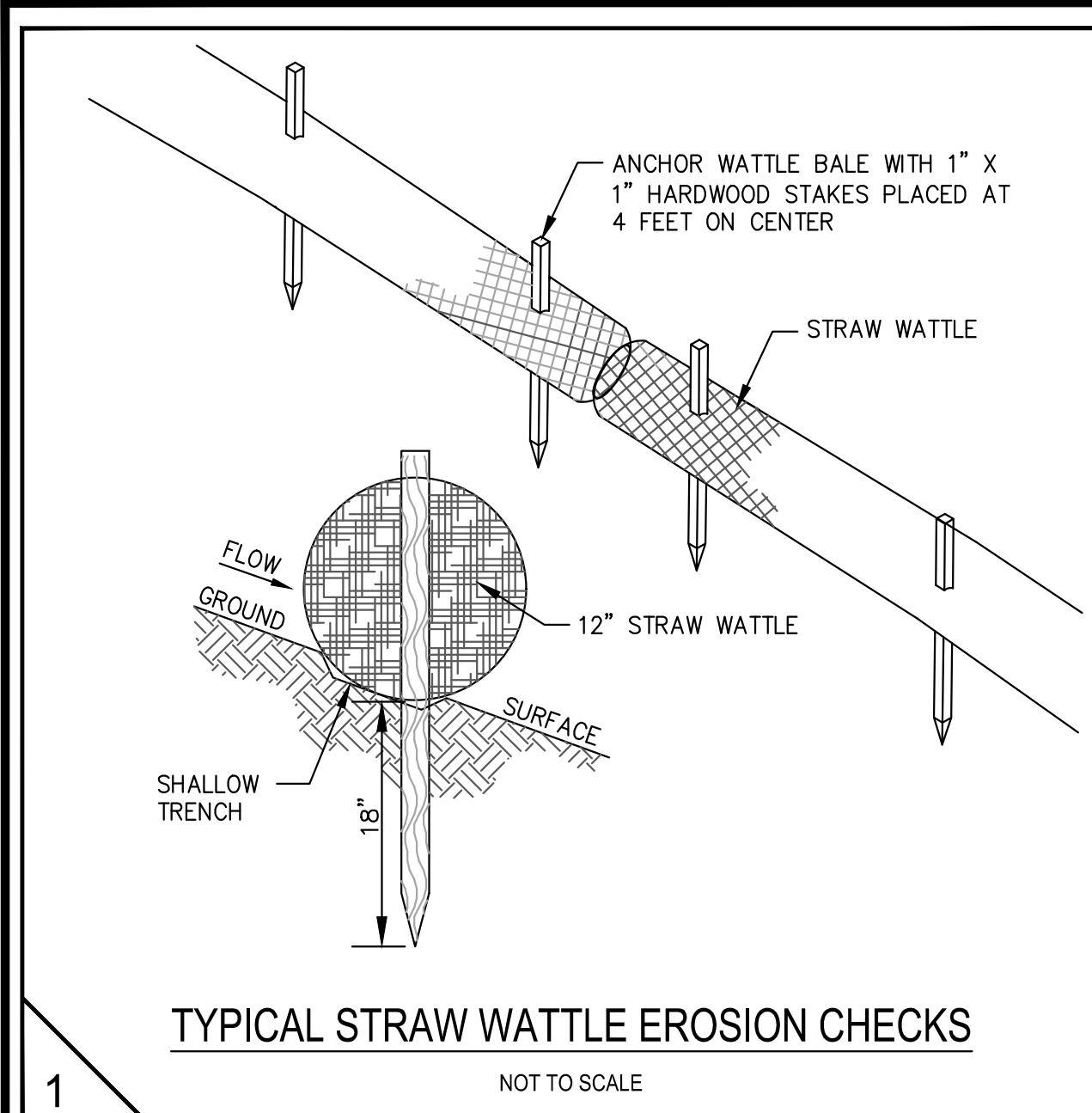
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**SEWER CONNECTION PLAN, NOTES & ZONING TABLE**

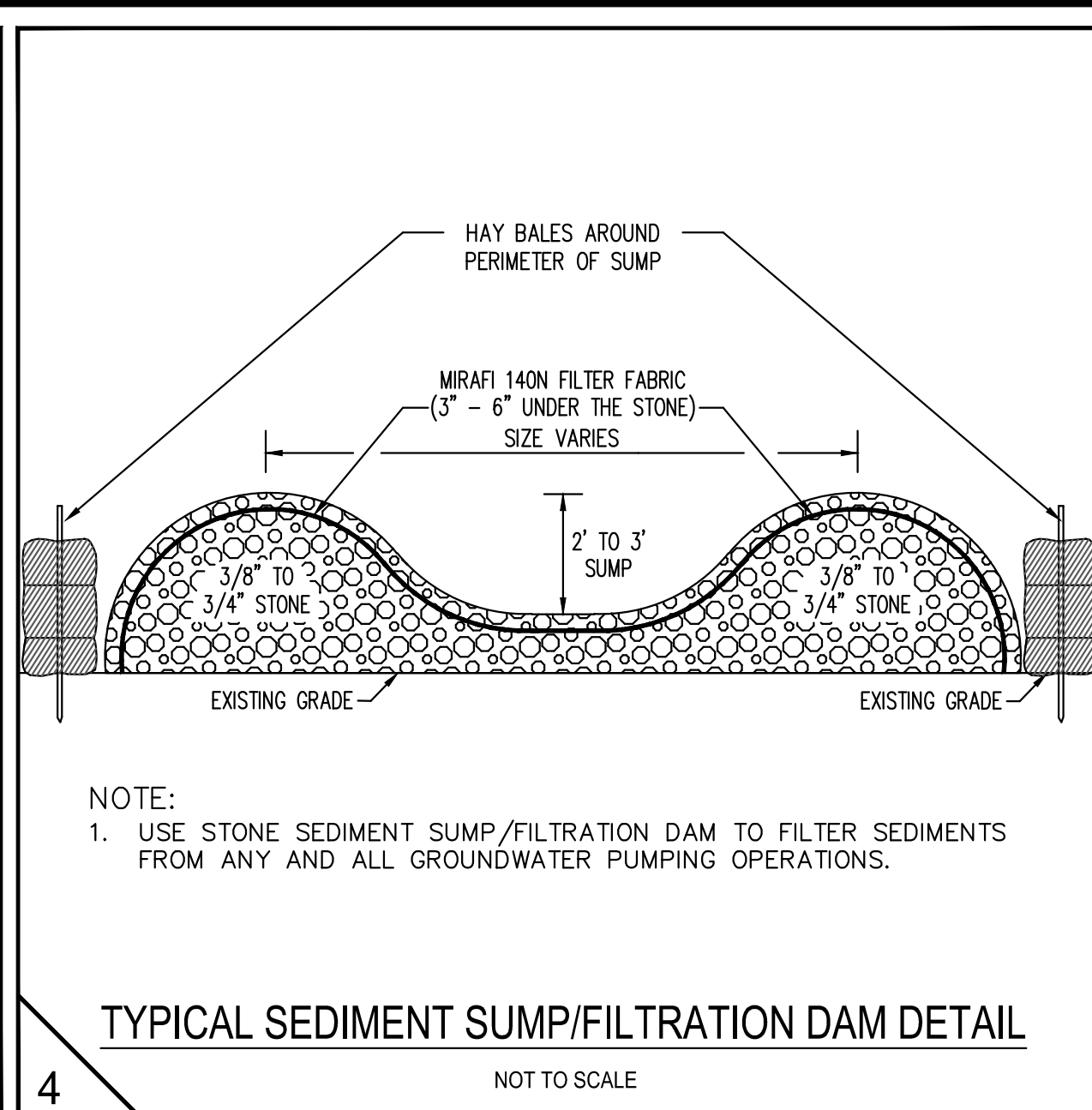
**PROPOSED RENOVATION AND ADDITION**  
**ONE AND FOUR CORPORATE DRIVE**  
**ANDOVER, MASSACHUSETTS**

SHEET	C-4
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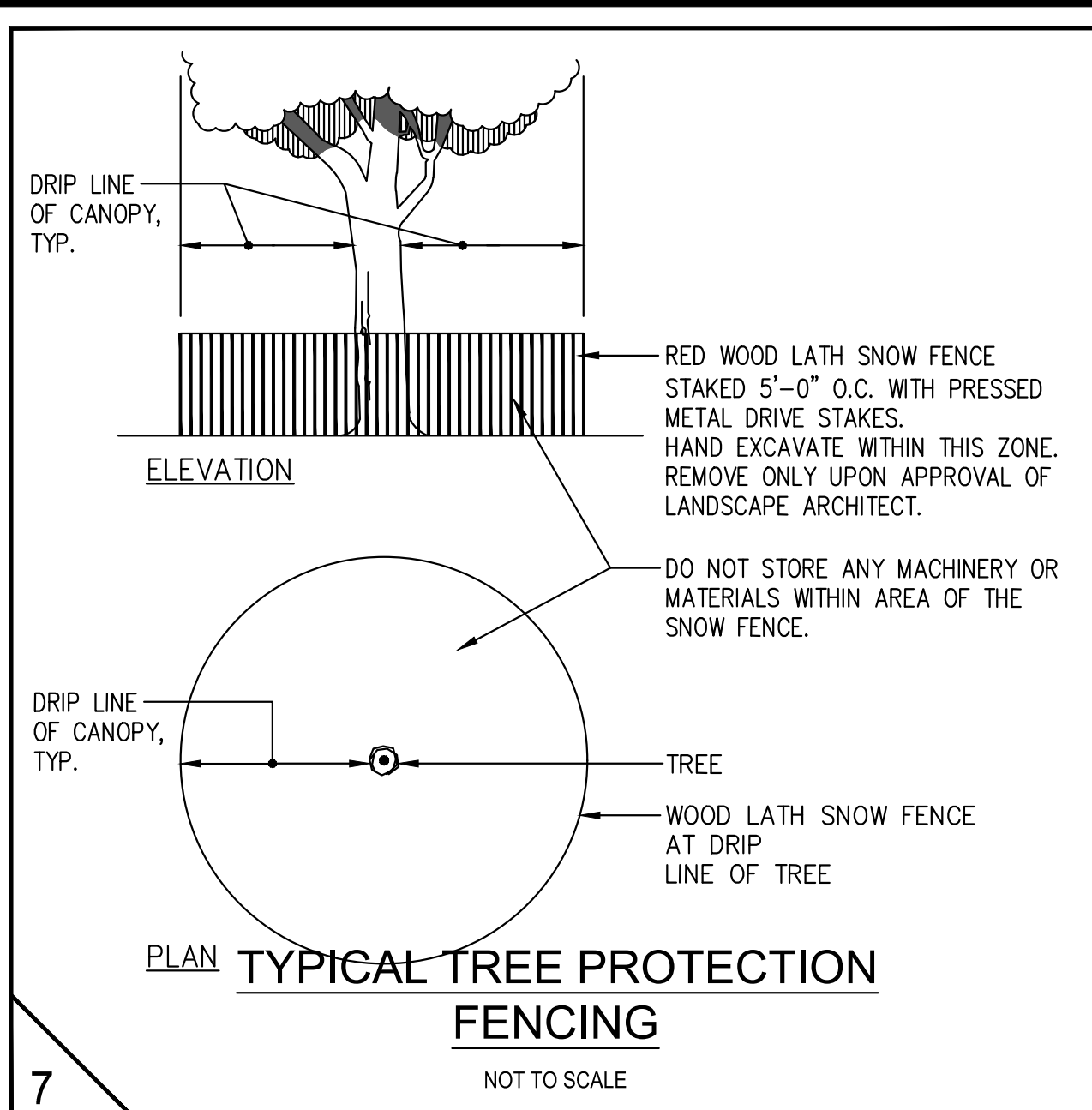
**TYPICAL STRAW WATTLE EROSION CHECKS**

NOT TO SCALE



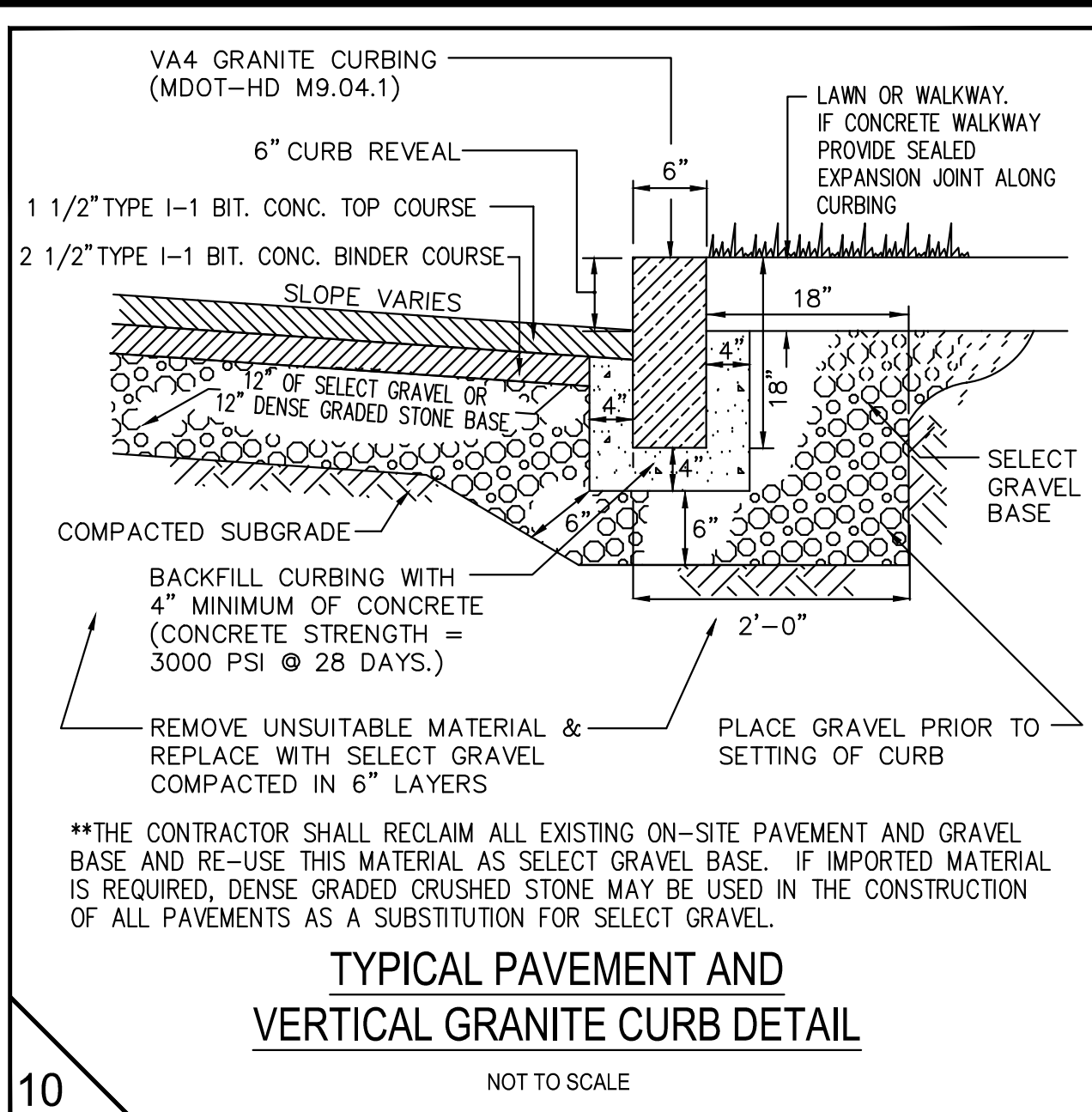
**TYPICAL SEDIMENT SUMP/FILTRATION DAM DETAIL**

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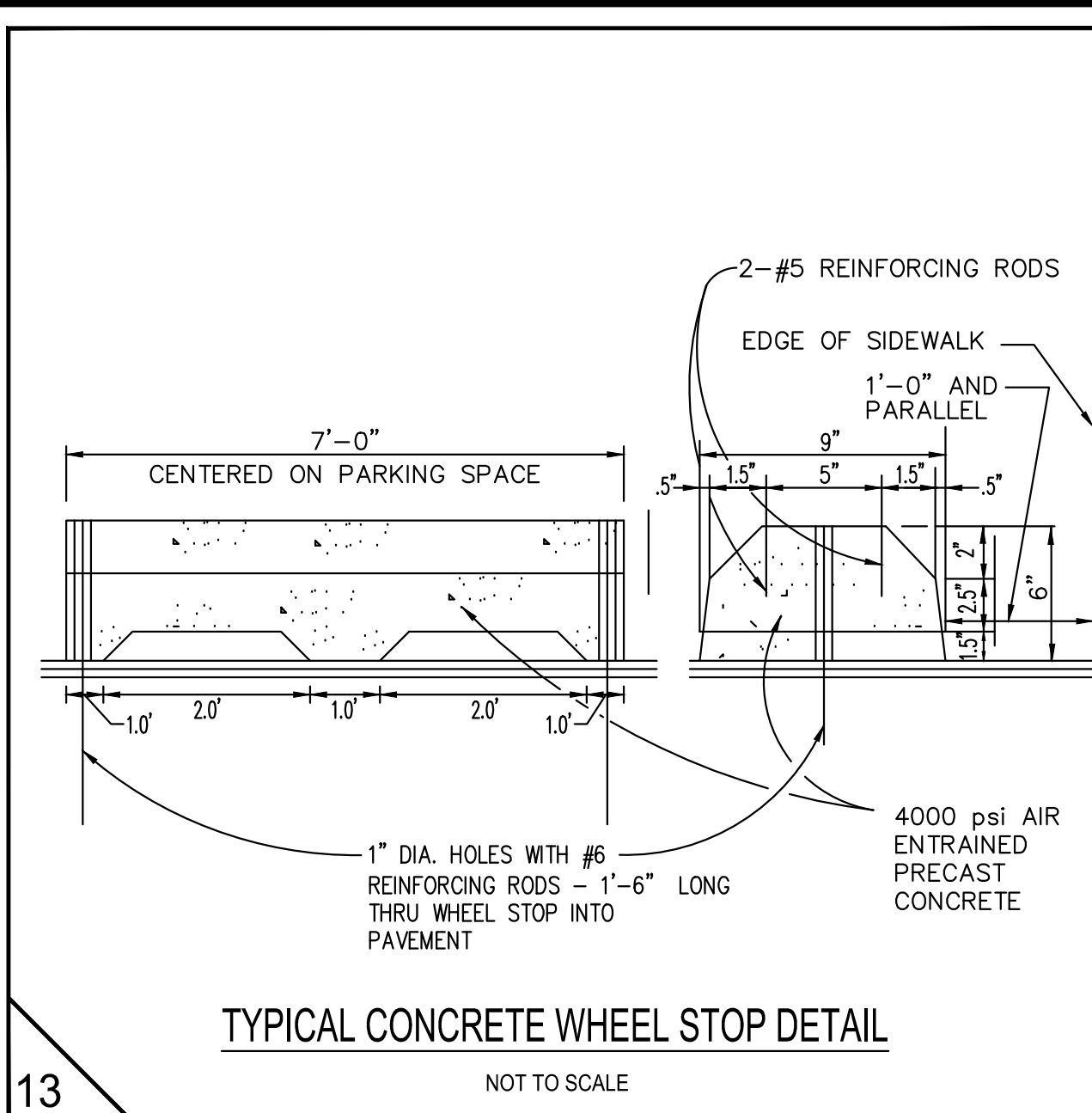
**TYPICAL TREE PROTECTION FENCING**

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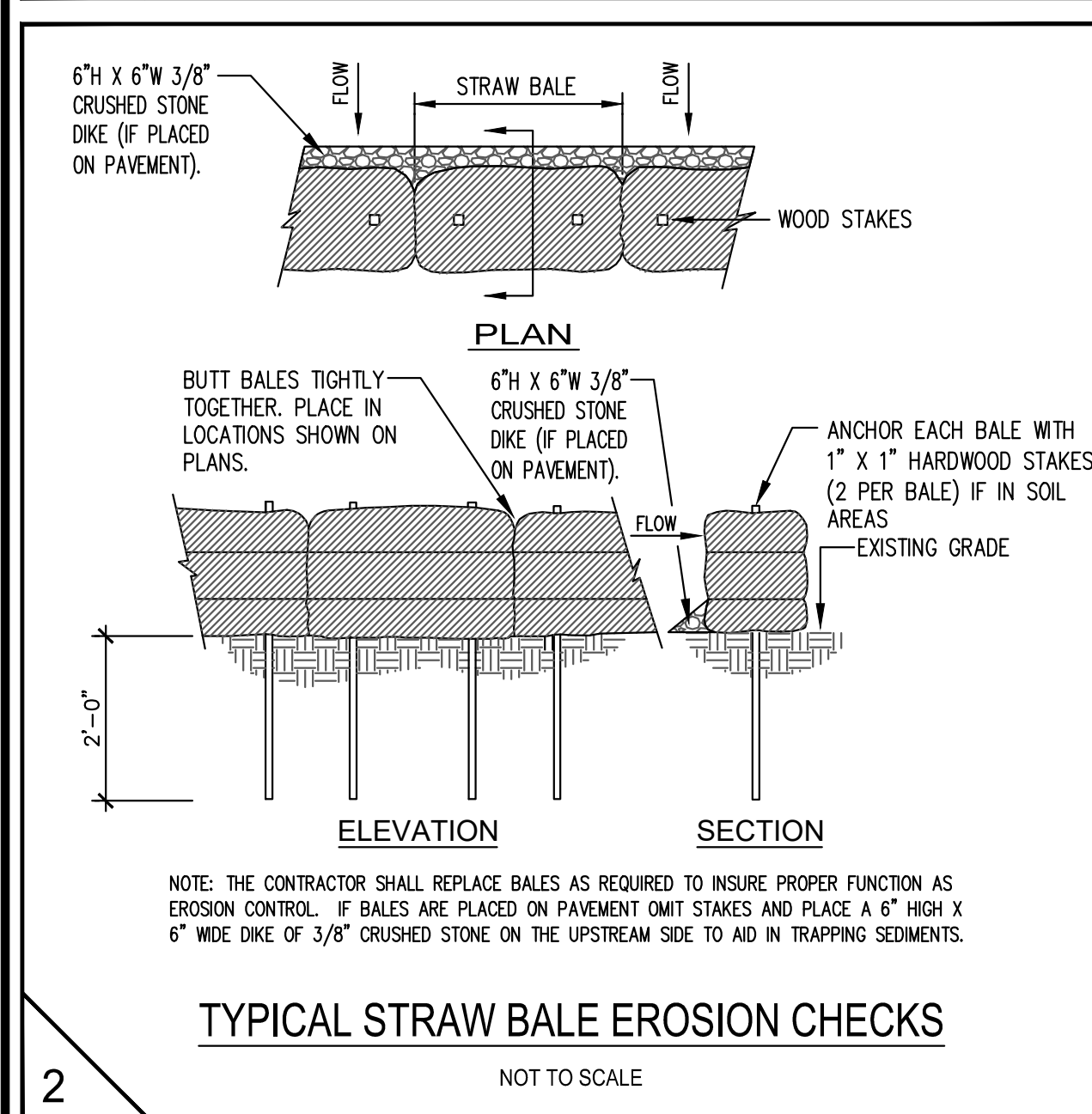
**TYPICAL PAVEMENT AND VERTICAL GRANITE CURB DETAIL**

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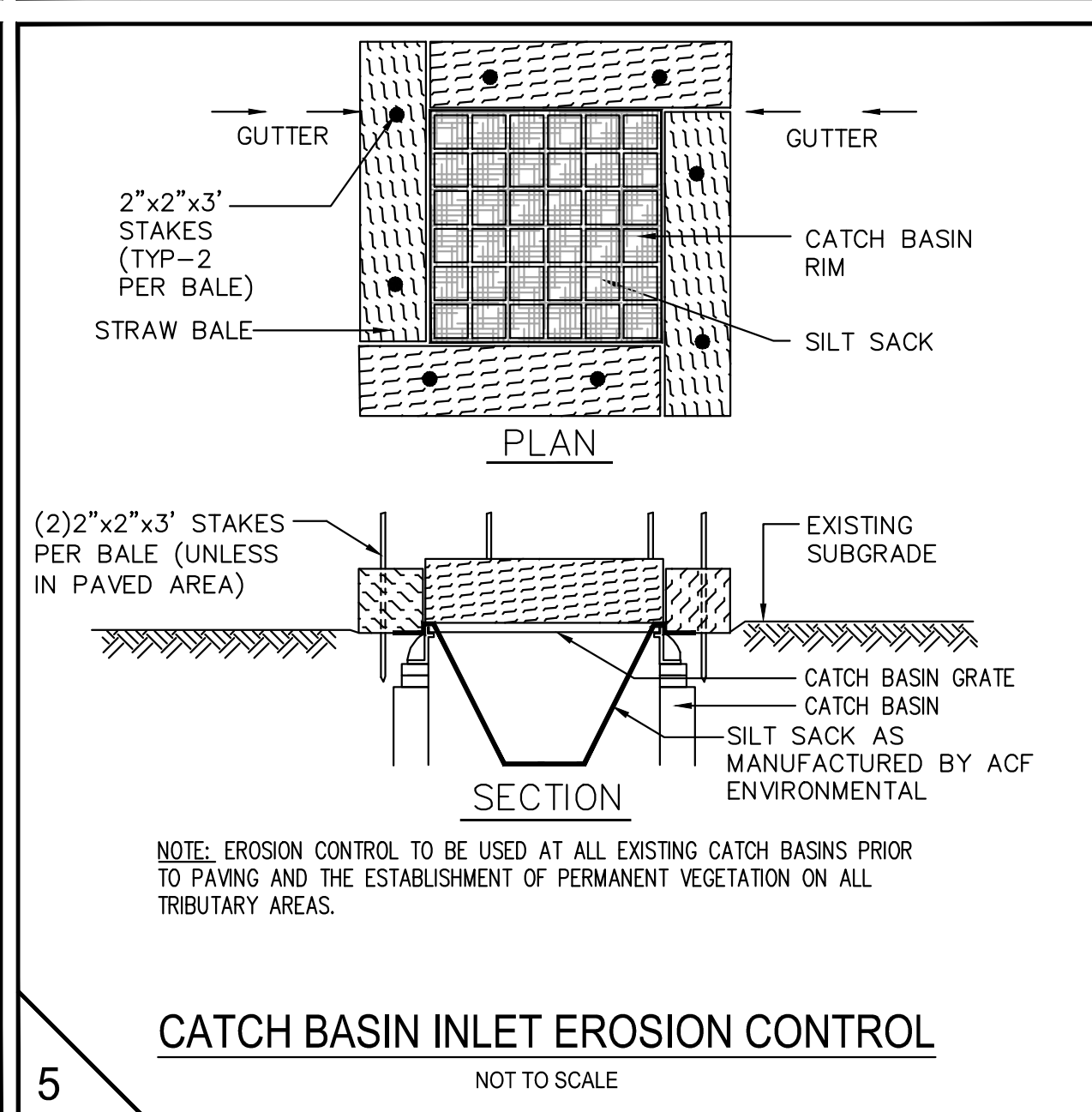
**TYPICAL CONCRETE WHEEL STOP DETAIL**

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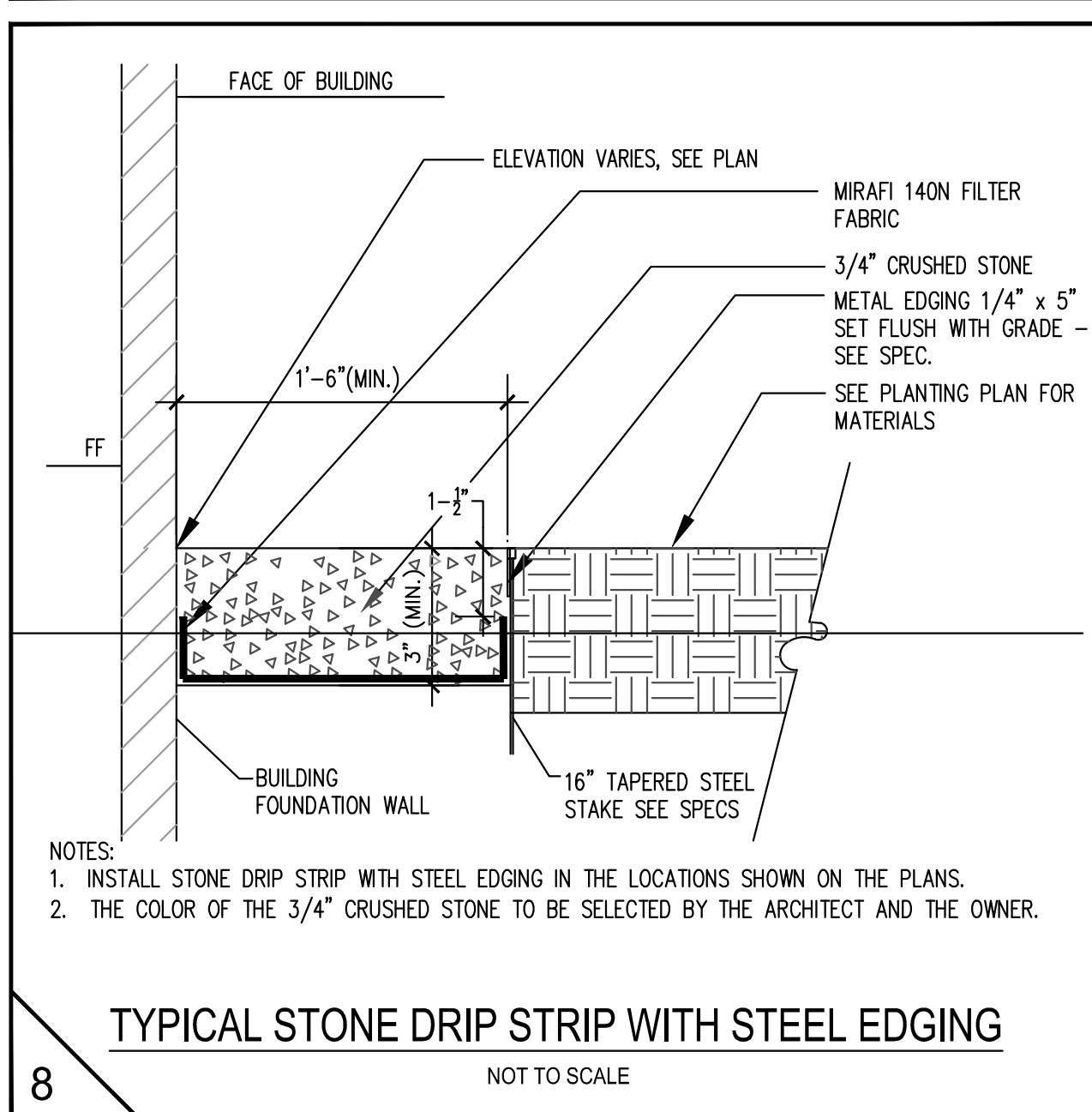
**TYPICAL STRAW BALE EROSION CHECKS**

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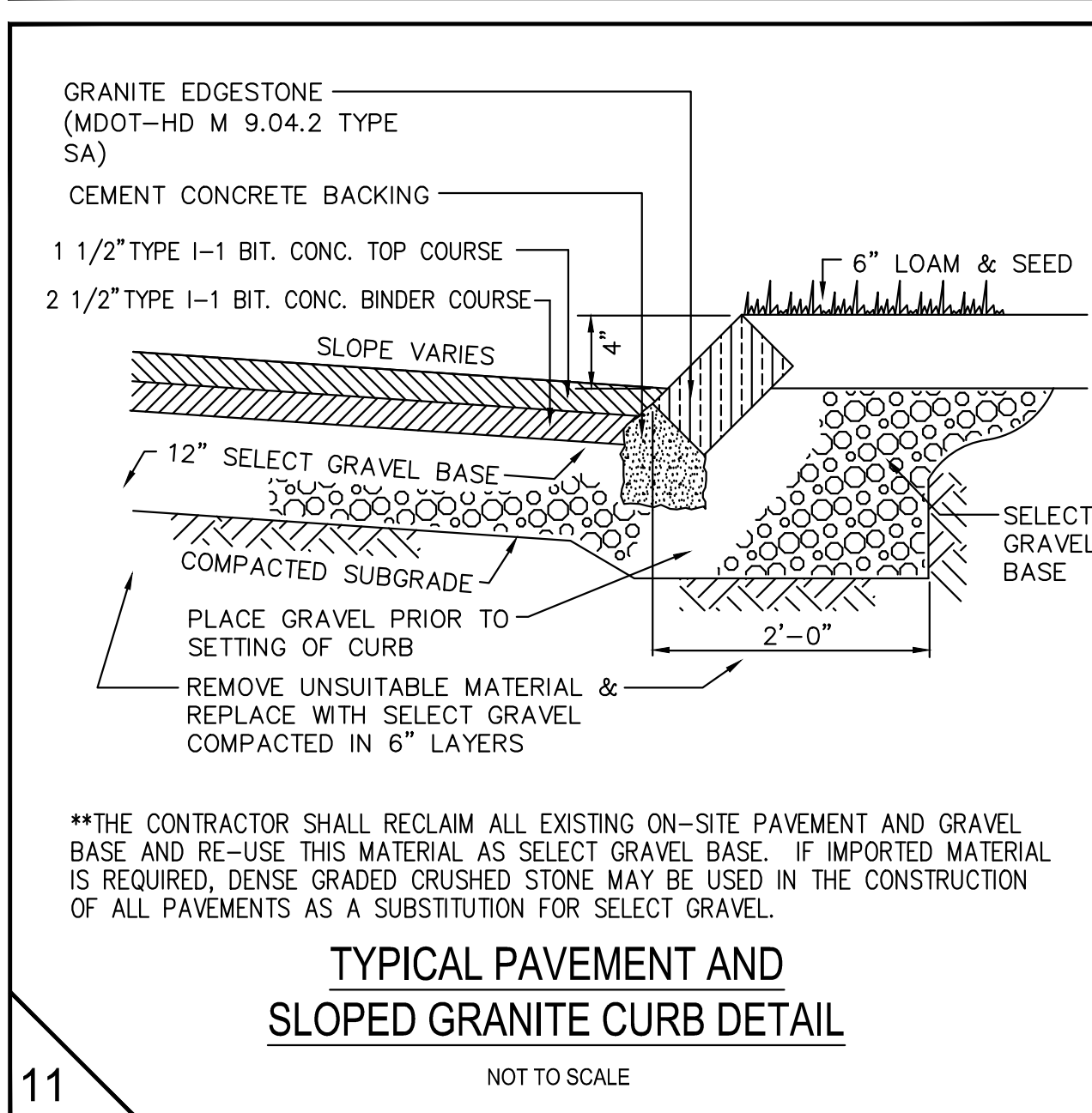
**CATCH BASIN INLET EROSION CONTROL**

NOT TO SCALE



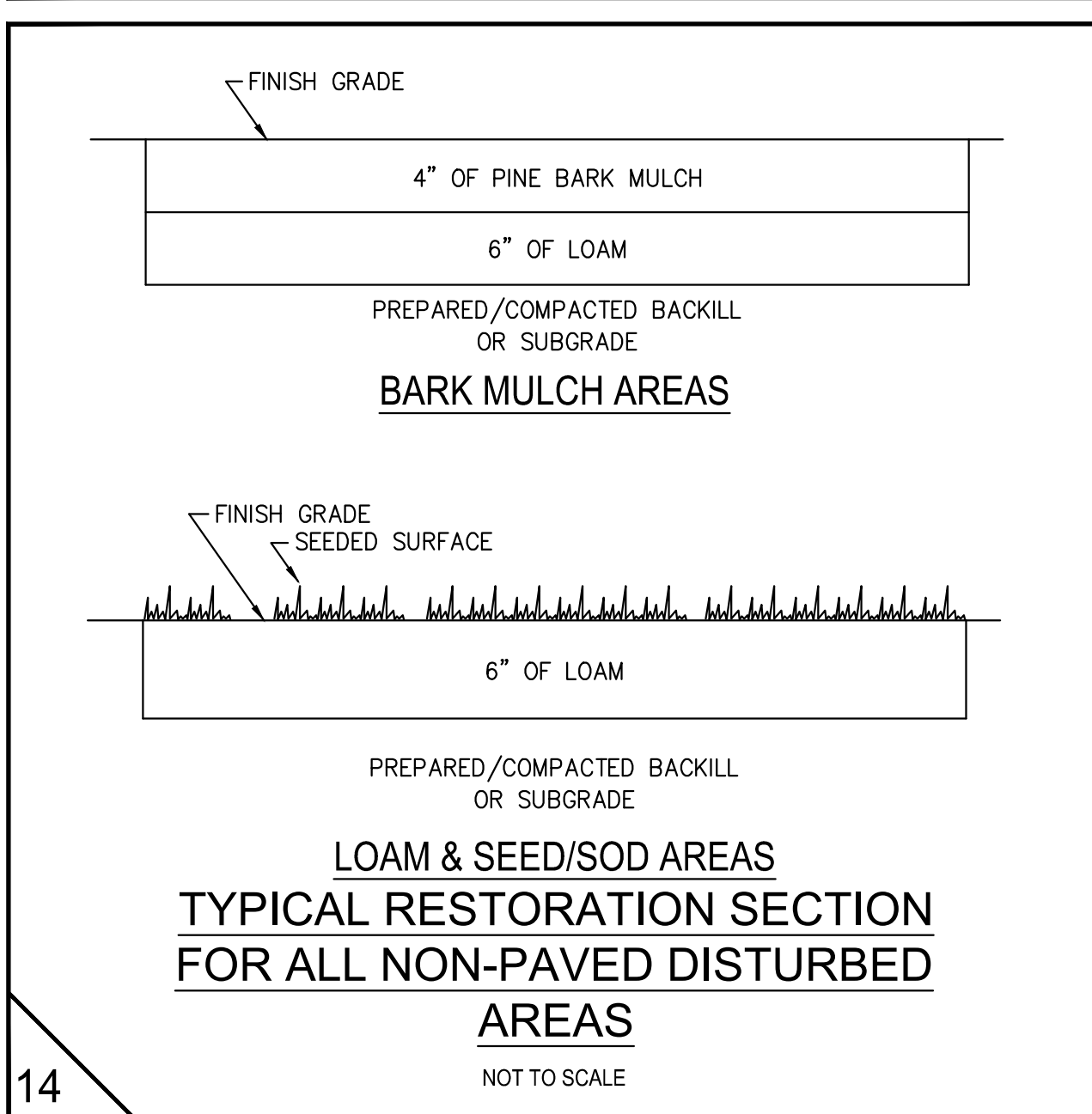
**TYPICAL STONE DRIP STRIP WITH STEEL EDGING**

NOT TO SCALE



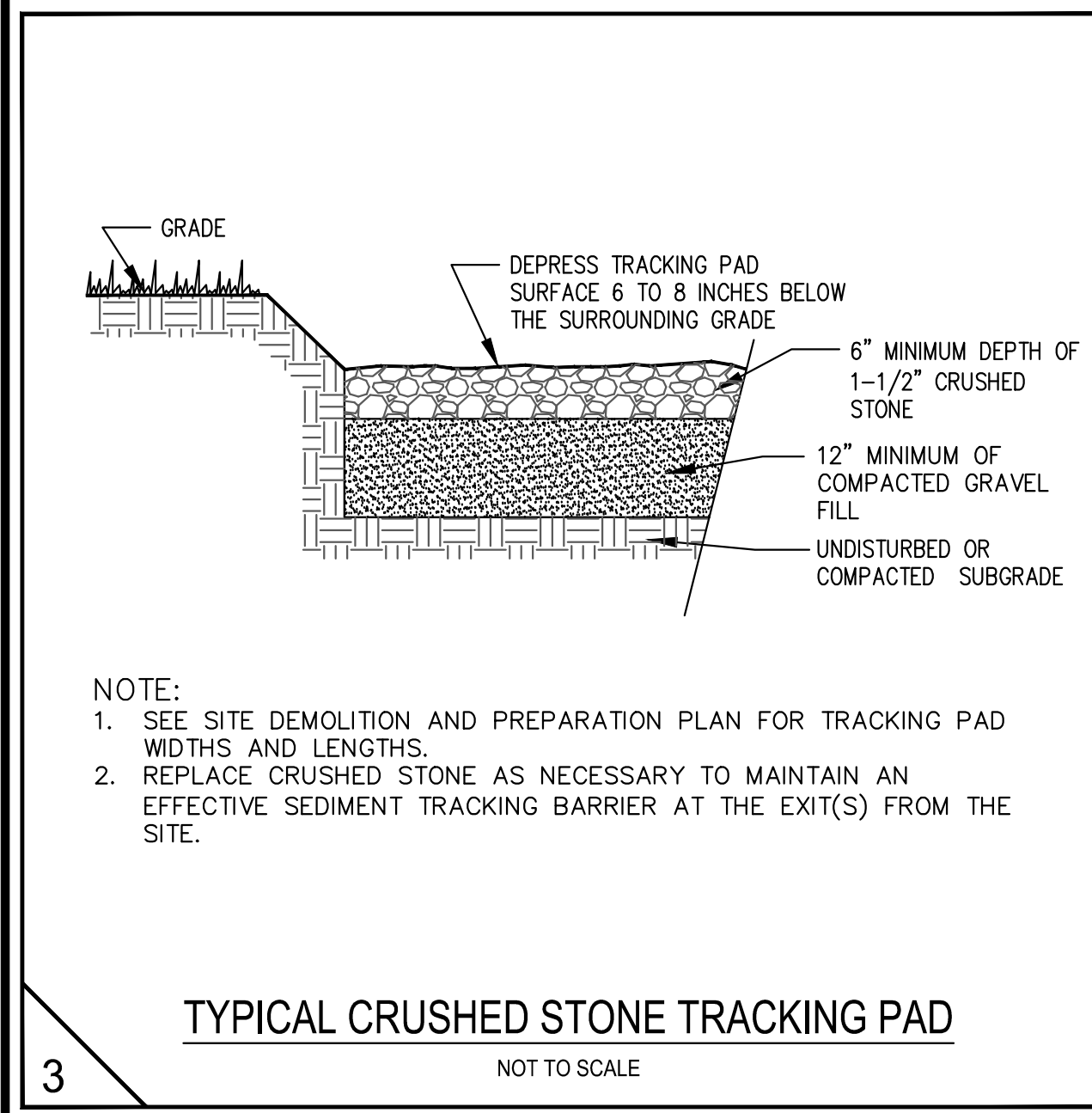
**TYPICAL PAVEMENT AND SLOPED GRANITE CURB DETAIL**

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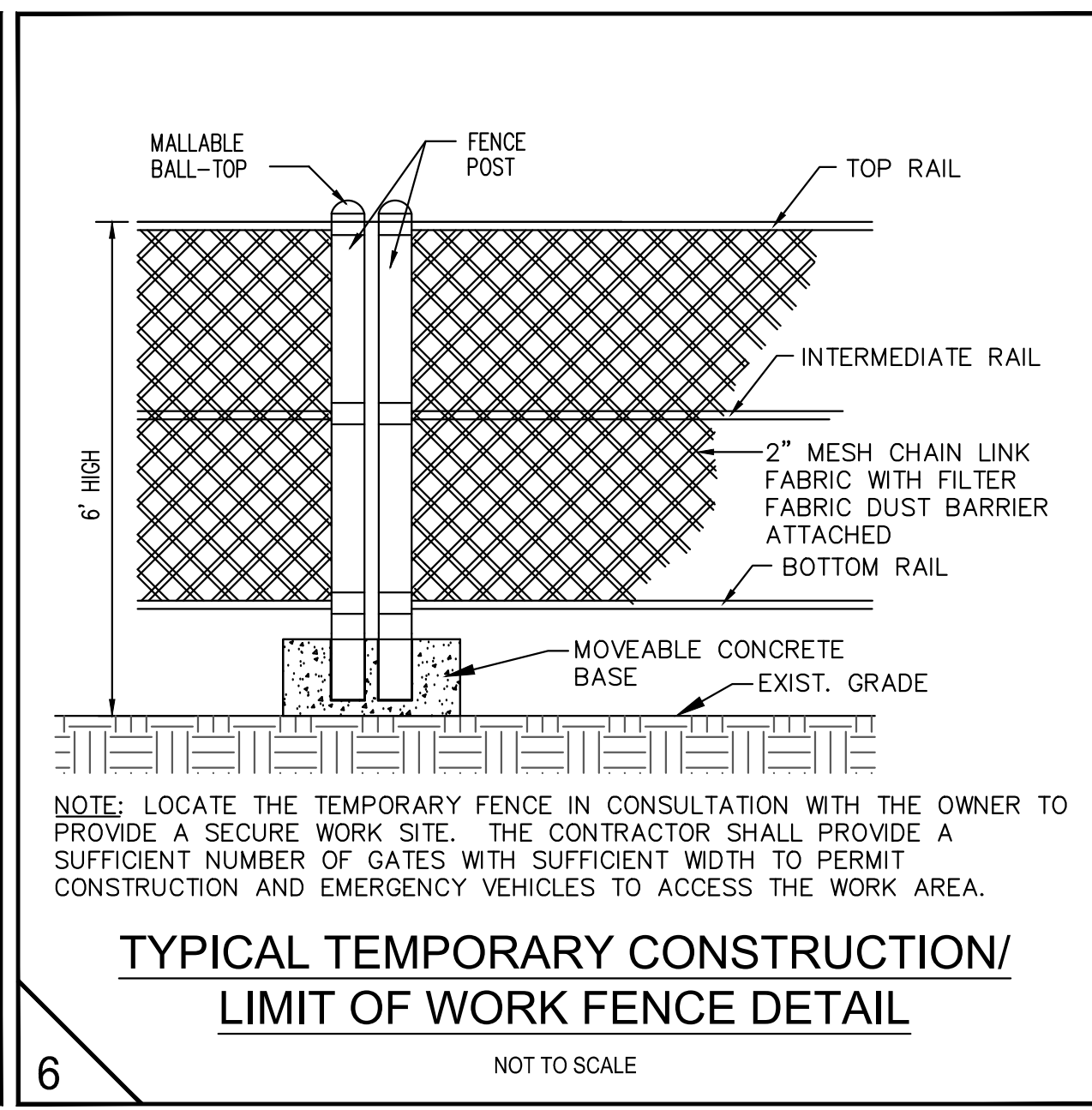
**TYPICAL RESTORATION SECTION FOR ALL NON-PAVED DISTURBED AREAS**

NOT TO SCALE



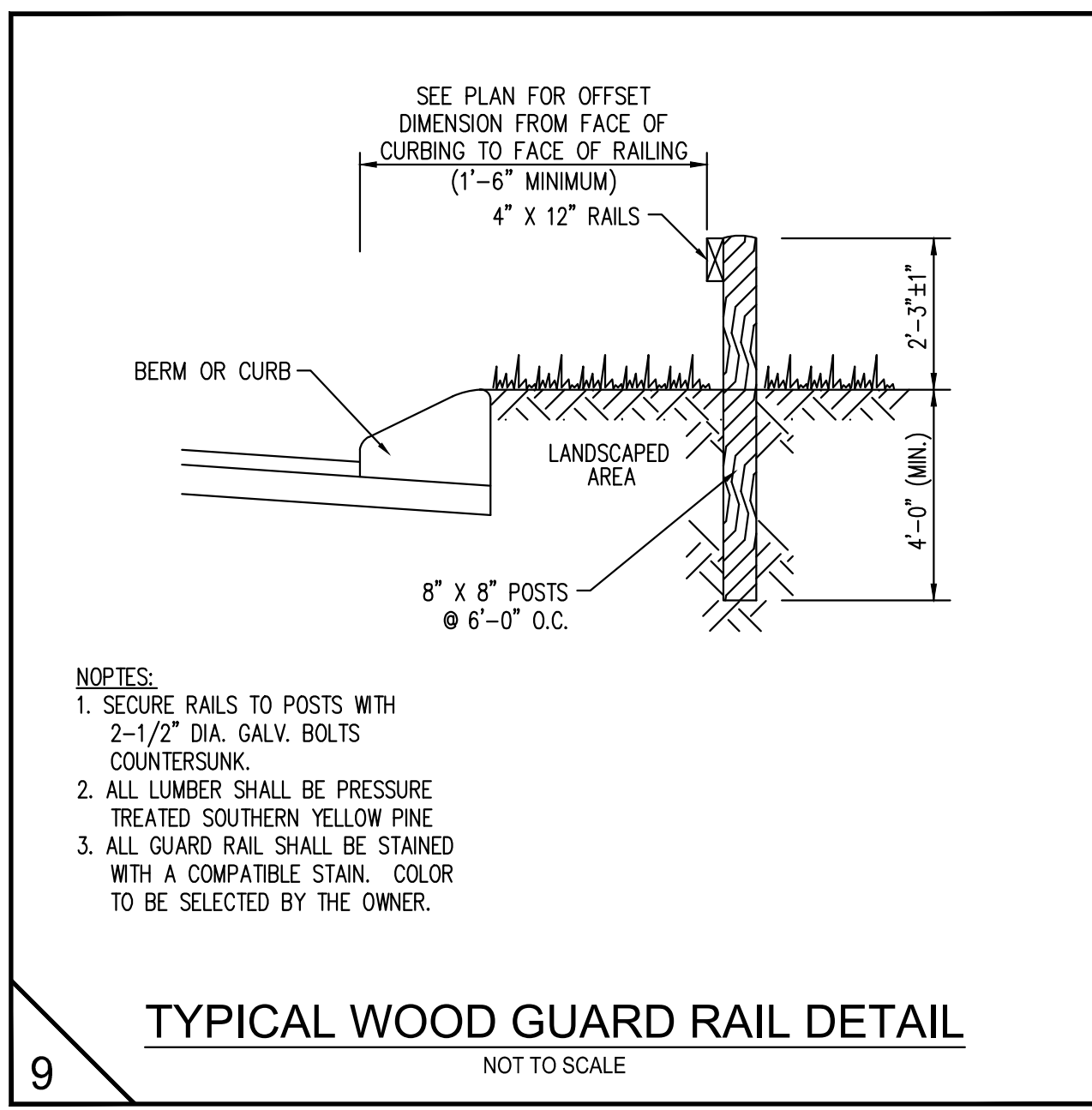
**TYPICAL CRUSHED STONE TRACKING PAD**

NOT TO SCALE



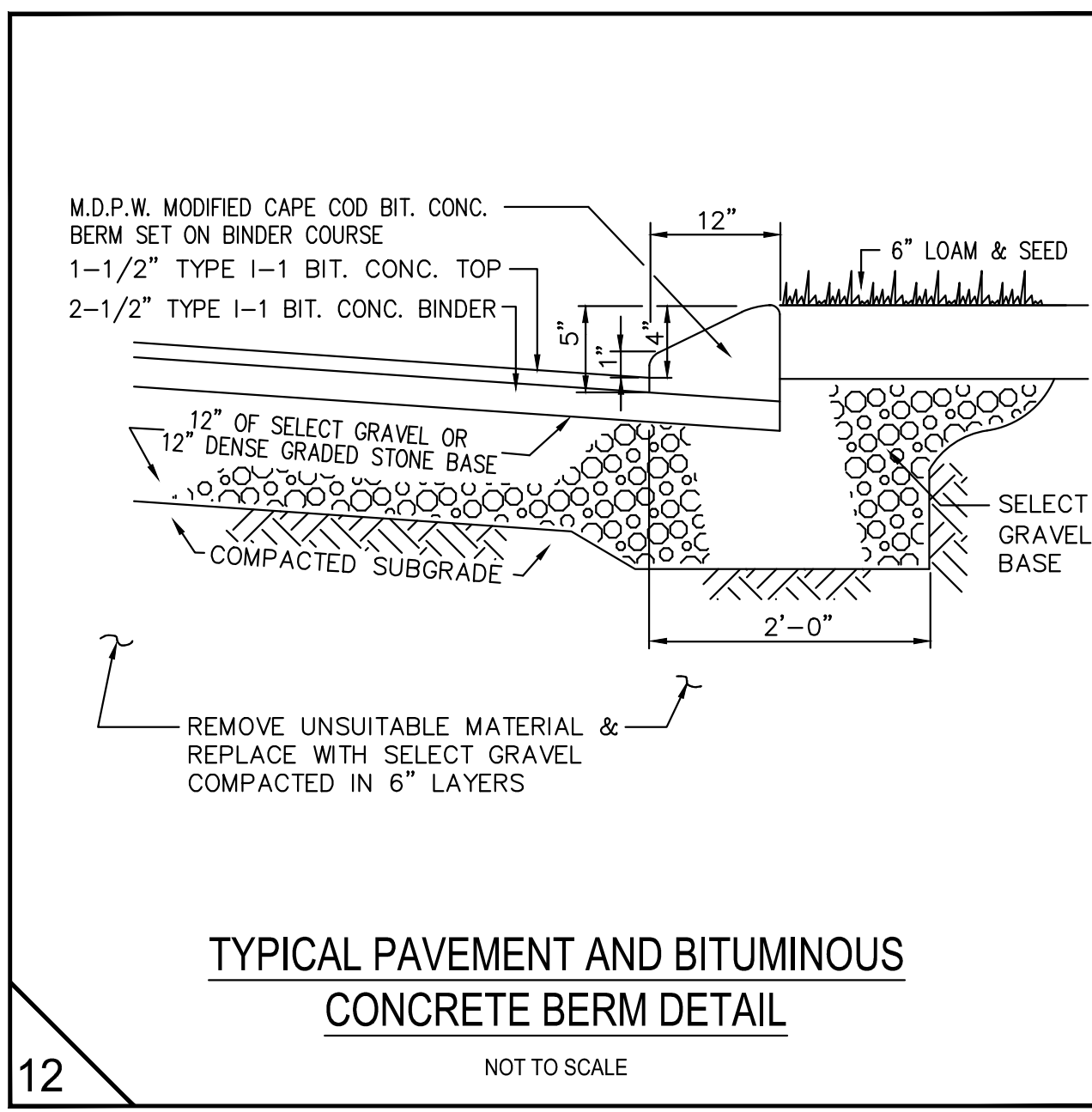
**TYPICAL TEMPORARY CONSTRUCTION/ LIMIT OF WORK FENCE DETAIL**

NOT TO SCALE



**TYPICAL WOOD GUARD RAIL DETAIL**

NOT TO SCALE




**TYPICAL PAVEMENT AND BITUMINOUS CONCRETE BERM DETAIL**

NOT TO SCALE

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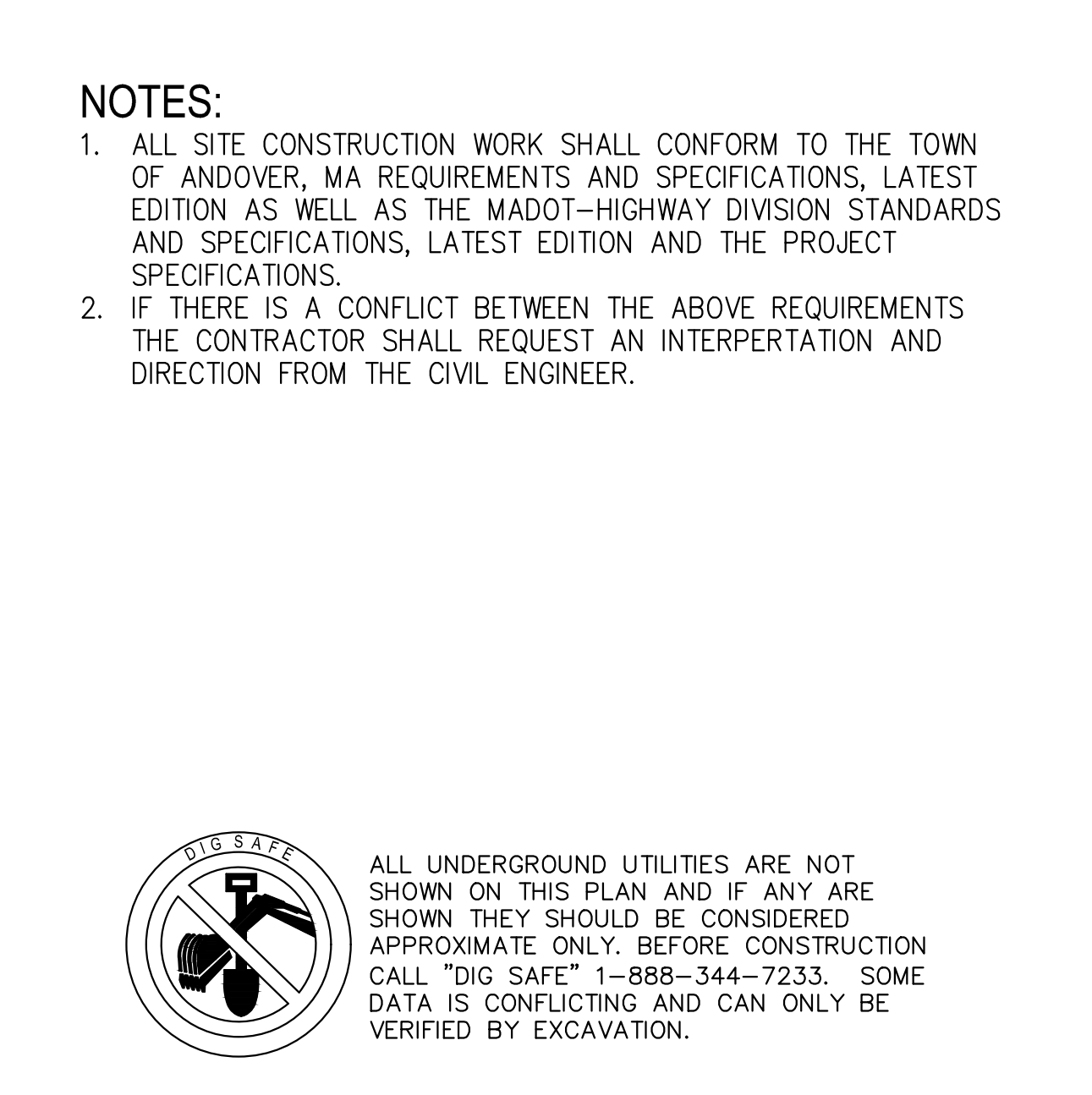
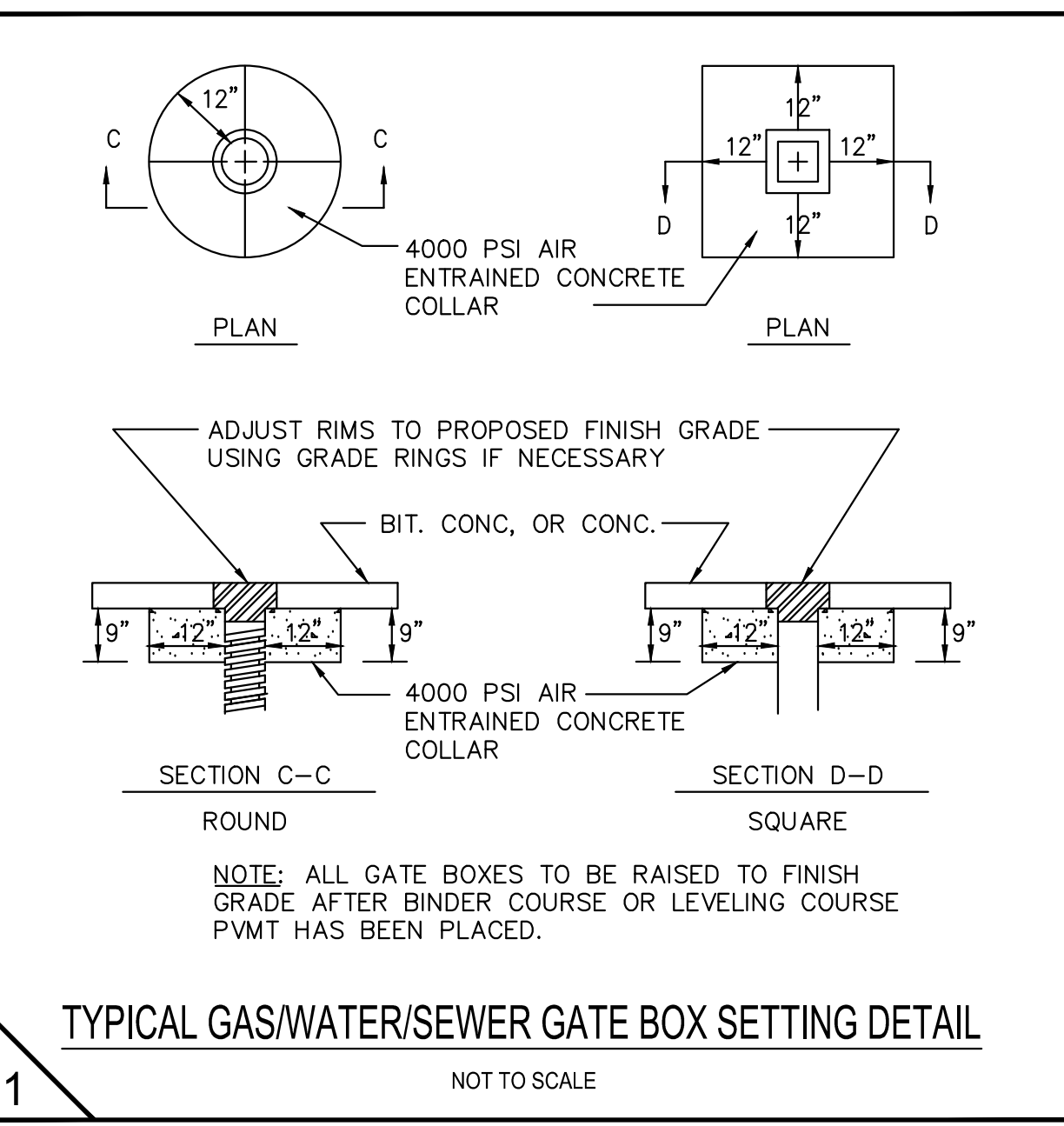
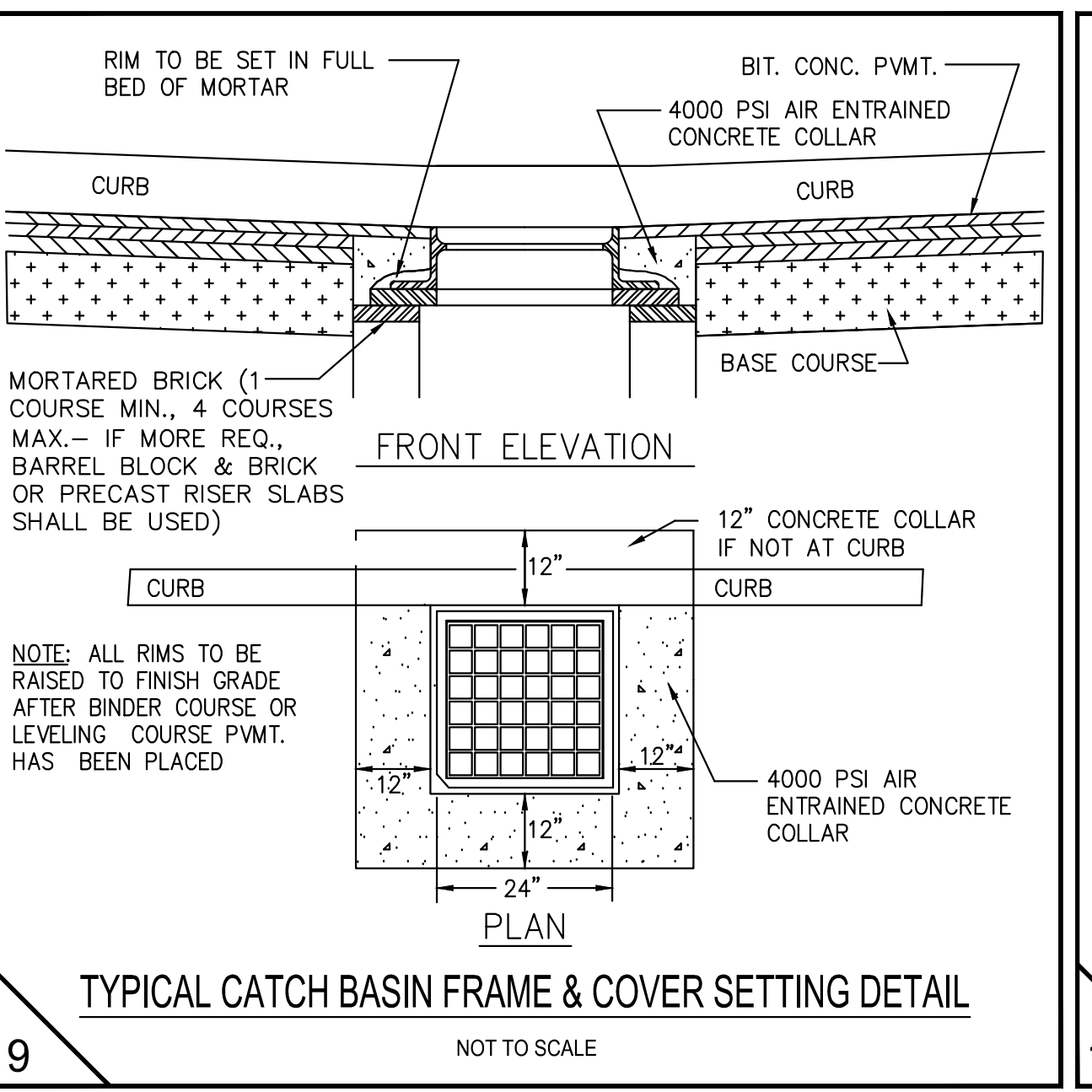
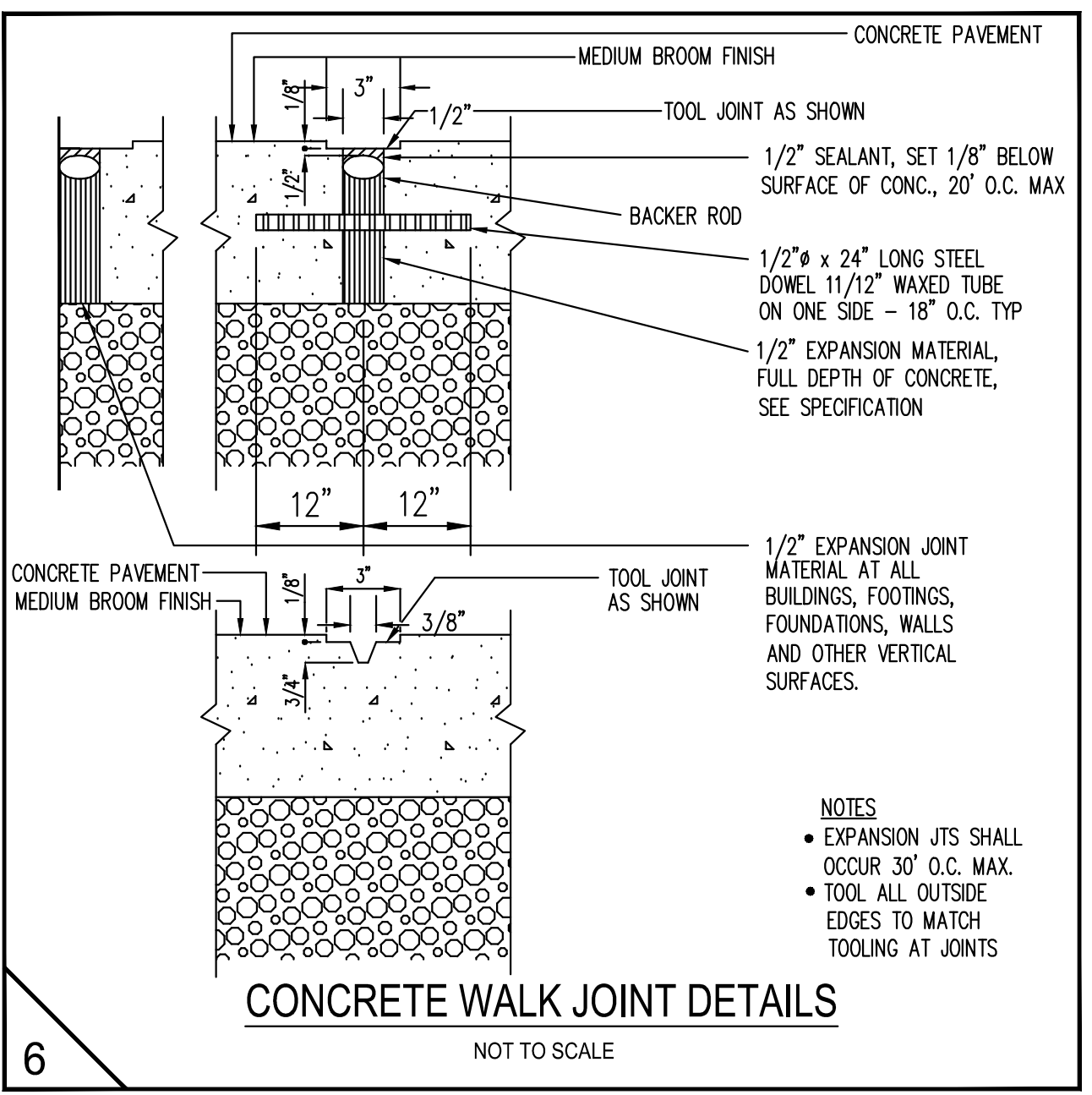
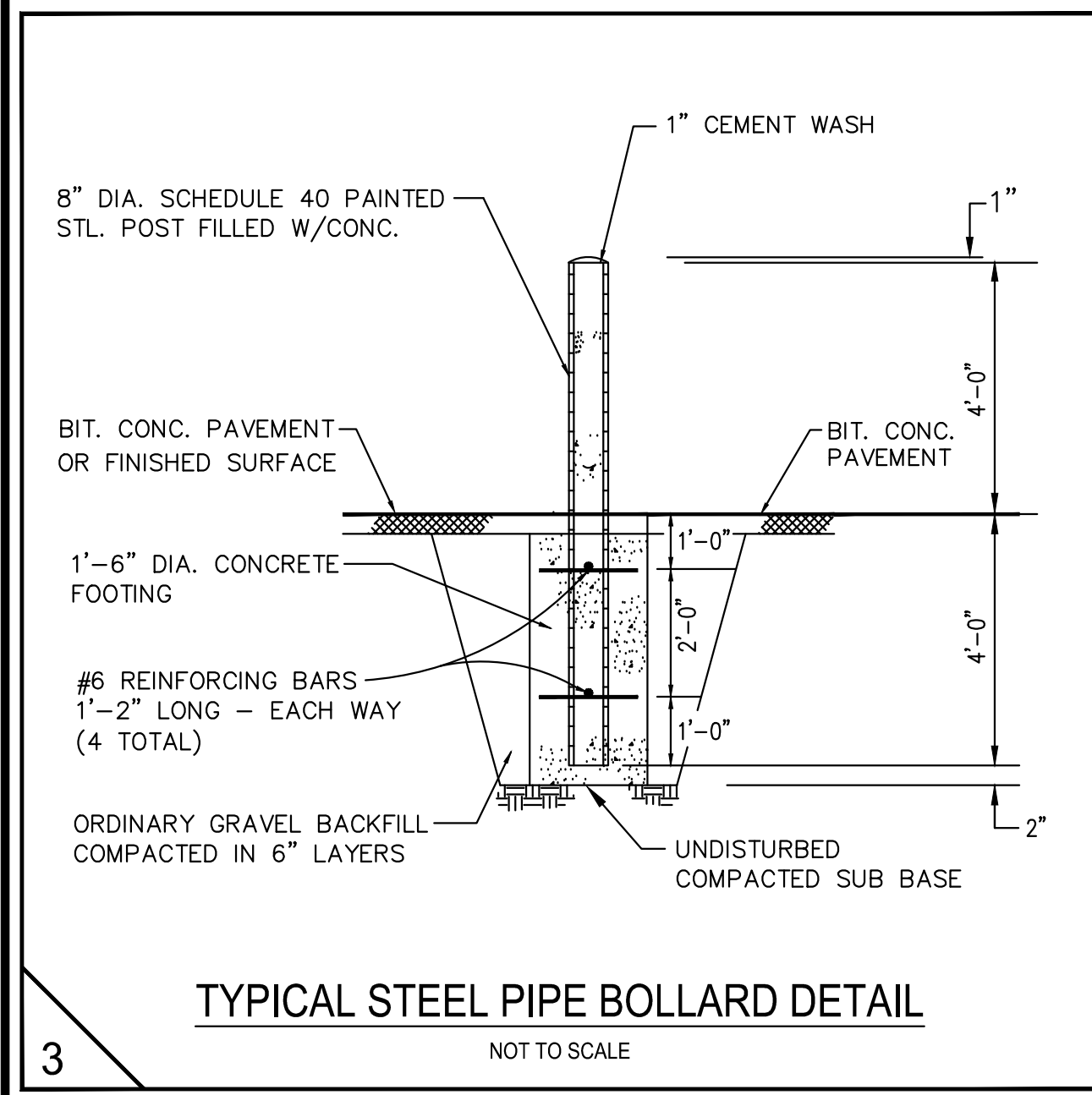
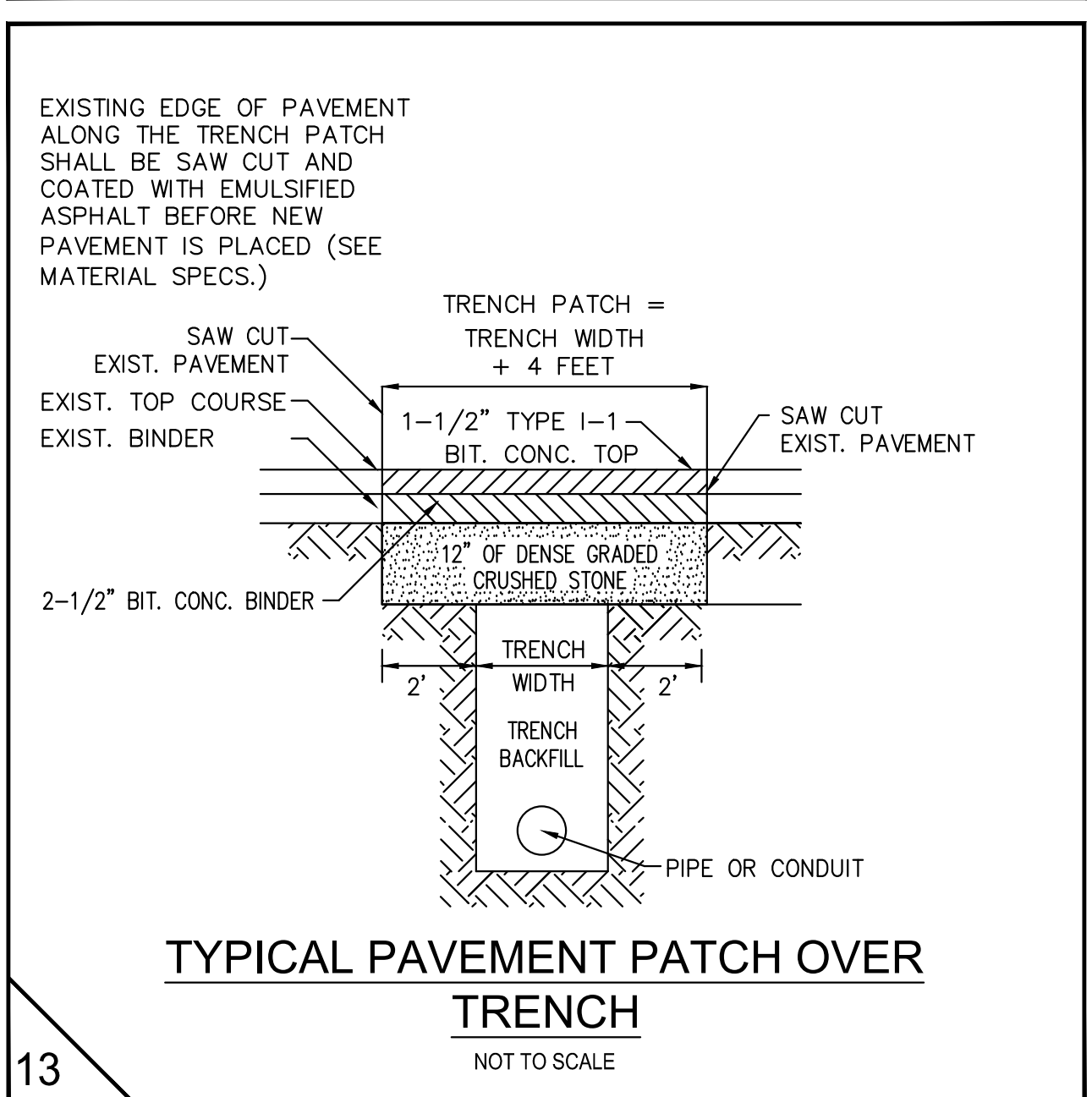
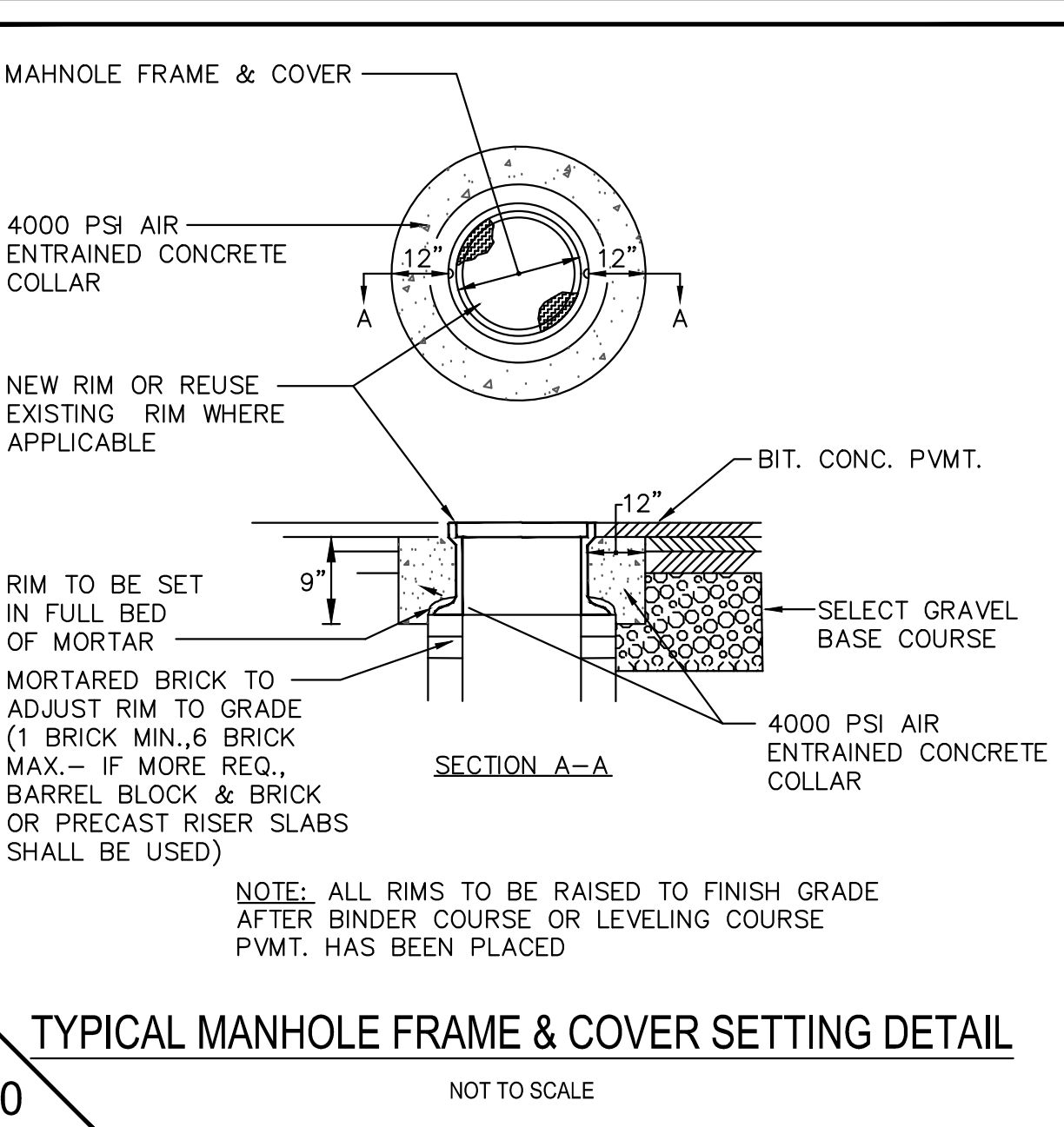
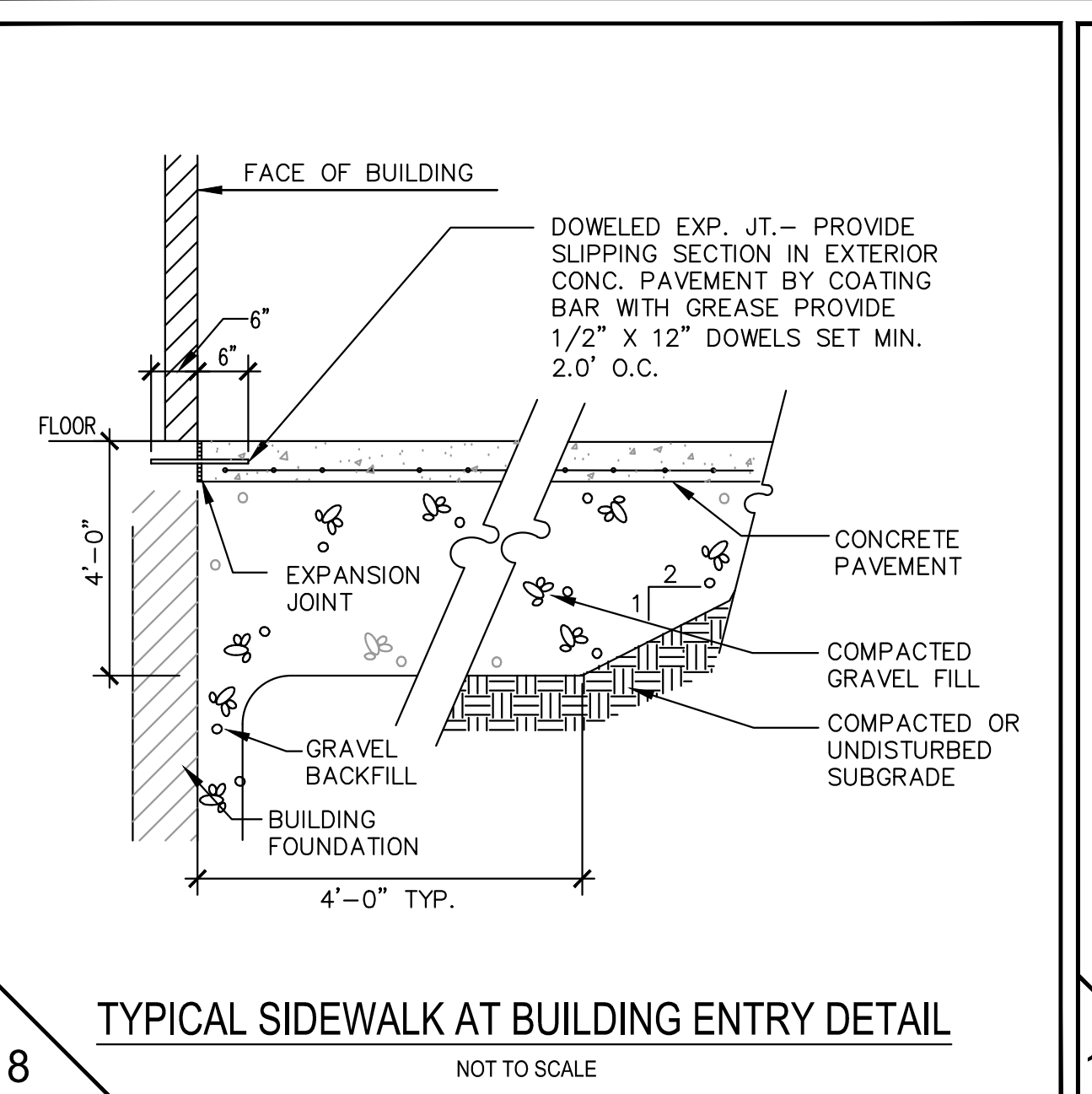
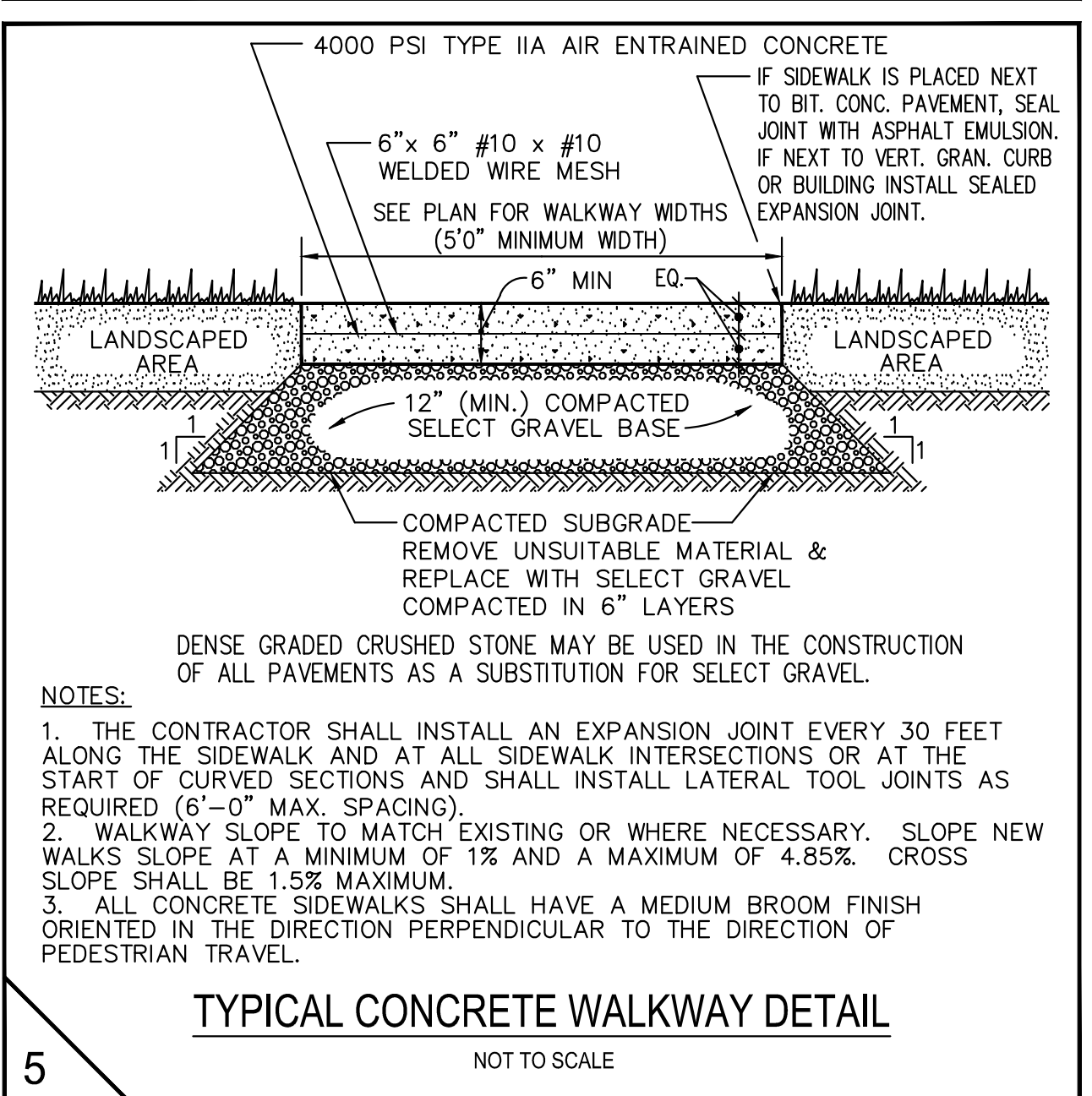
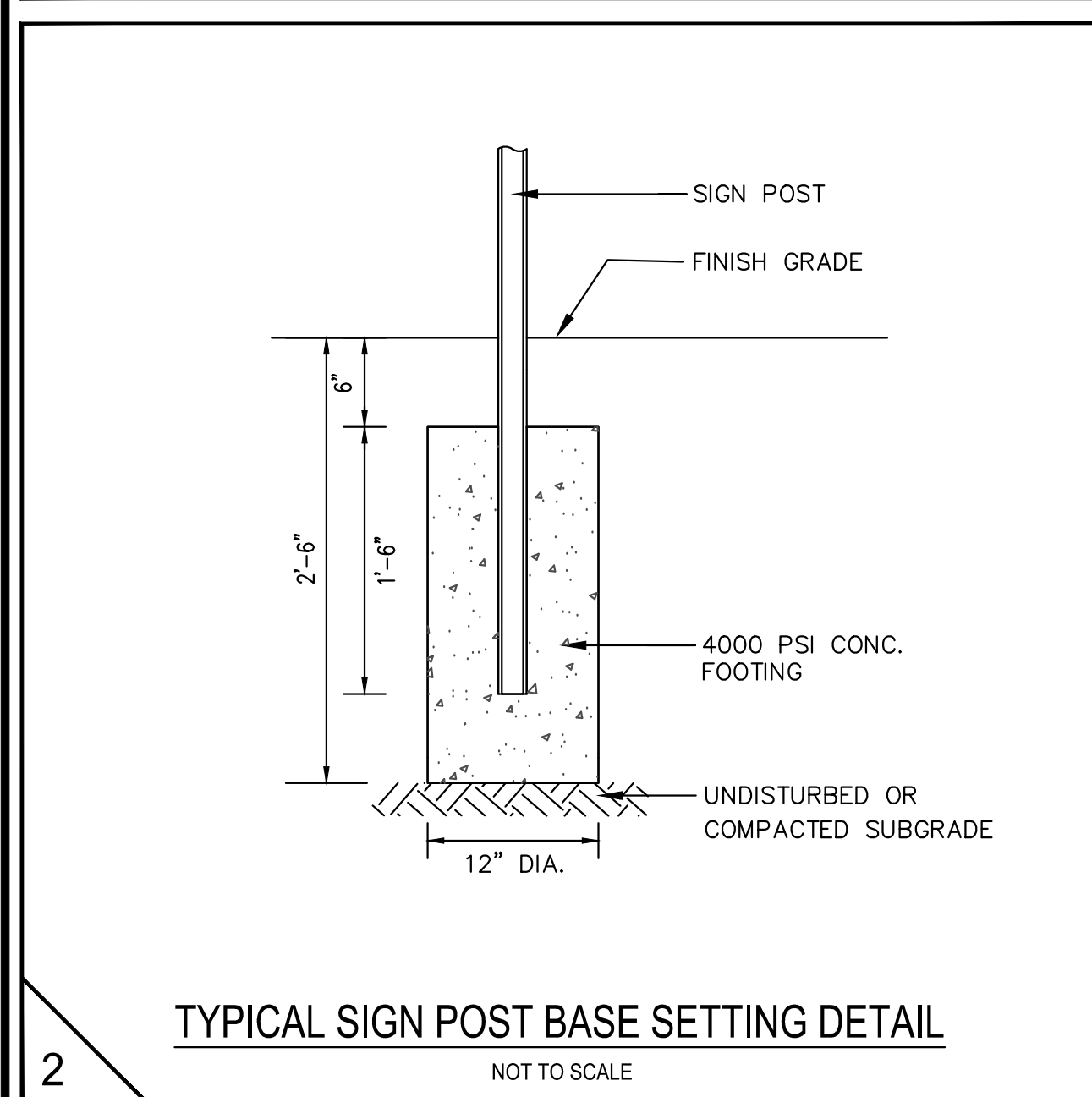
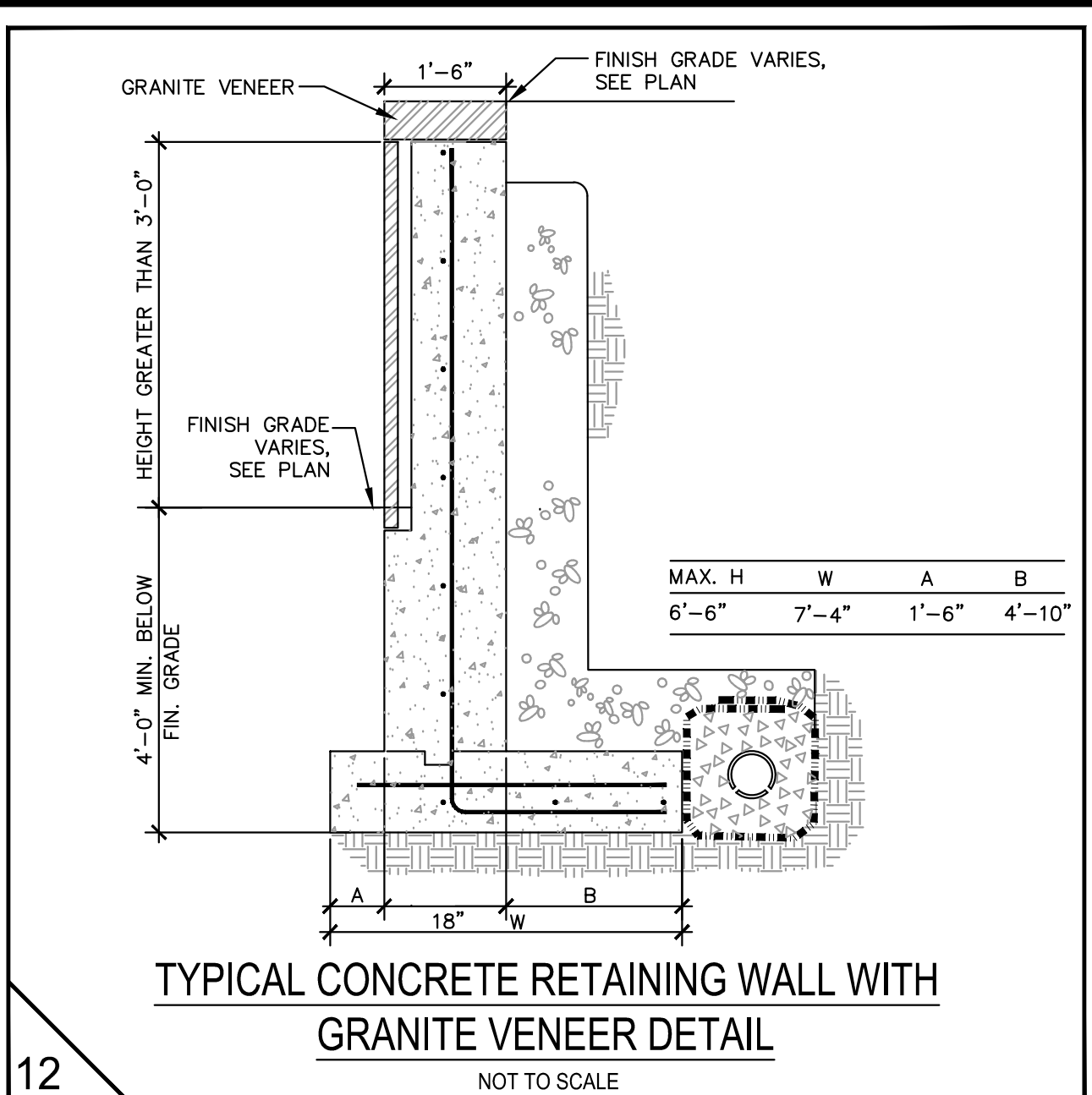
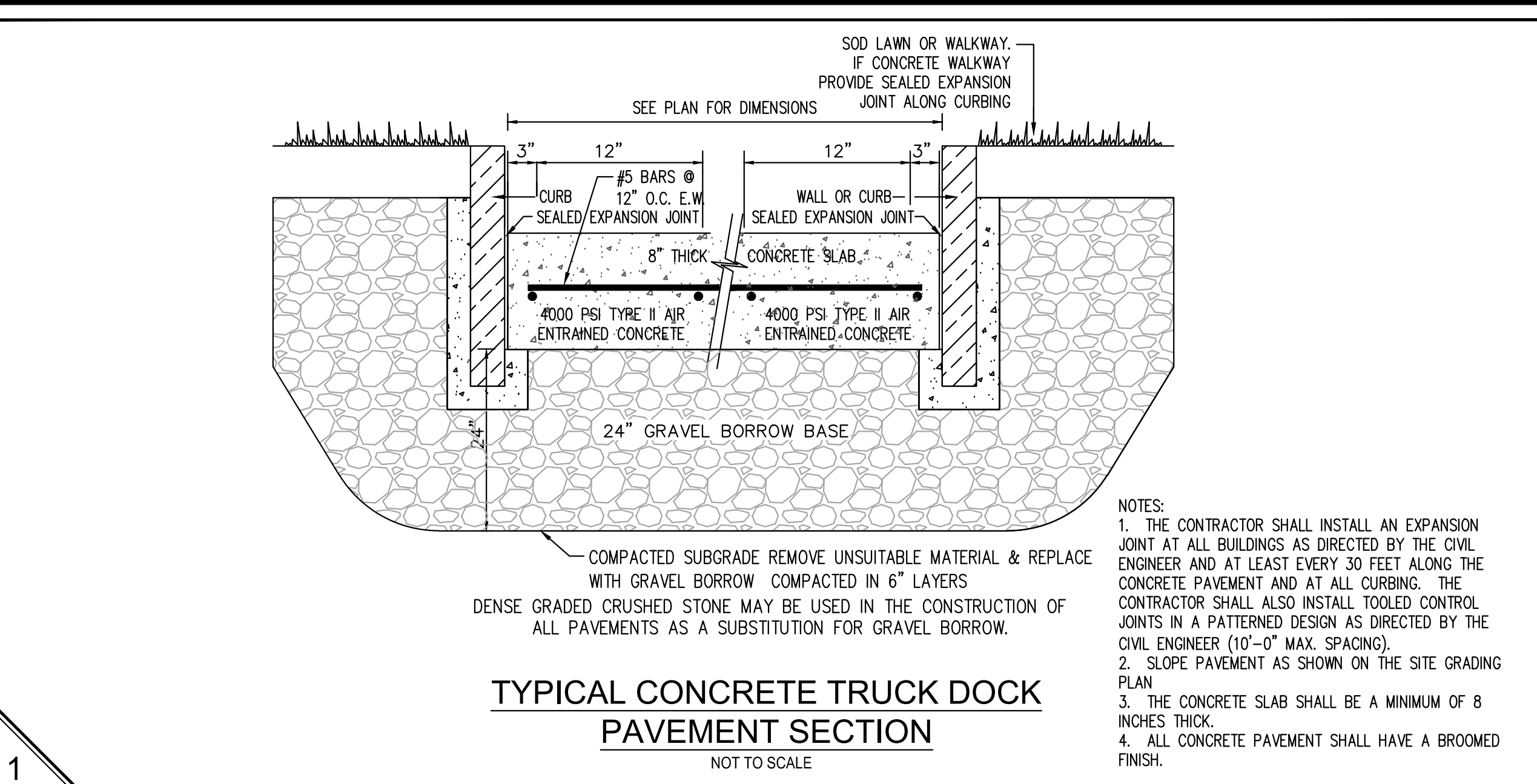
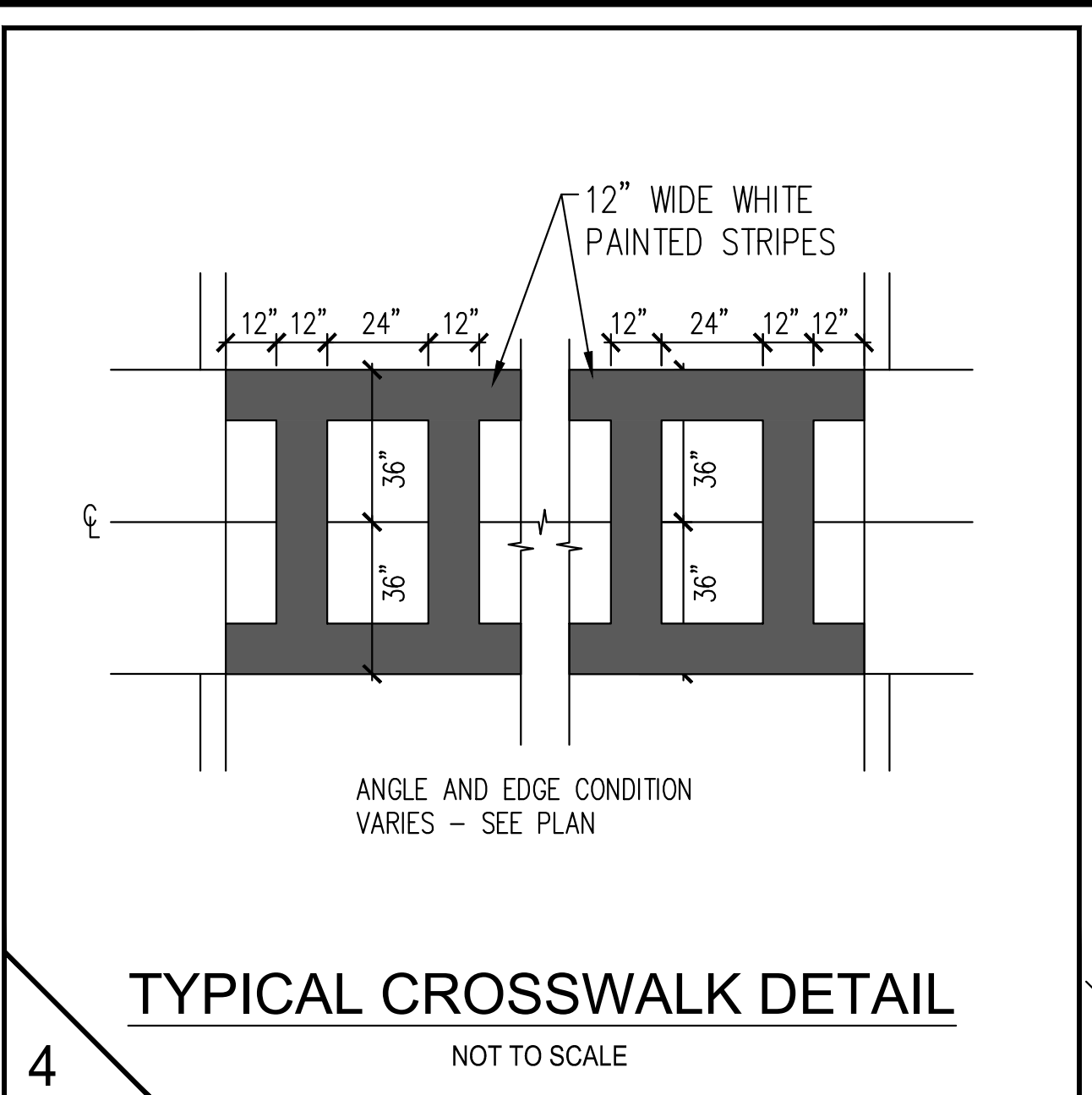
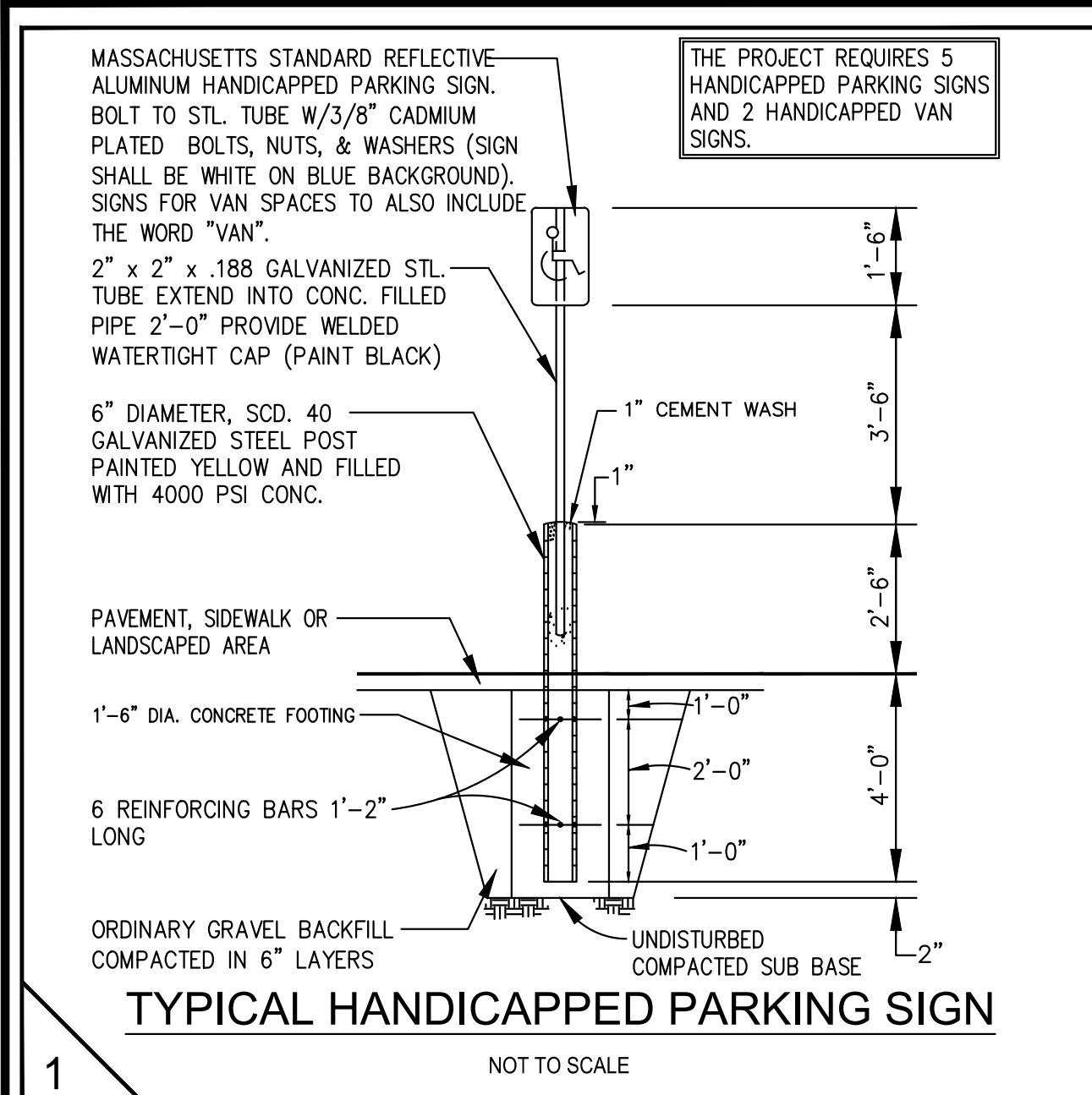
**BLINDEN ENGINEERING PARTNERS LLC**

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RICHARD G. CUTTS  
REG. PROF. ENGINEER

**LINDEN ENGINEERING PARTNERS LLC**

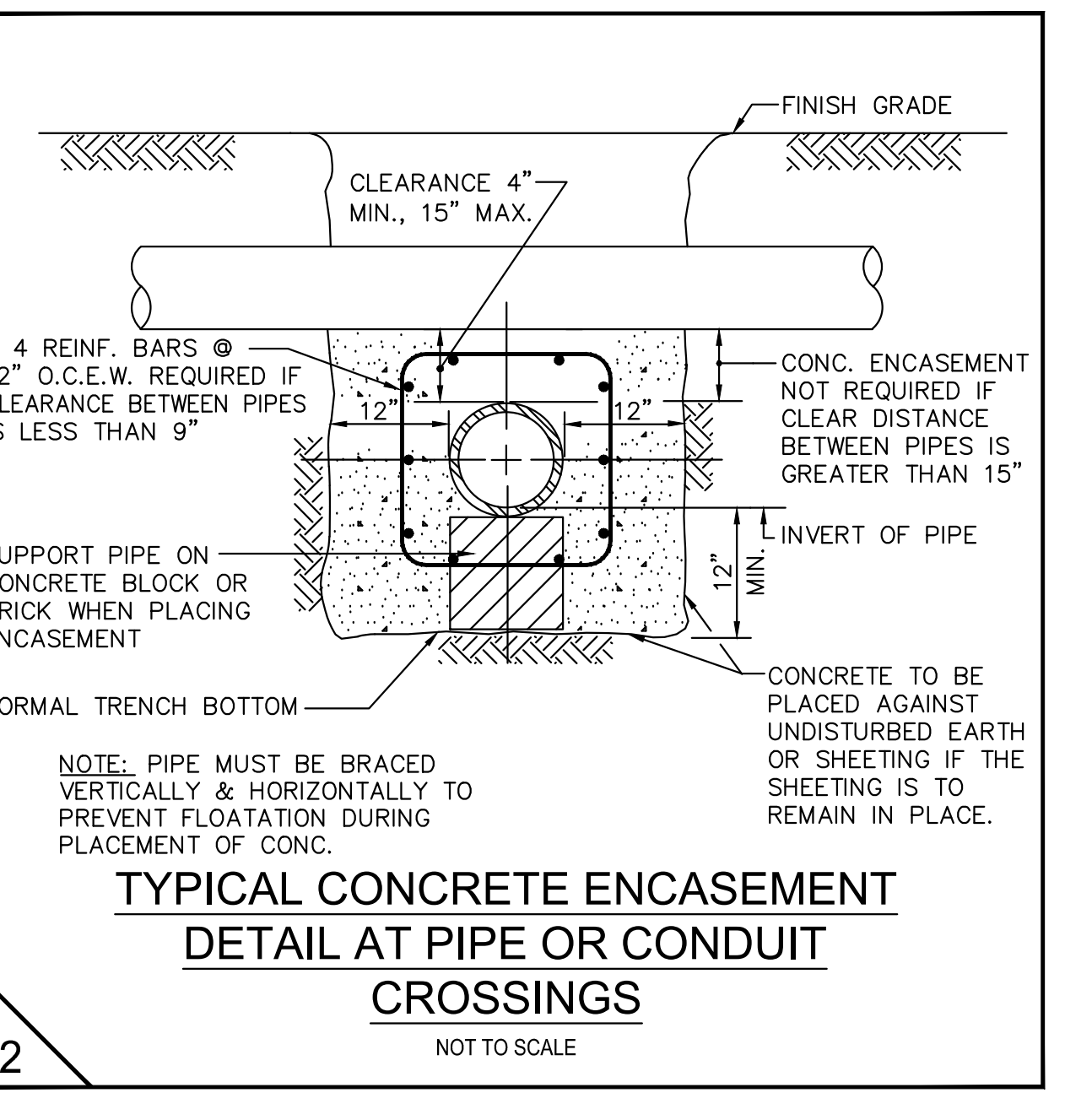
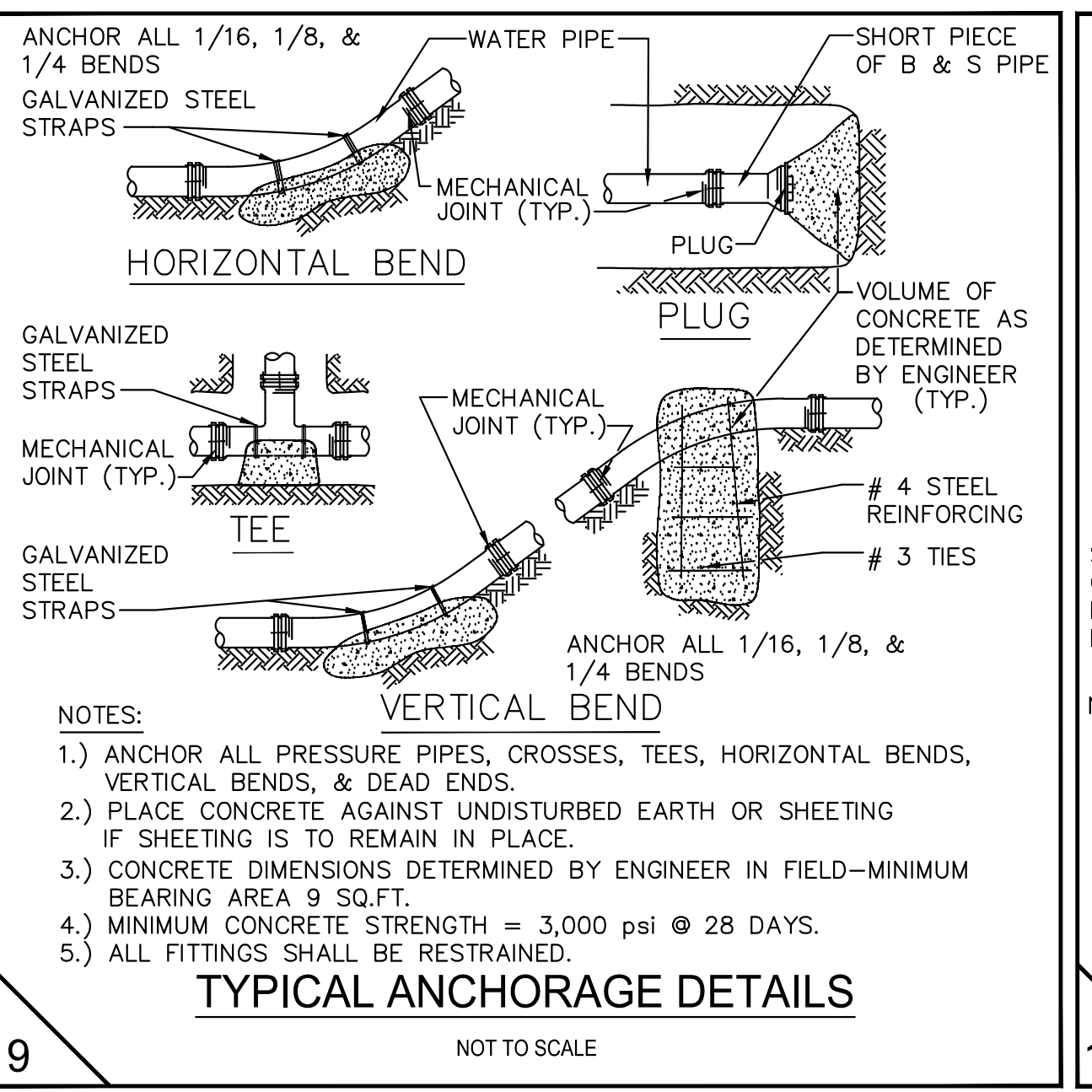
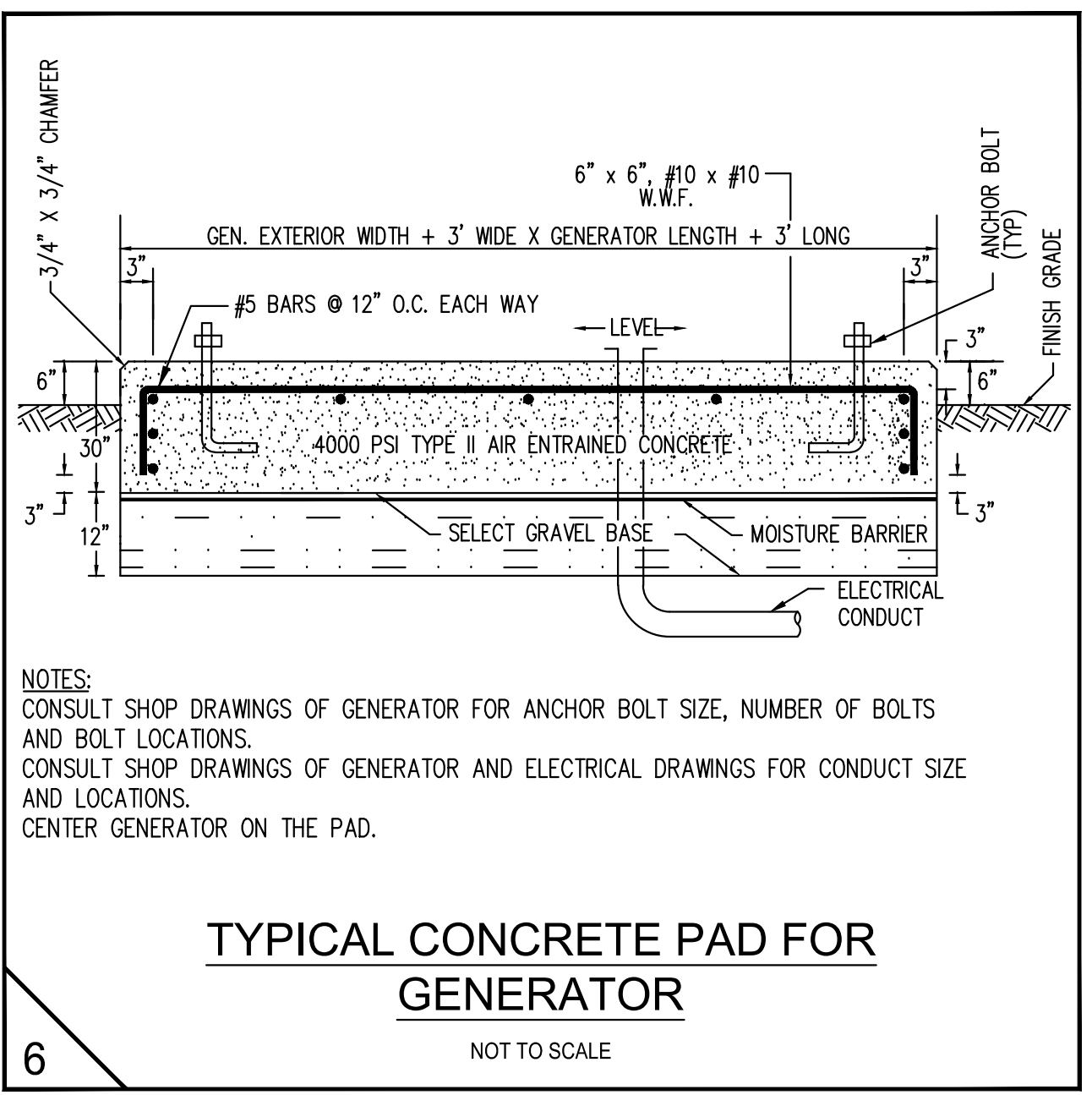
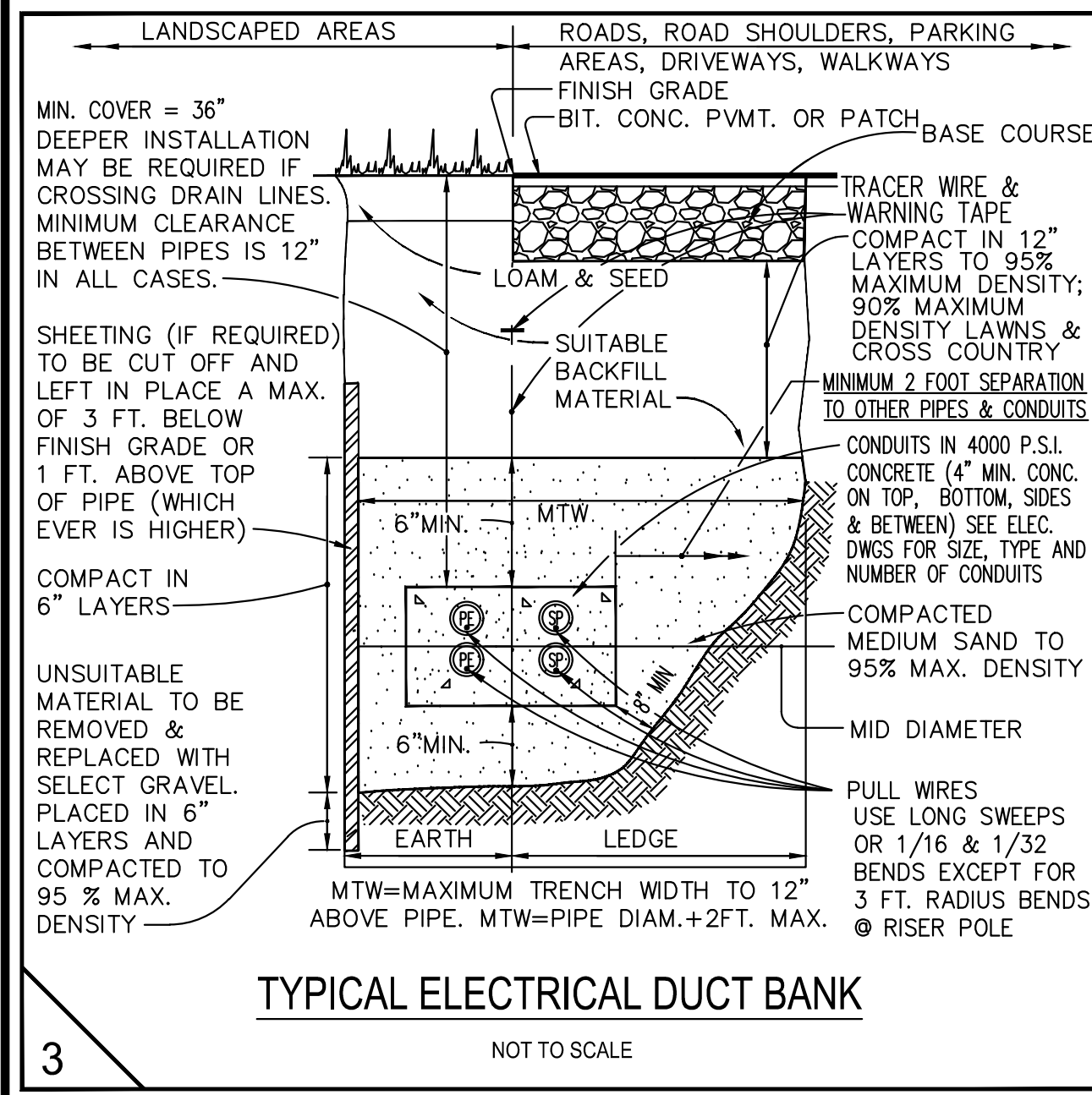
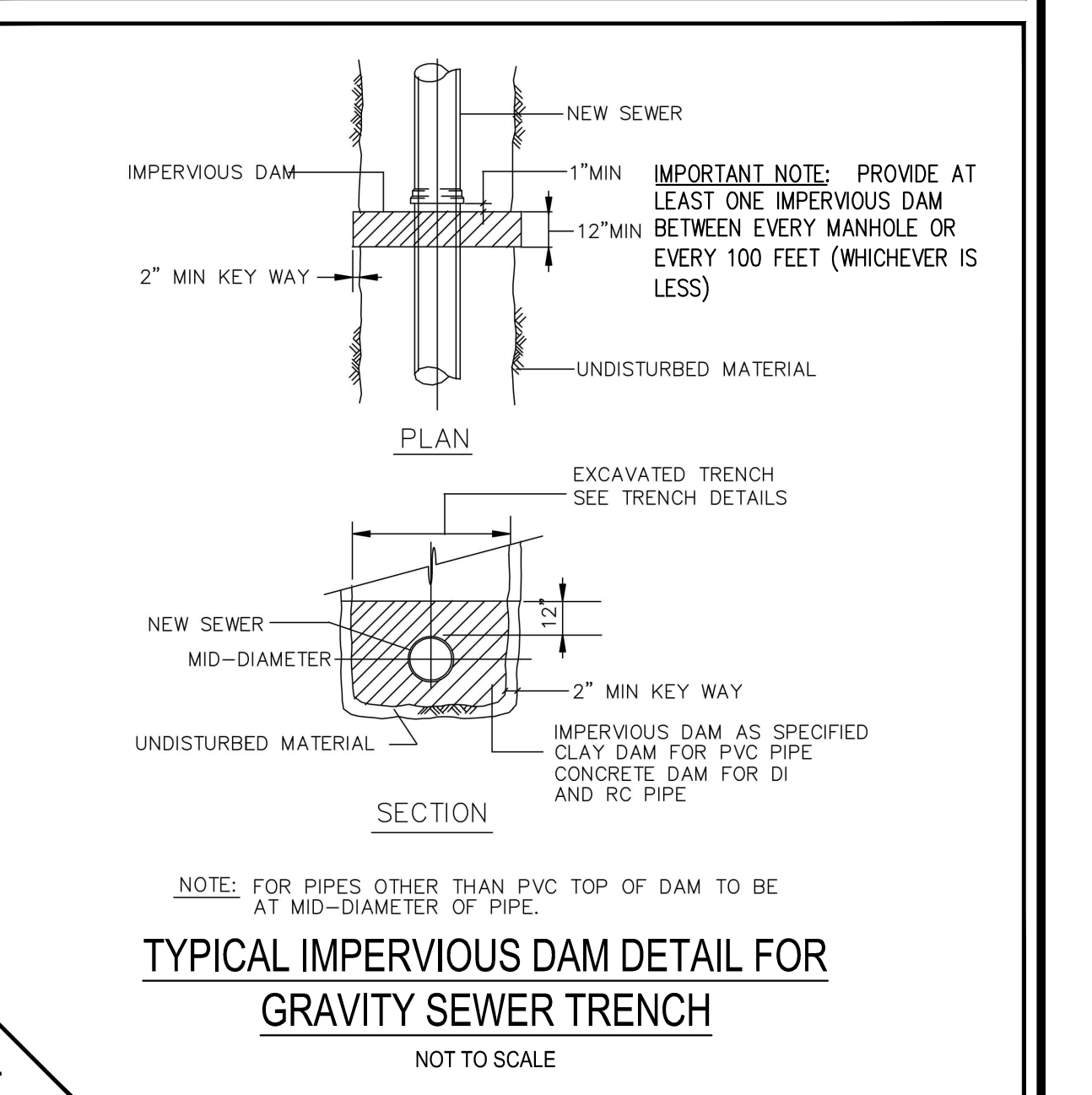
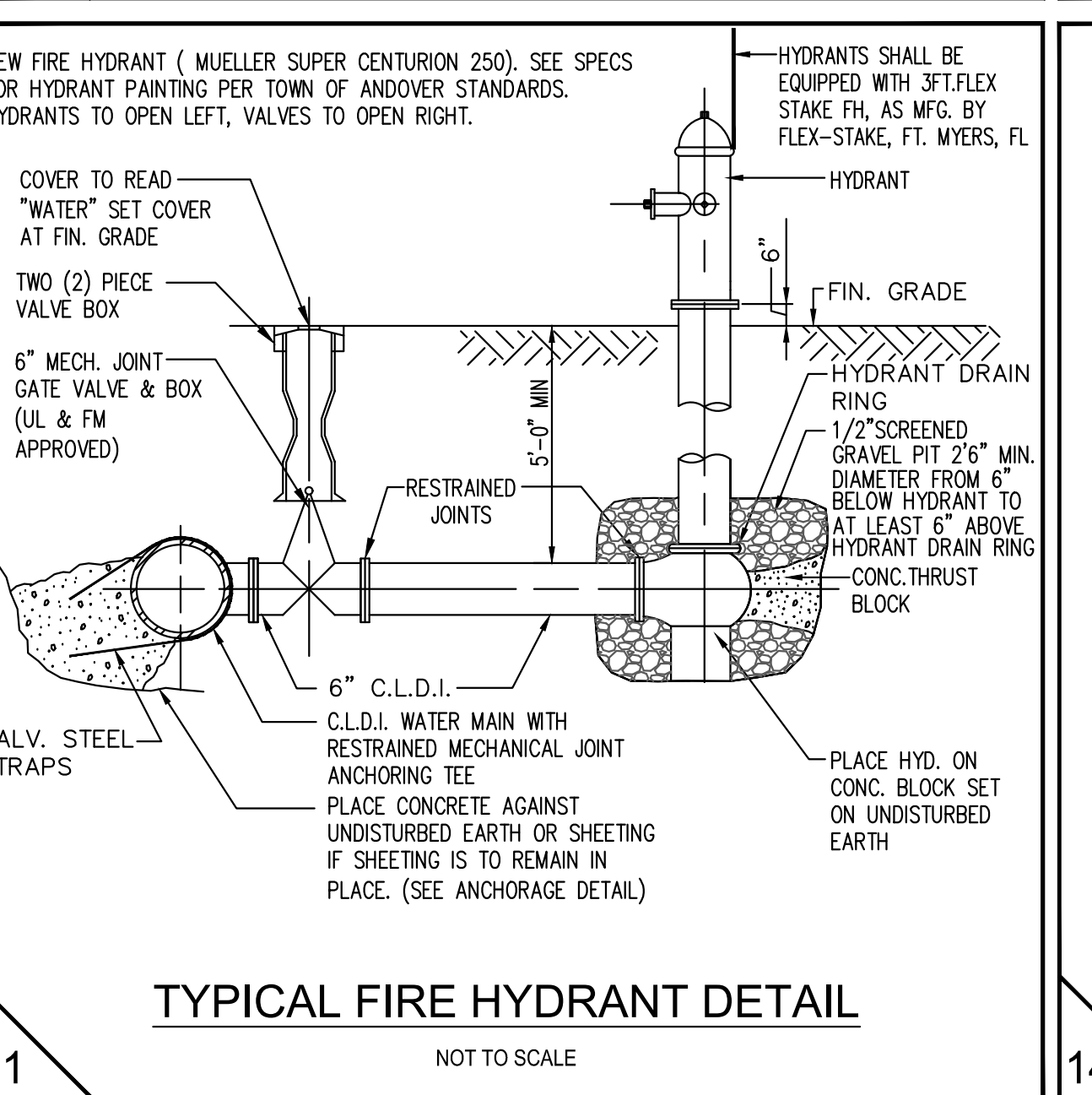
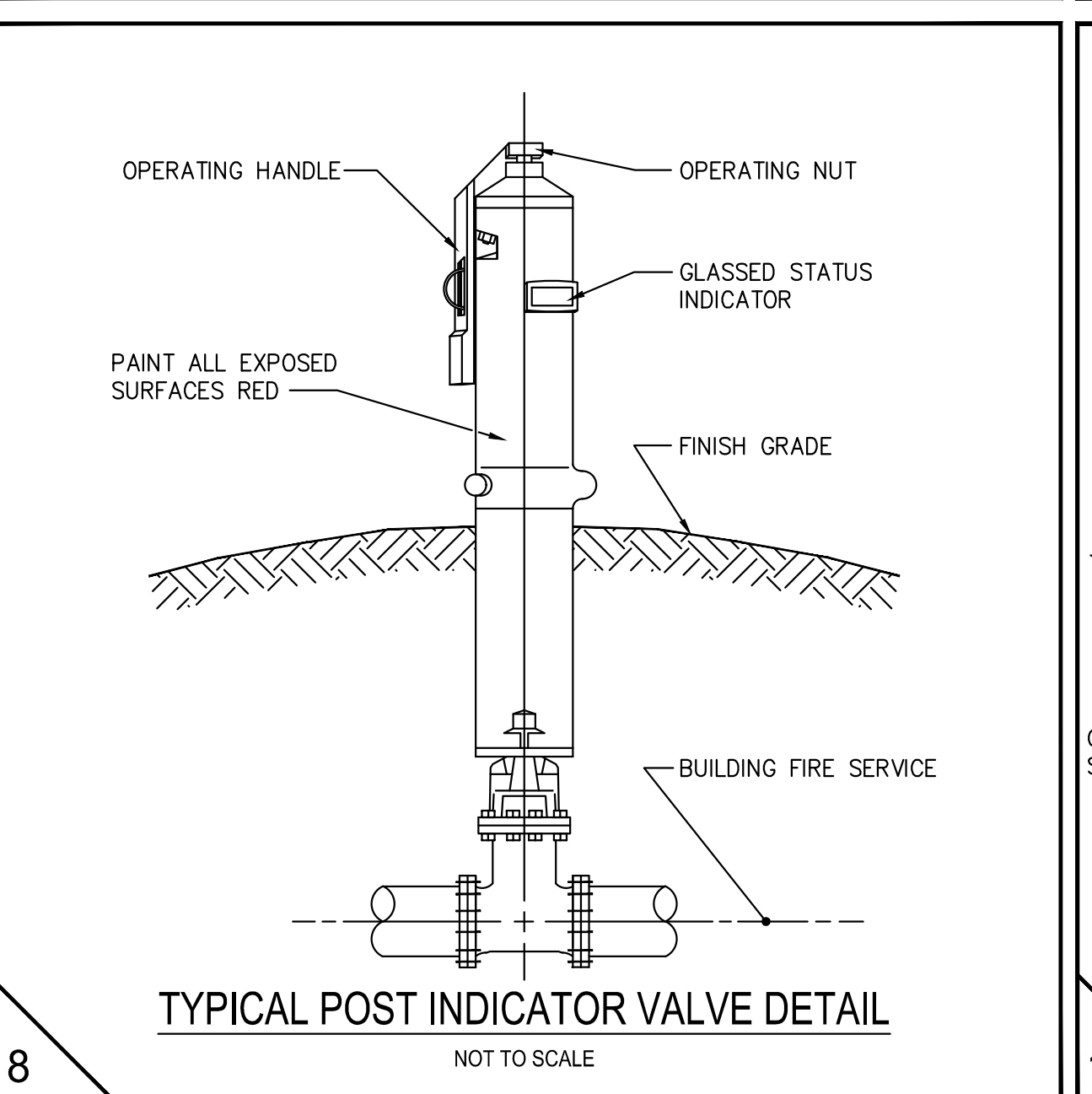
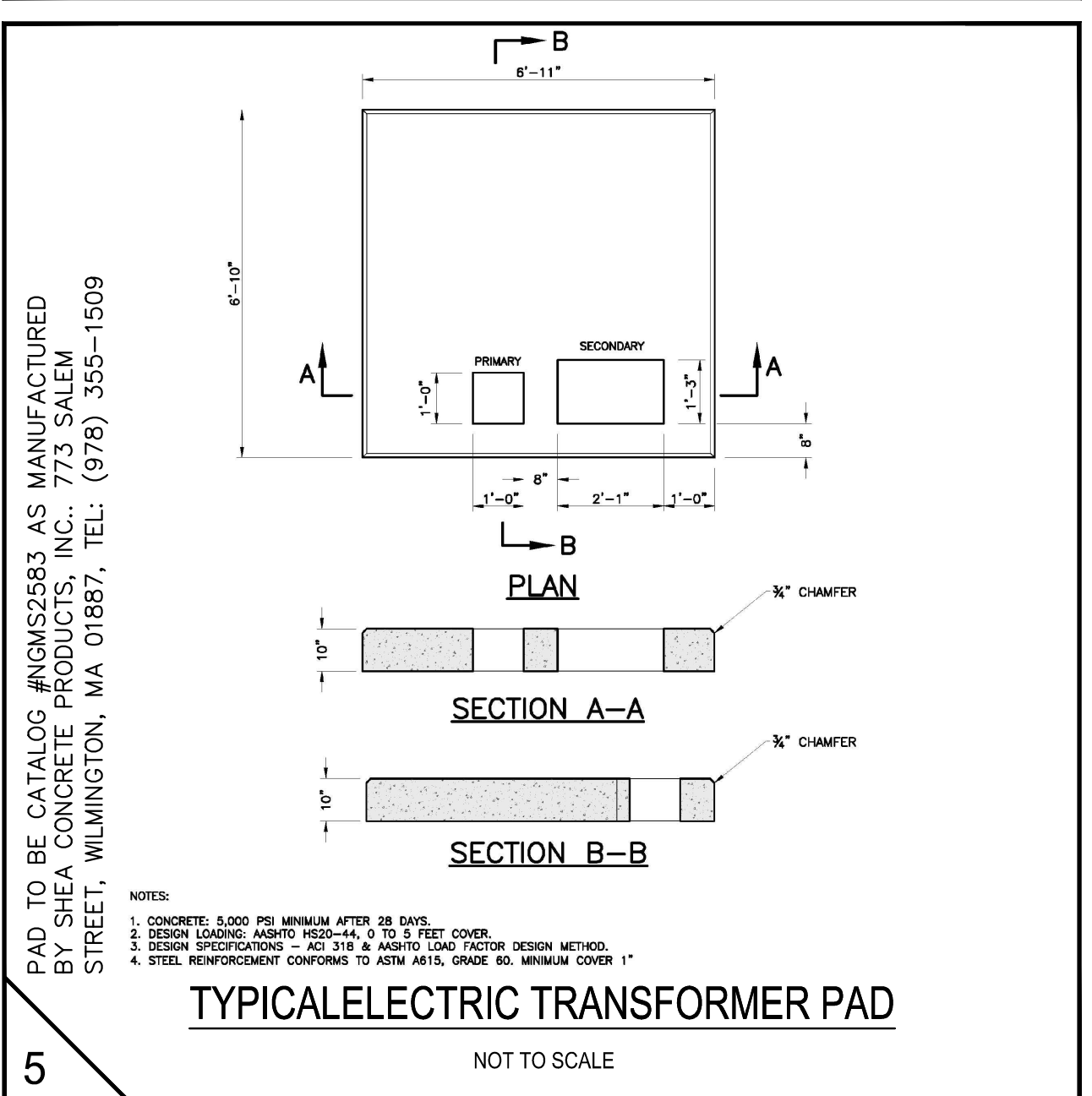
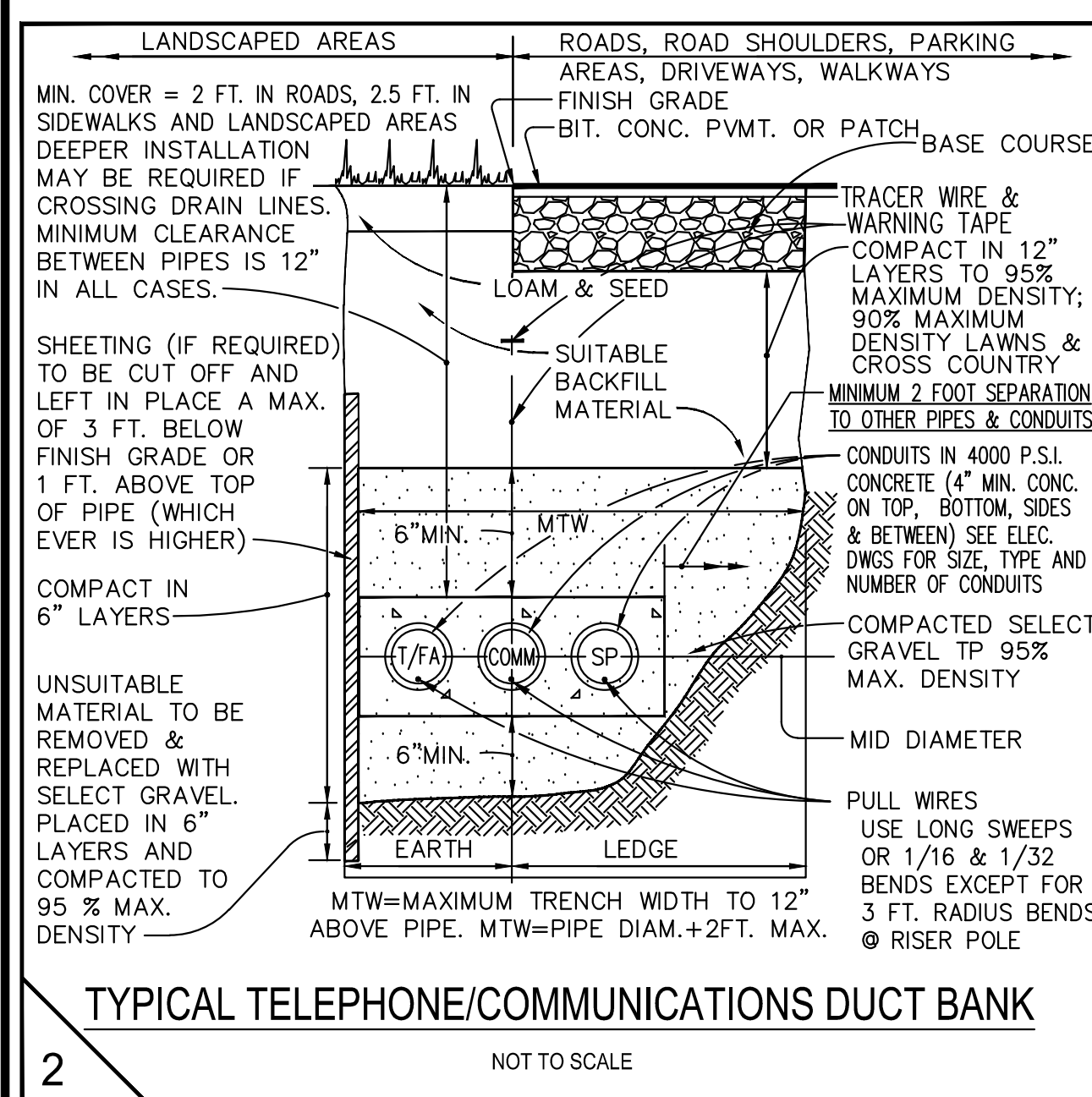
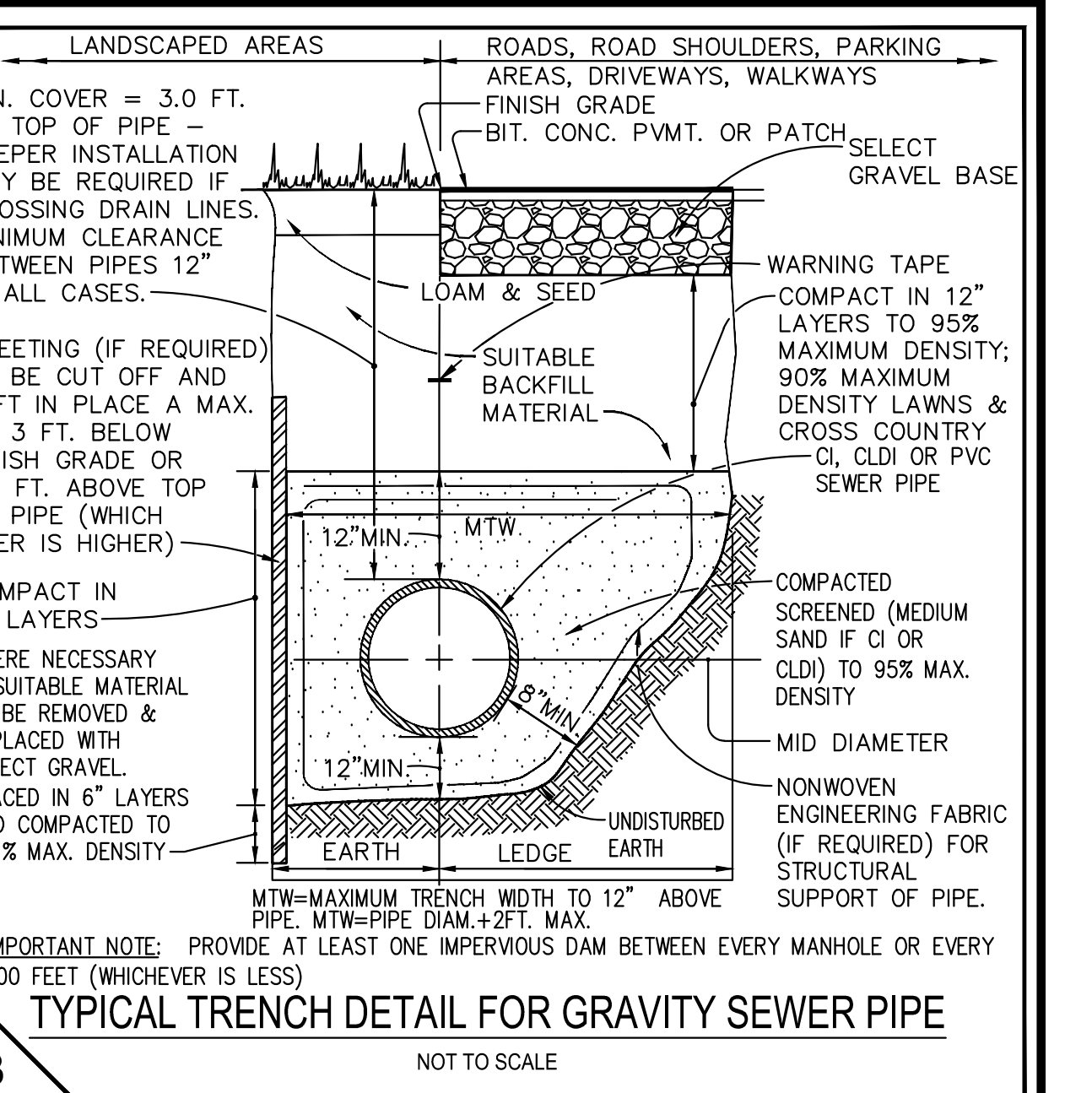
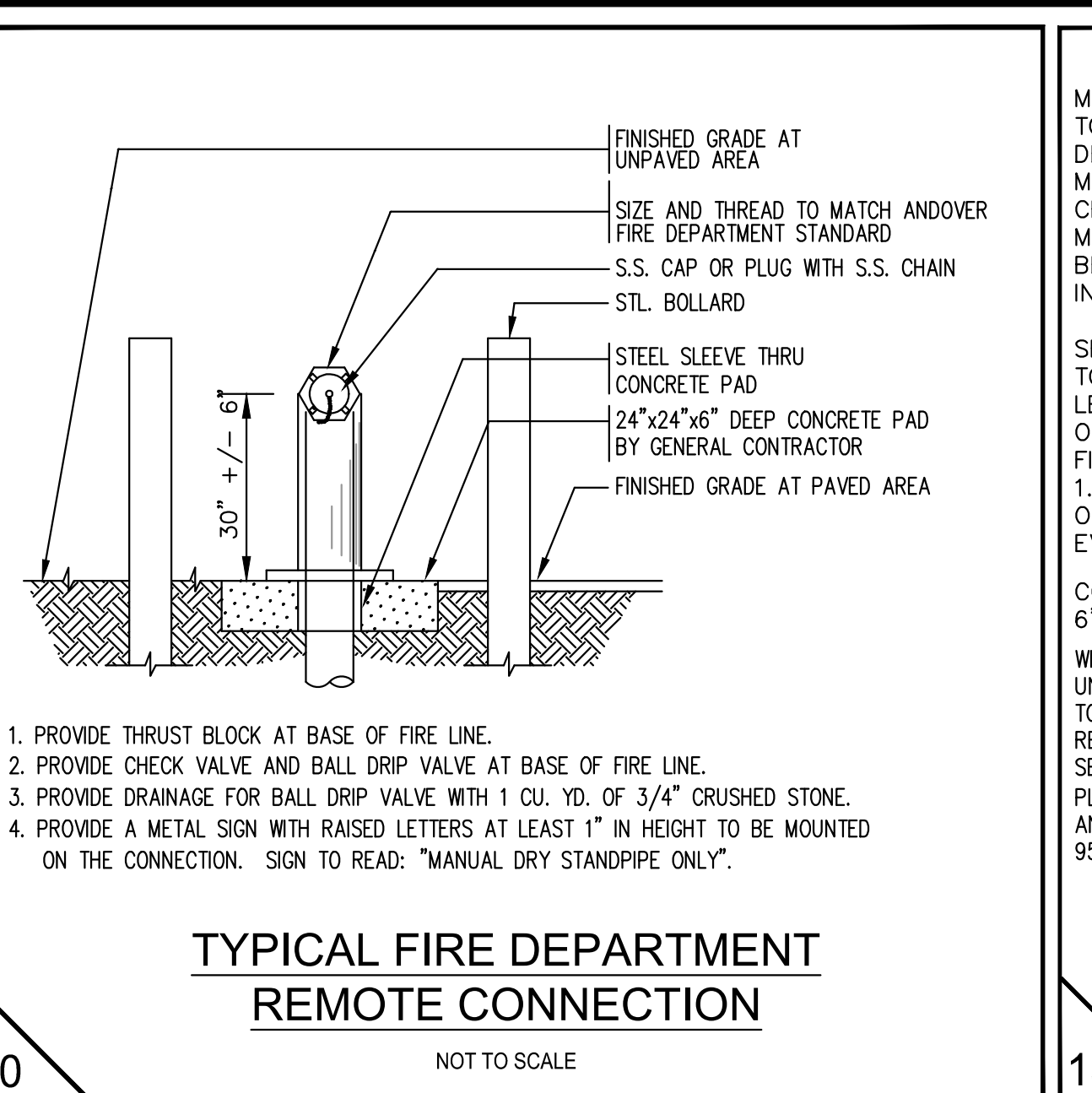
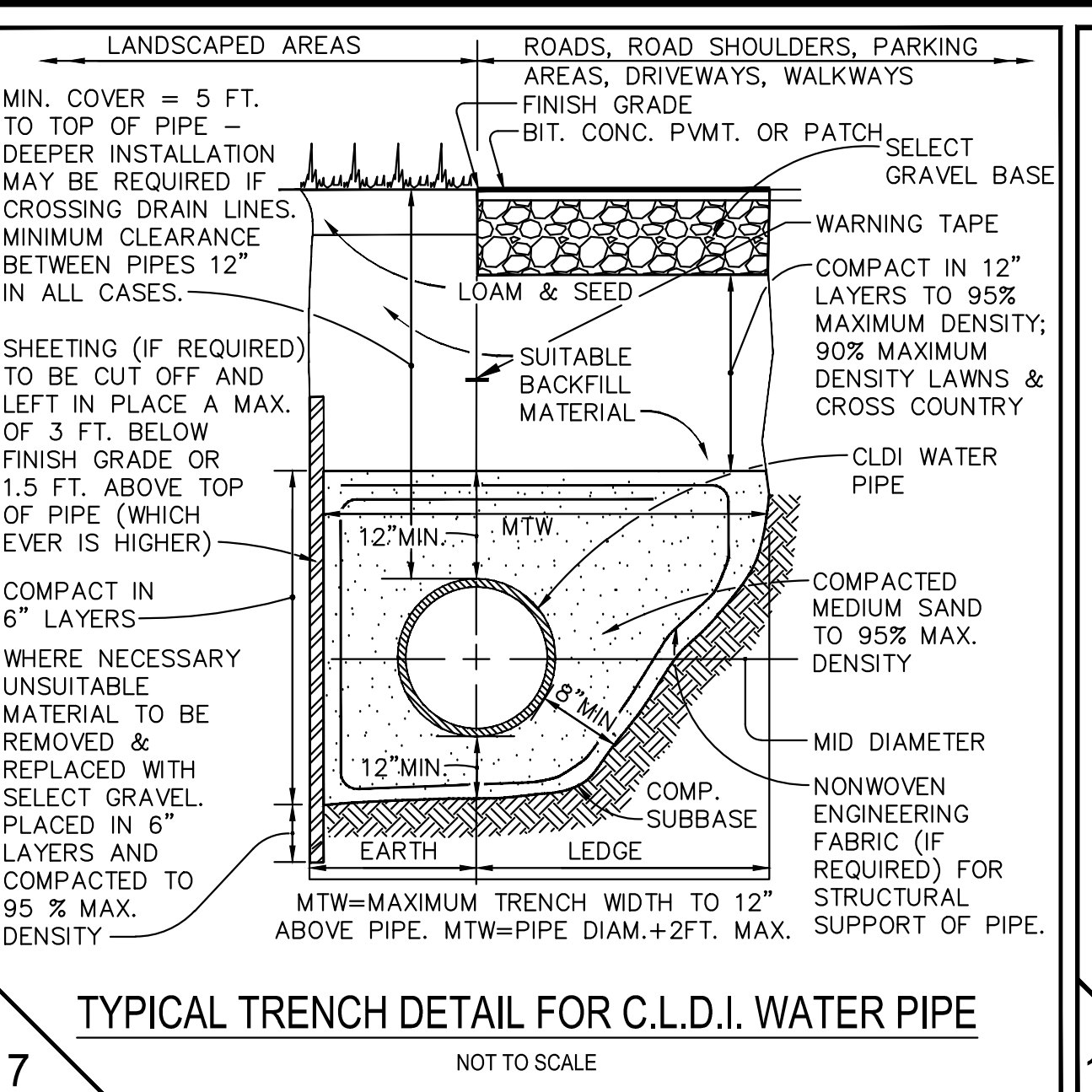
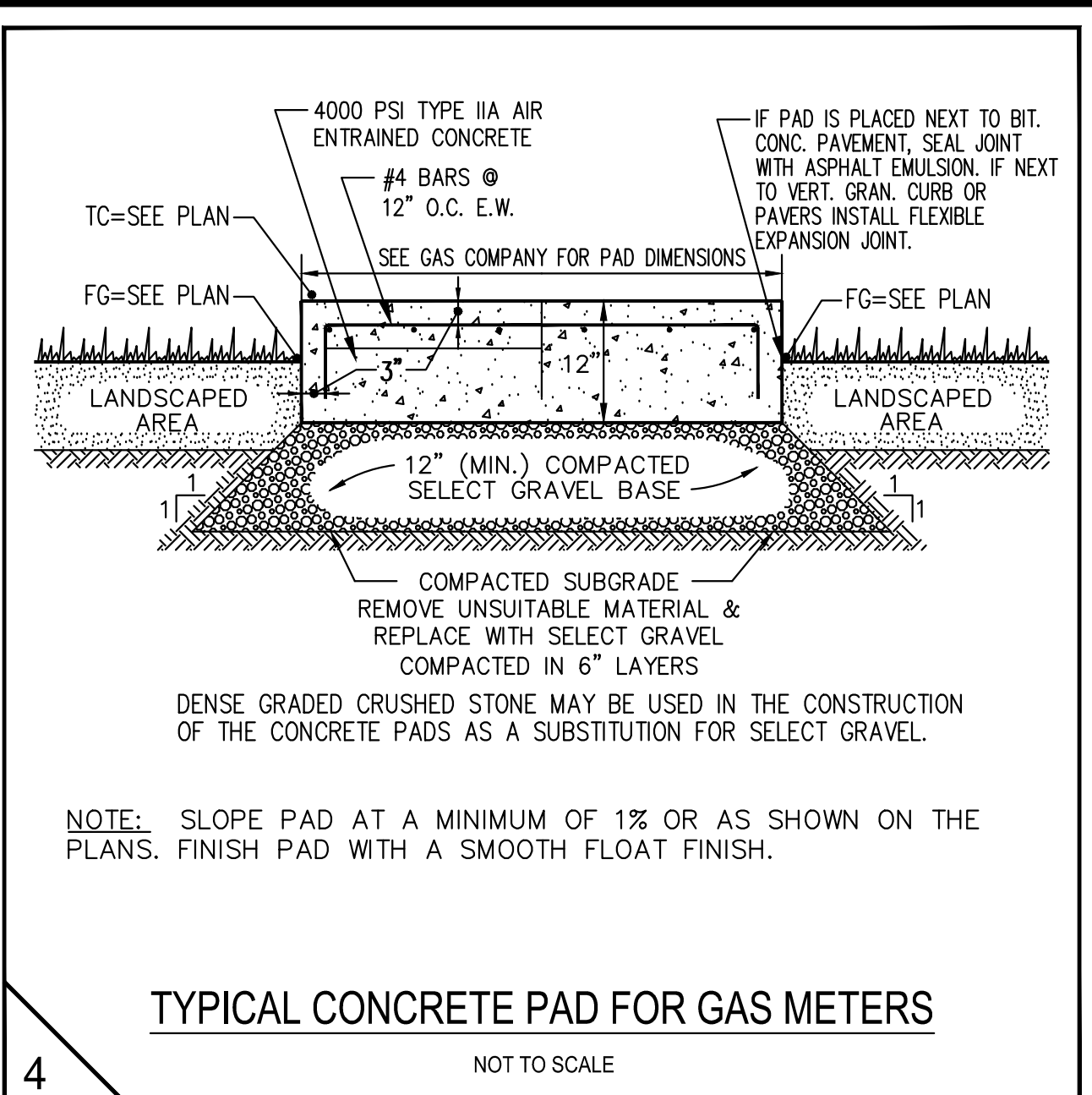
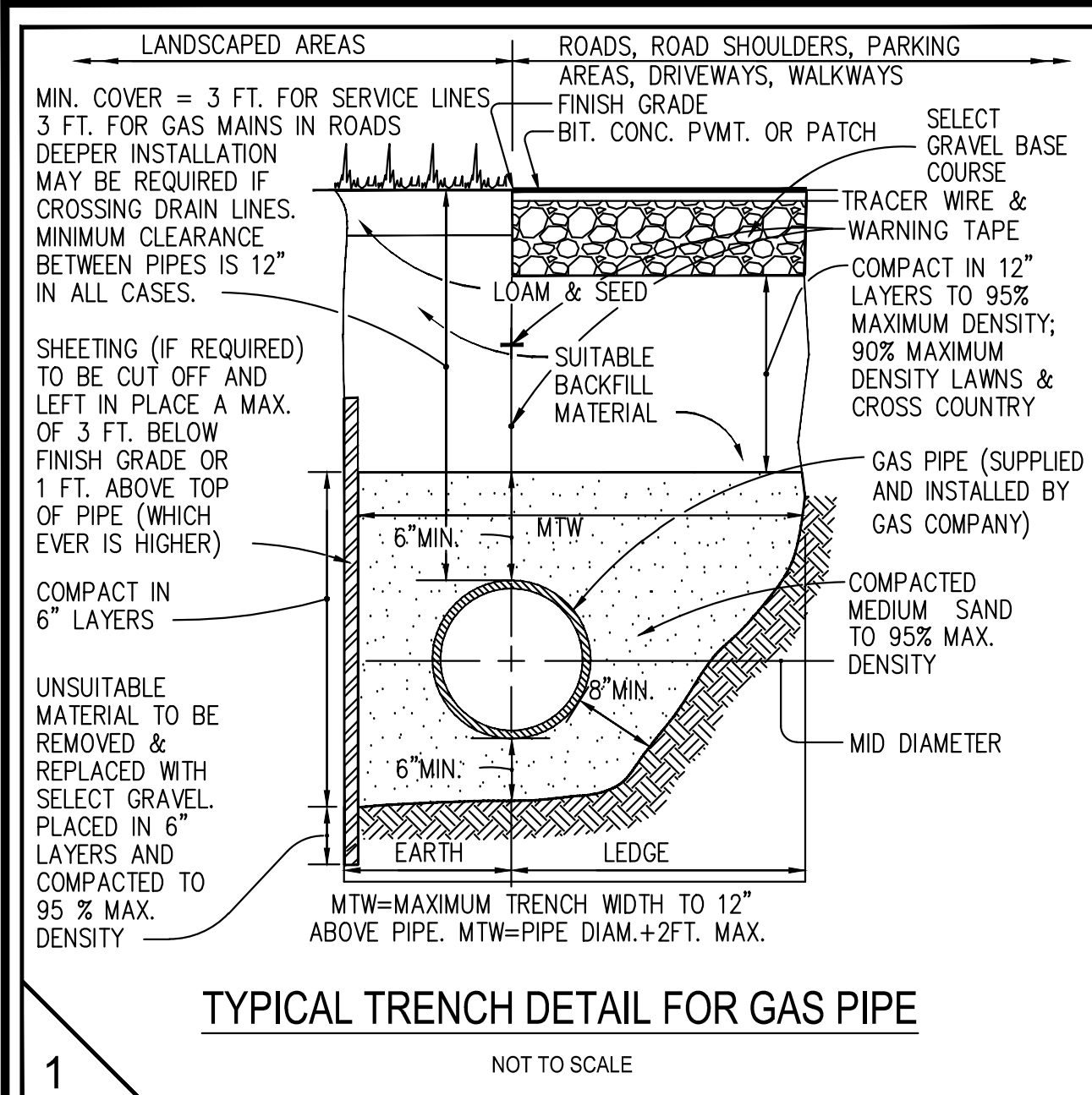
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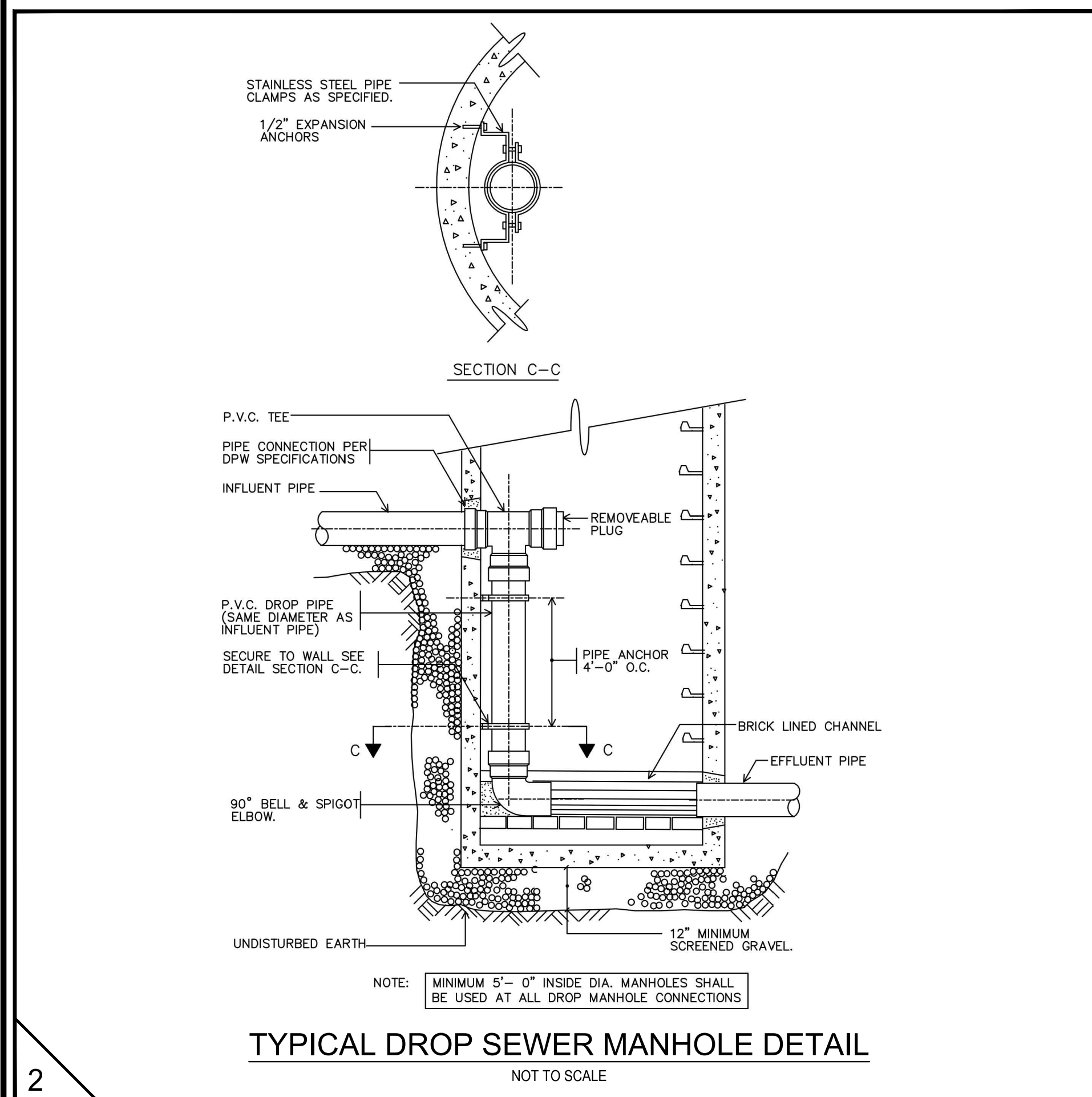
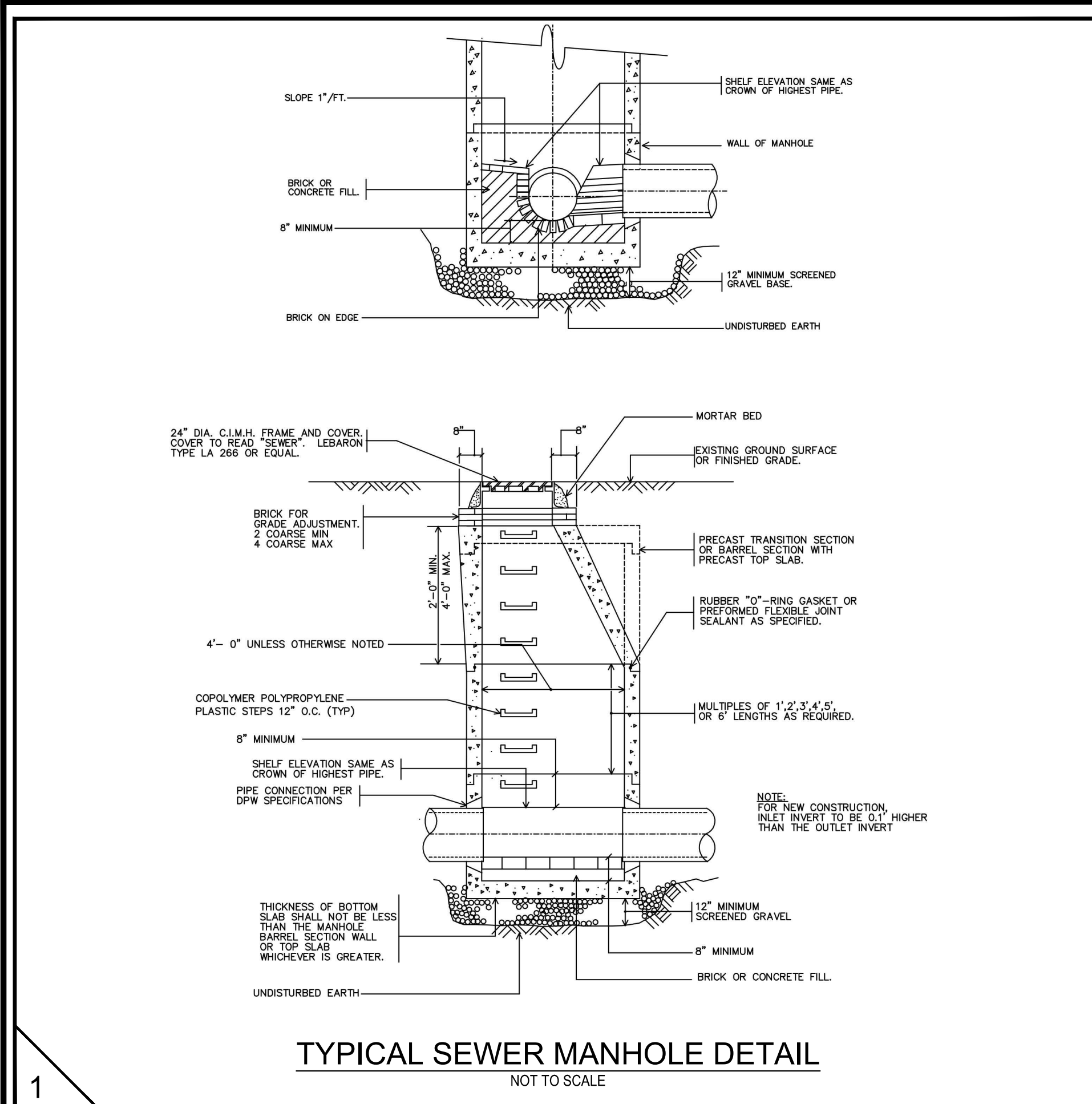
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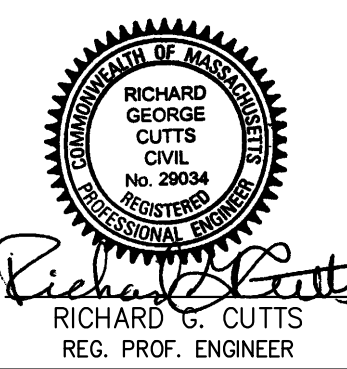
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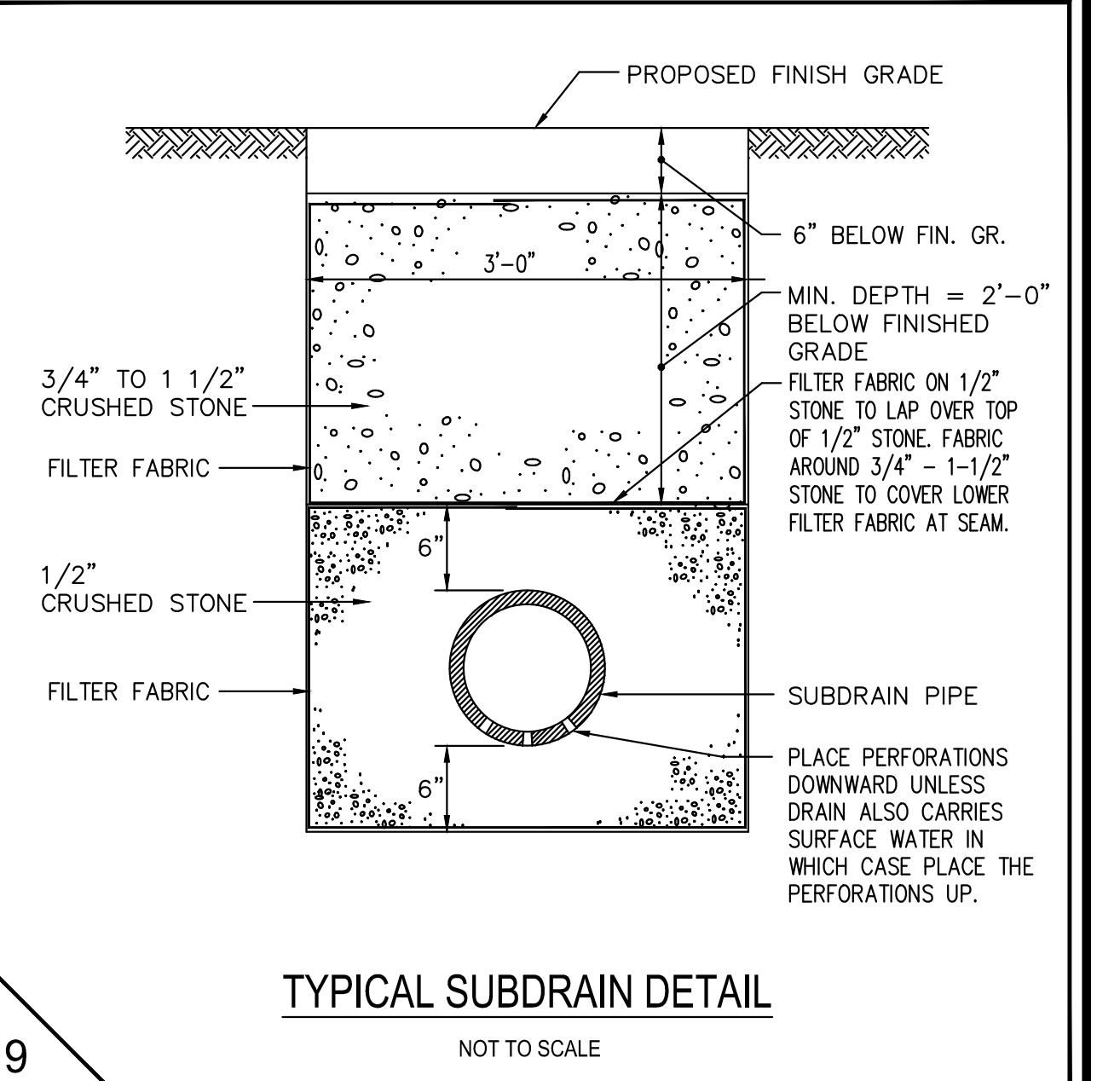
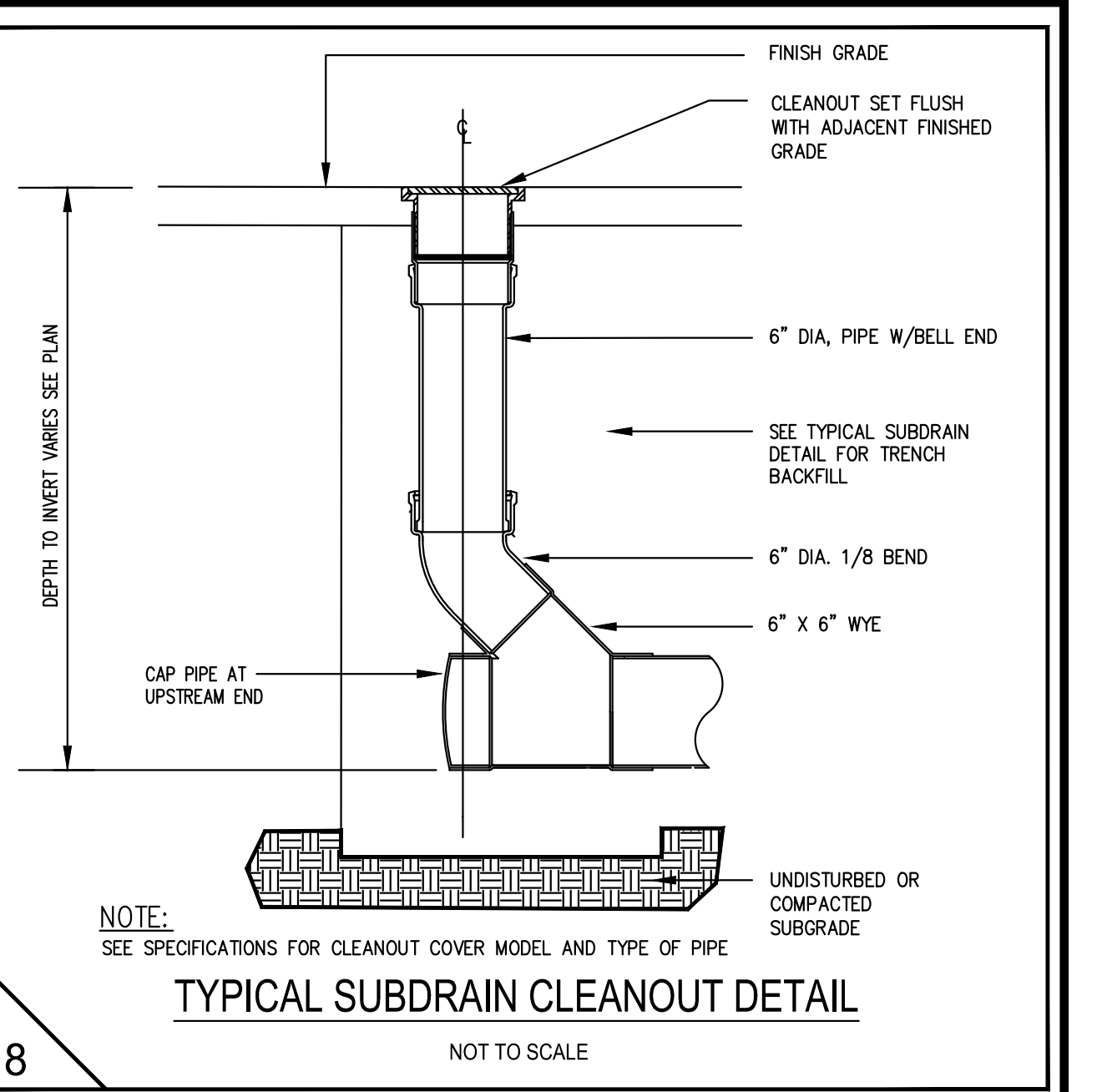
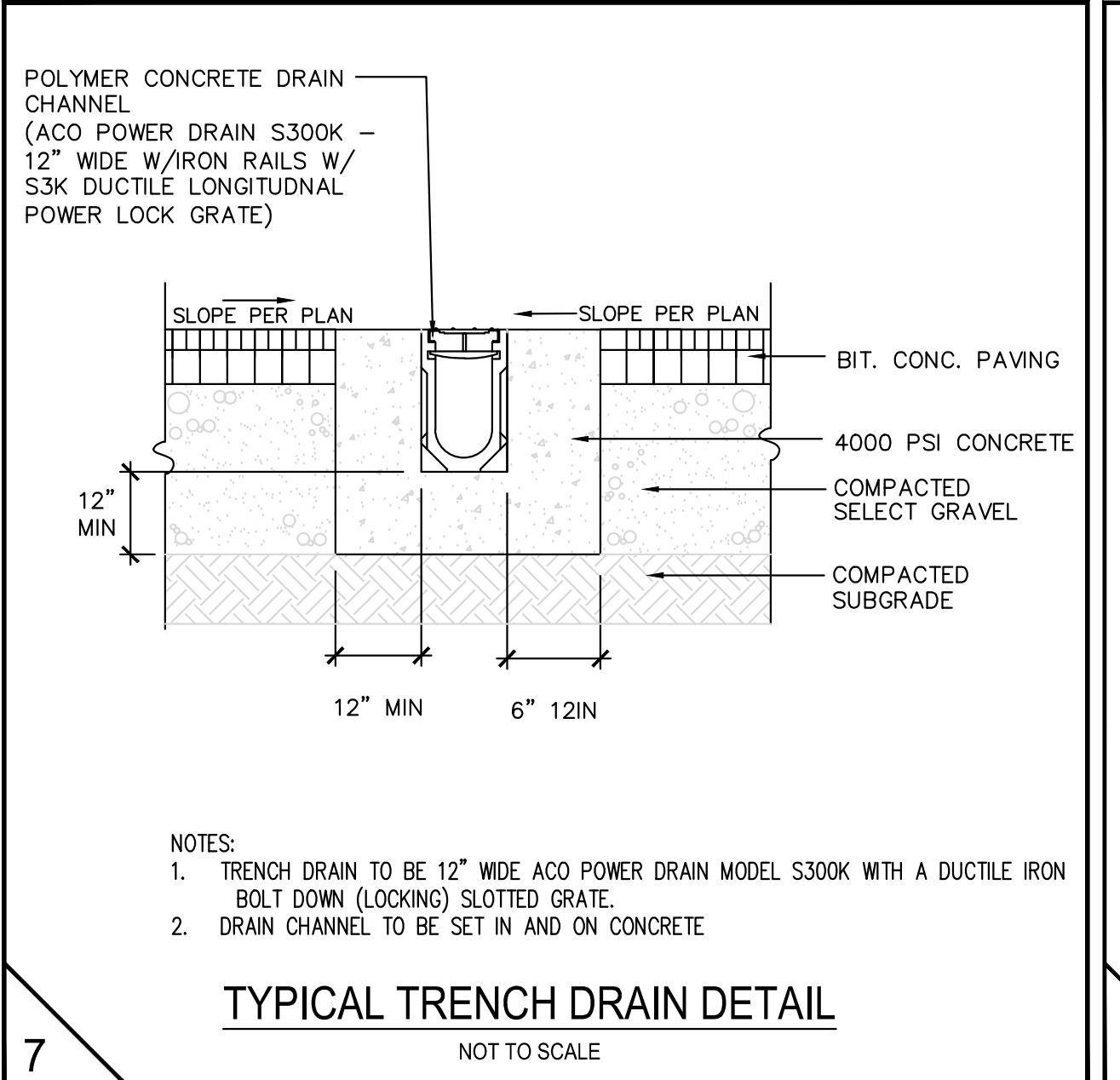
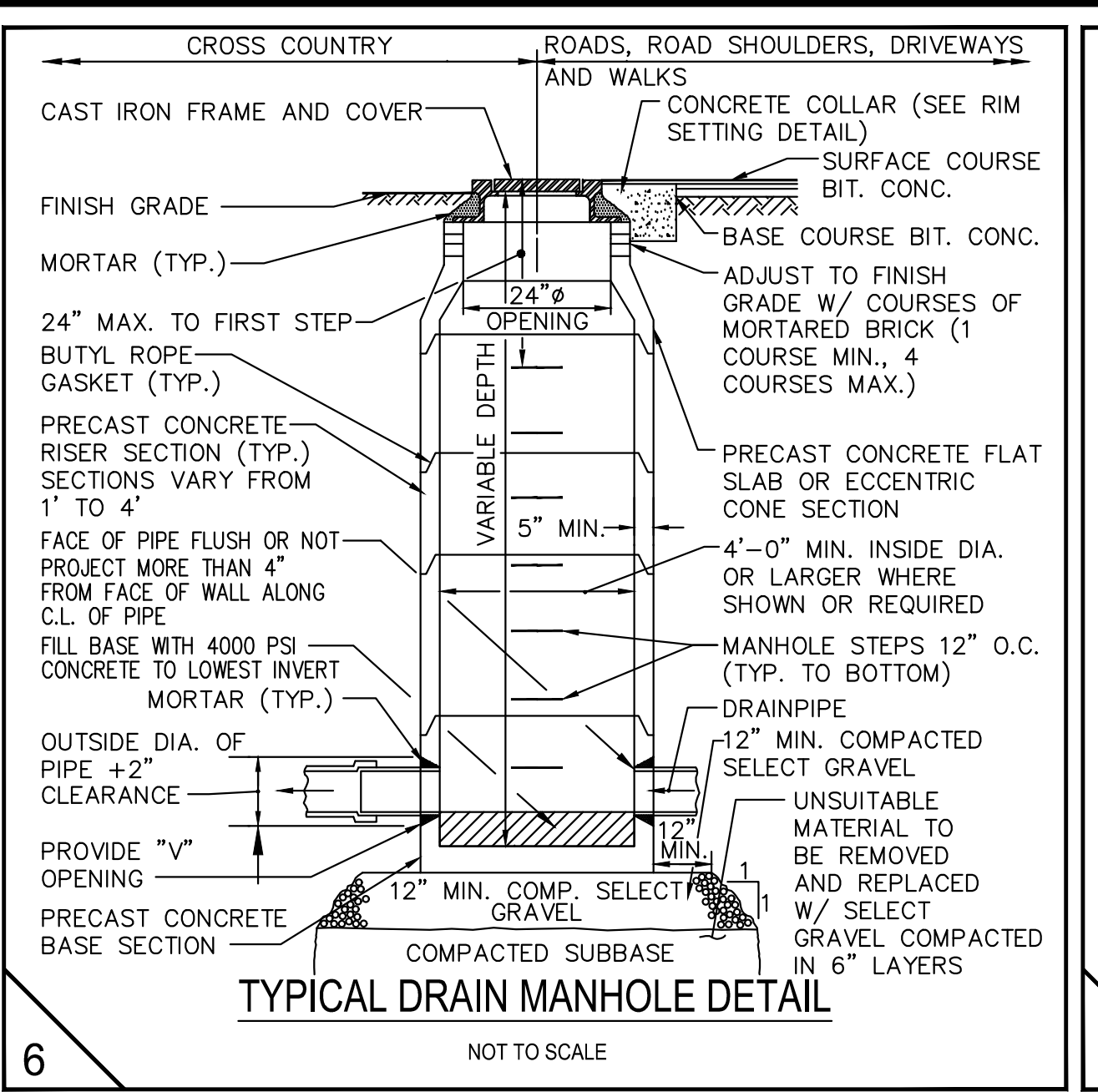
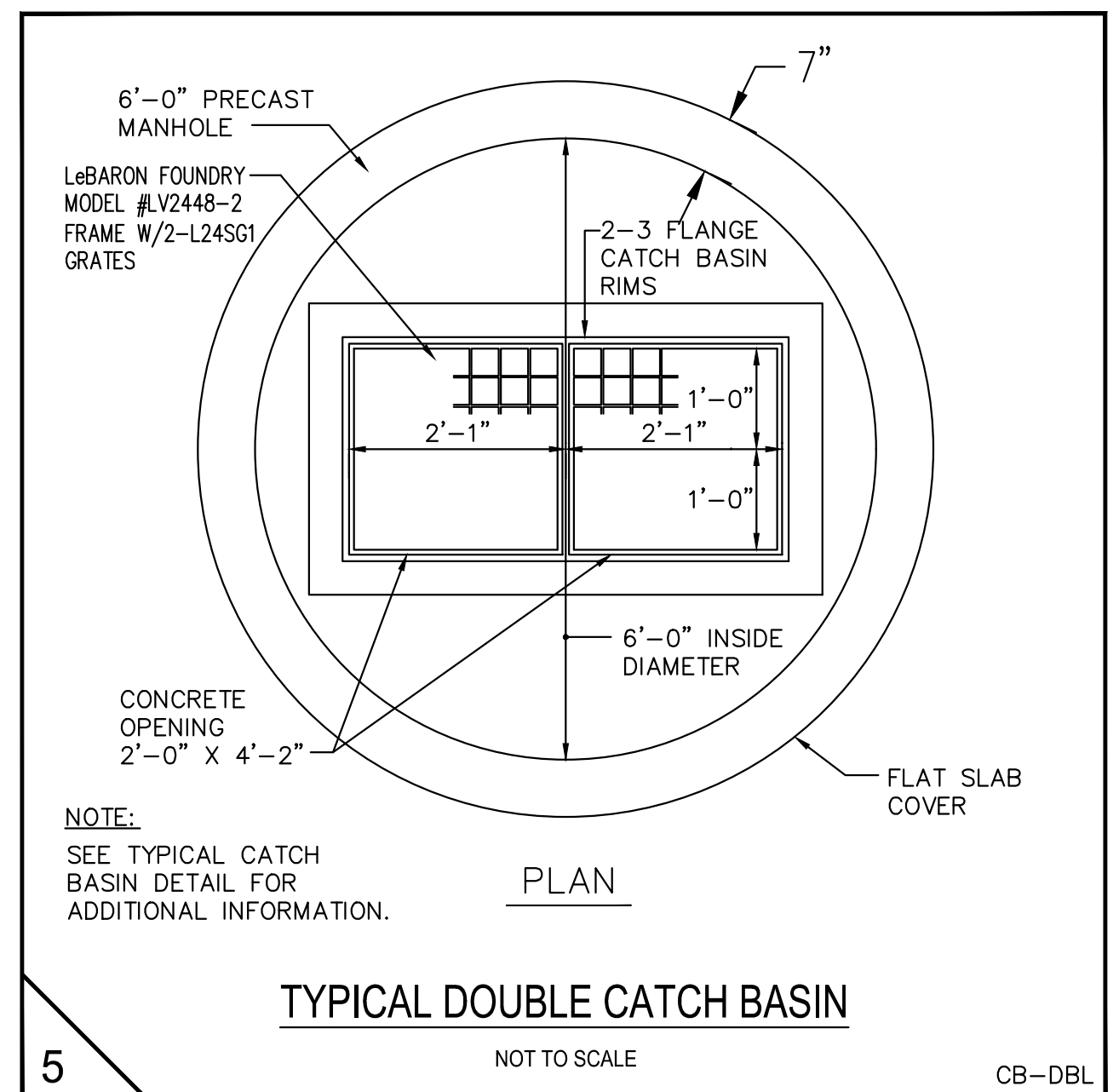
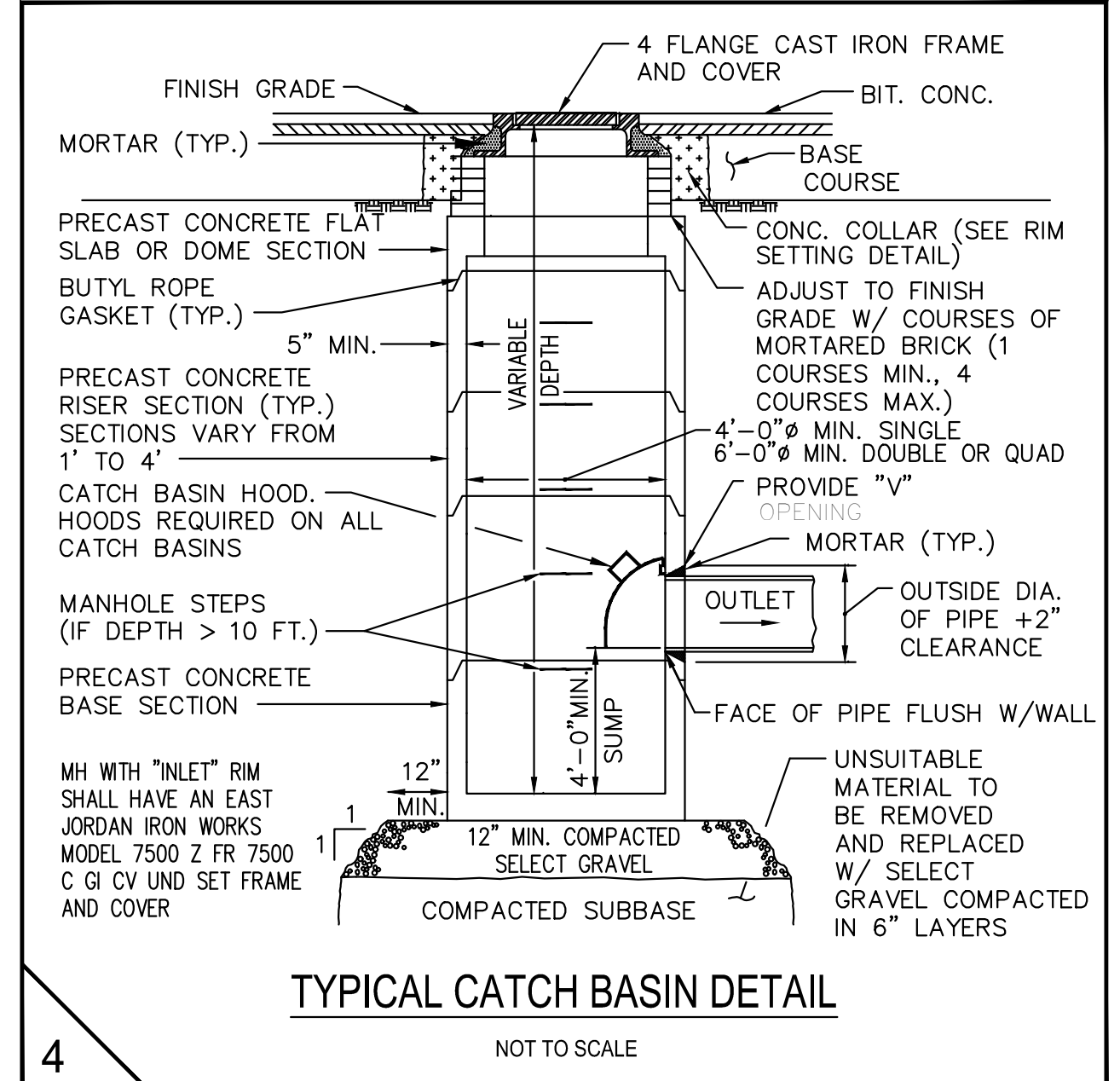
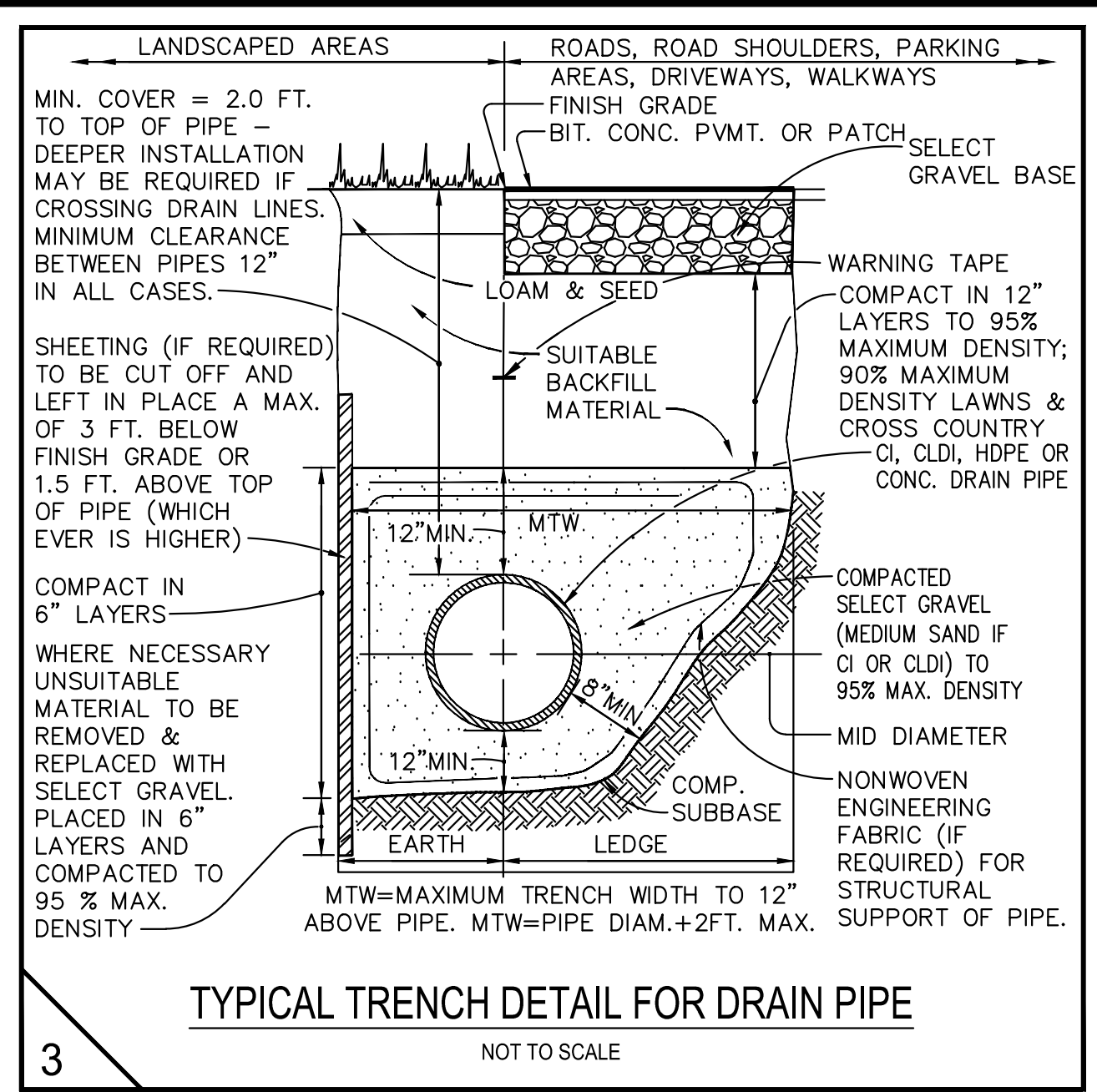
1/26/2022	RGC	ISSUED FOR PERMITTING
DATE	BY	REVISIONS

CALC. BY:	WAJ
DR. BY:	WAJ
CKD. BY:	RGC/WAJ
APPD. BY:	RGC
JOB NO.:	21055
SCALE:	AS NOTED
DATE:	JAN. 26, 2022



**LINDEN ENGINEERING PARTNERS LLC**  
100 TradeCenter Suite G700  
Woburn, MA 01801-1851  
Tel: (781) 933-3711  
Fax: (781) 287-1277

Civil - Environmental Engineering including Storm water, Wastewater, Water Supply, Highway & Infrastructure Design, Land Planning, Land Subdivision, Site Design, Environmental Permitting, Wetlands Permitting & Land Development Permitting



**NOTES:**

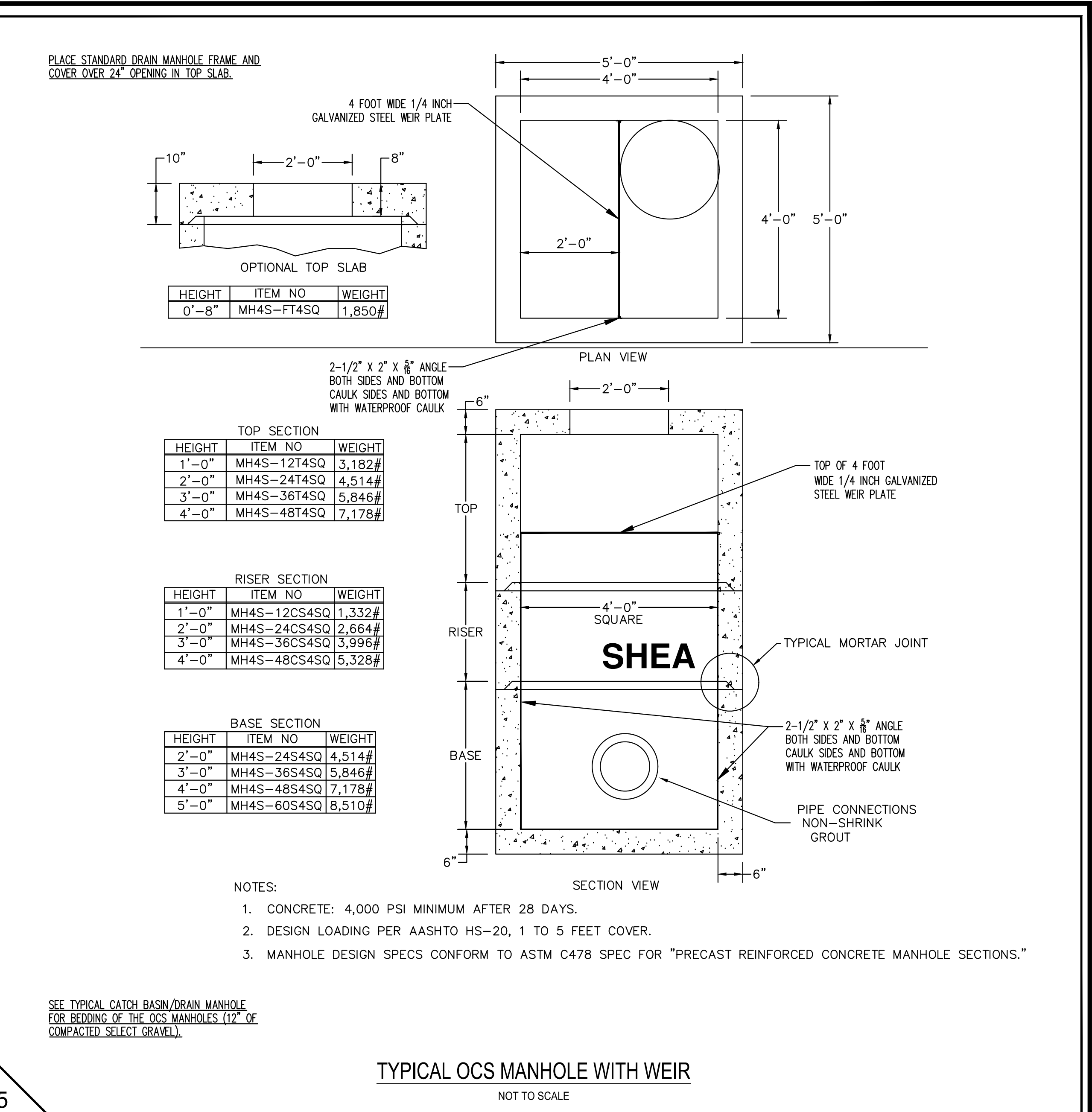
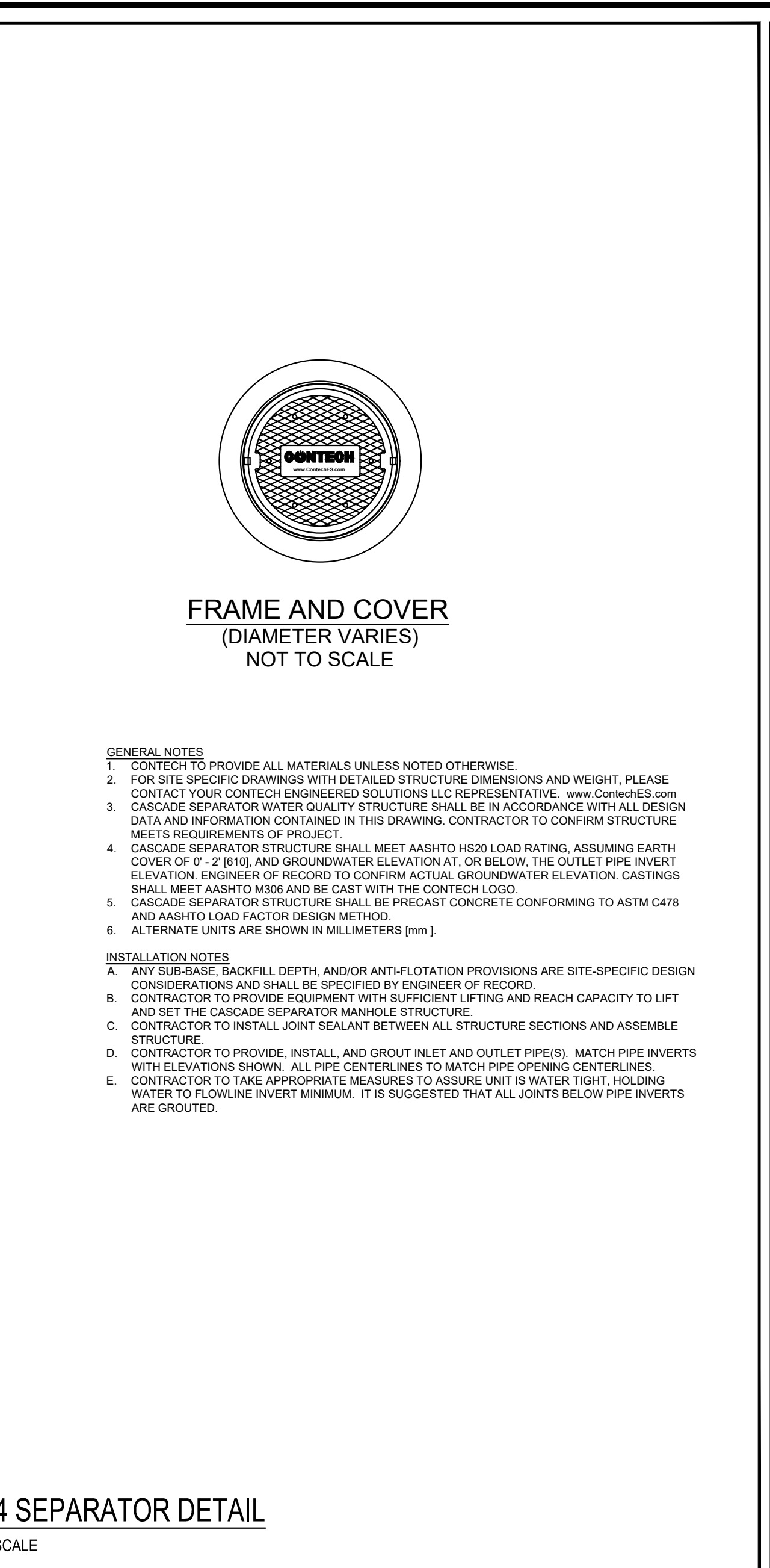
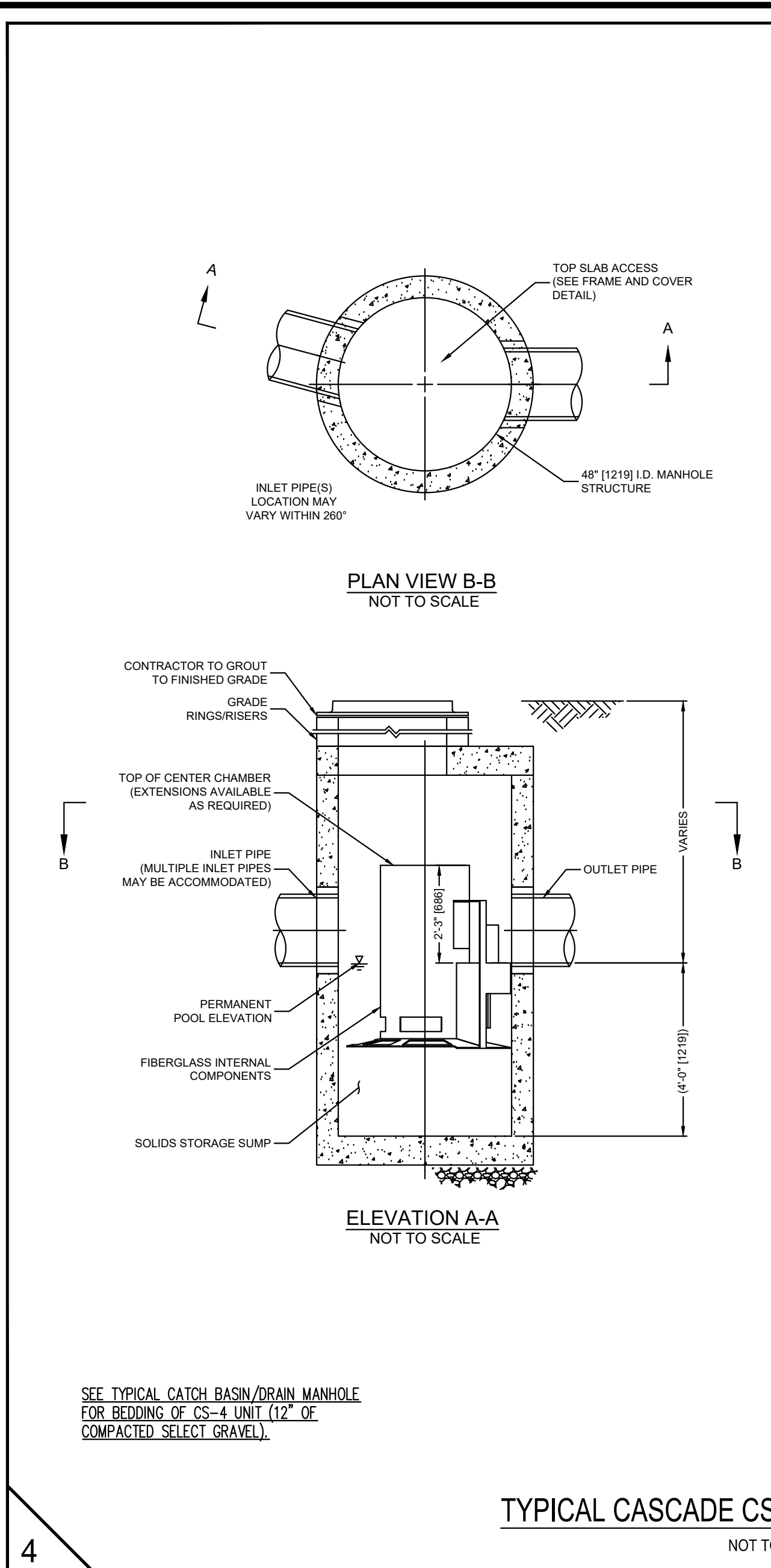
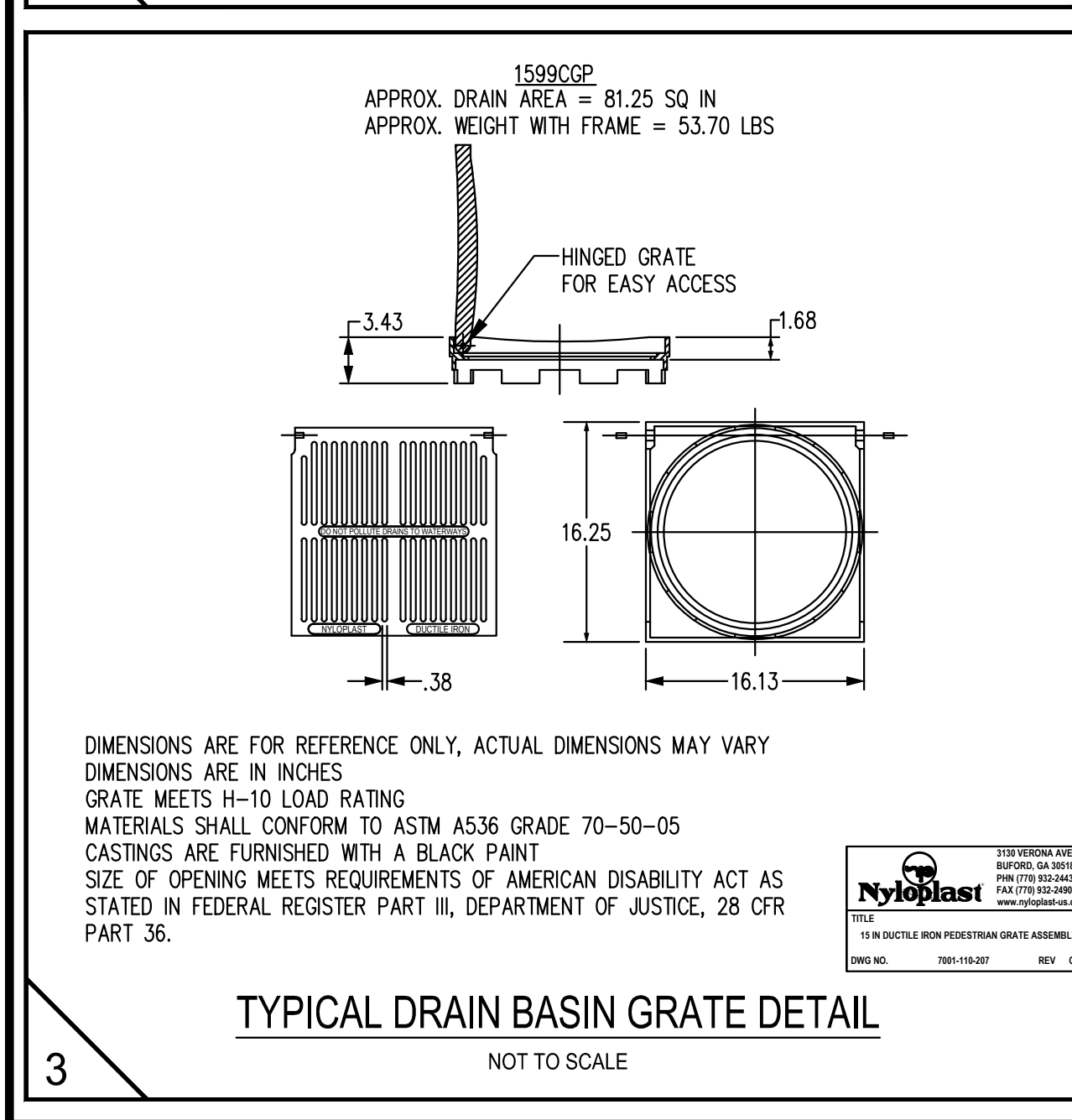
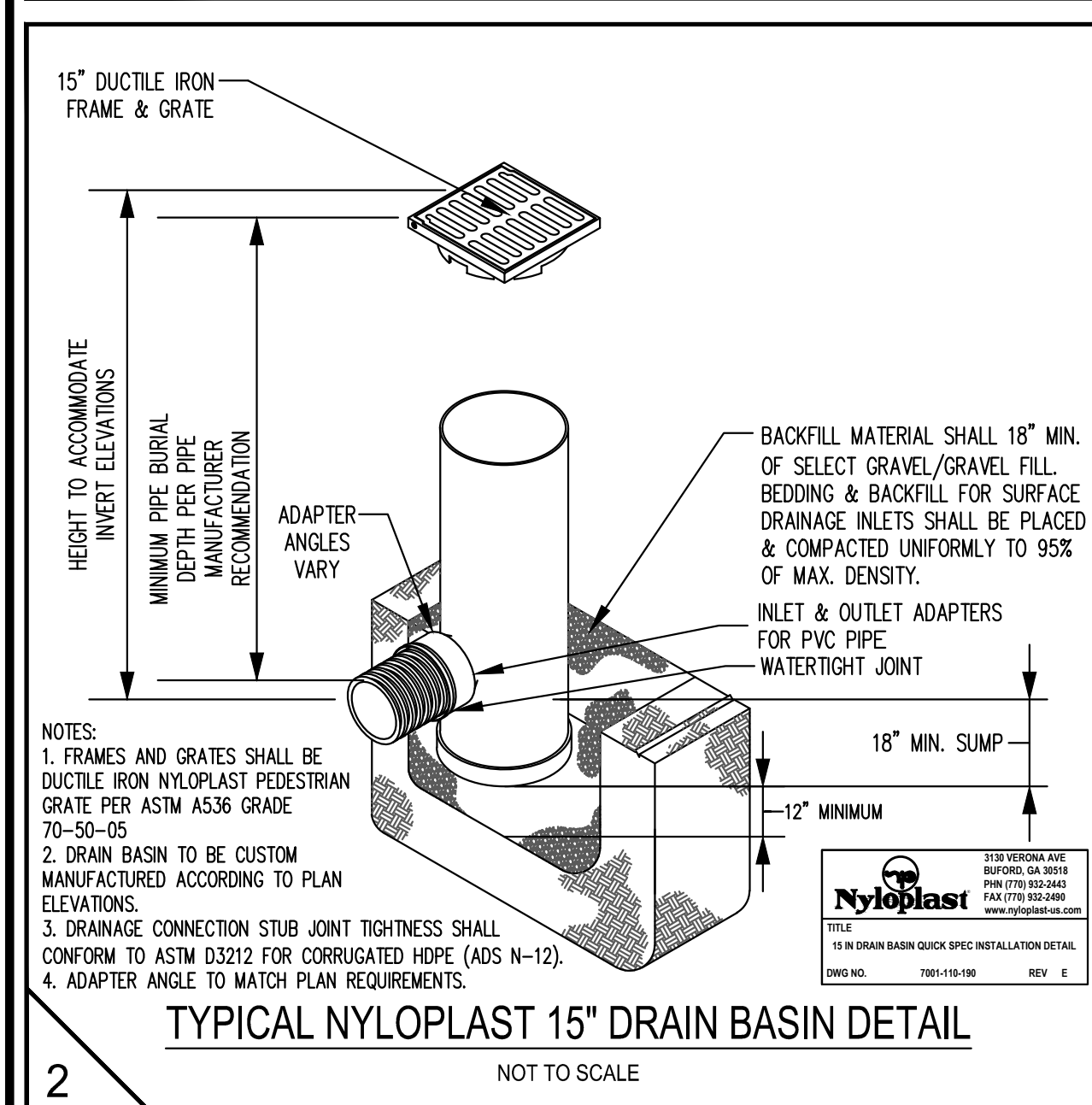
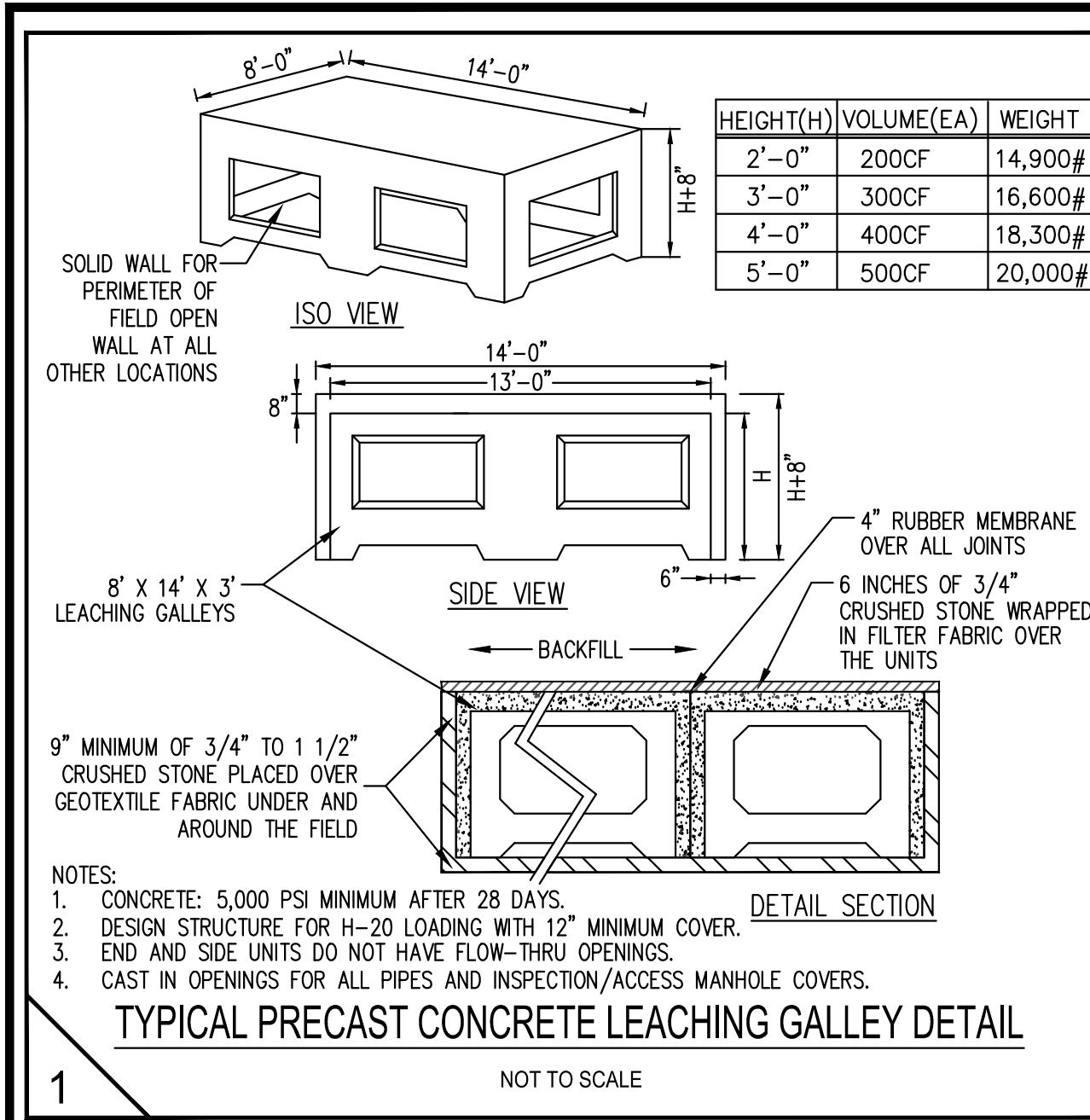
- ALL SITE CONSTRUCTION WORK SHALL CONFORM TO THE TOWN OF ANDOVER, MA REQUIREMENTS AND SPECIFICATIONS, LATEST EDITION AS WELL AS THE MADOT-HIGHWAY DIVISION STANDARDS AND SPECIFICATIONS, LATEST EDITION AND THE PROJECT SPECIFICATIONS.
- IF THERE IS A CONFLICT BETWEEN THE ABOVE REQUIREMENTS THE CONTRACTOR SHALL REQUEST AN INTERPRETATION AND DIRECTION FROM THE CIVIL ENGINEER.

**DIG SAFE**

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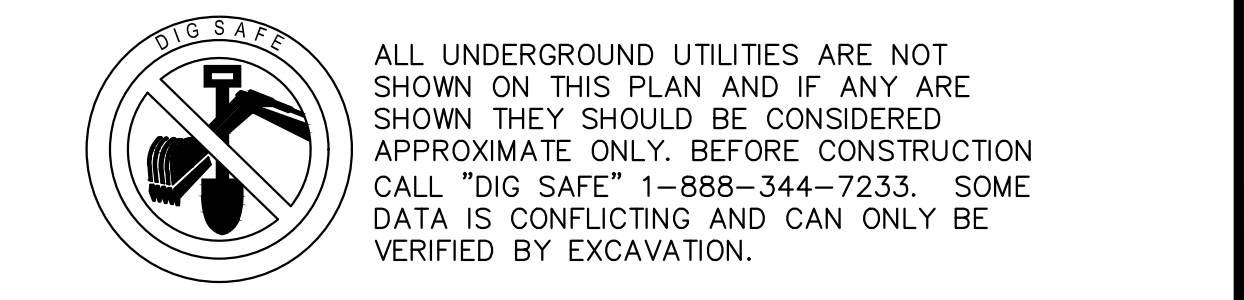
**CONSTRUCTION DETAILS**  
**PROPOSED RENOVATION AND ADDITION**  
**ONE AND FOUR CORPORATE DRIVE**  
**ANDOVER, MASSACHUSETTS**

**SHEET**  
C-8



**NOTES:**

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PREPARED FOR:

**IQHQ-1 CORPORATE, LLC AND IQHQ-4 CORPORATE, LLC**  
ATTN: MR. WILLIAM ASHTON  
ONE BOSTON PLACE, 201 WASHINGTON STREET, SUITE 3920  
BOSTON, MASSACHUSETTS 02108  
TEL: (617) 314-7951

**CONSTRUCTION DETAILS**  
**PROPOSED RENOVATION AND ADDITION**  
**ONE AND FOUR CORPORATE DRIVE**  
**ANDOVER, MASSACHUSETTS**

SHEET  
C-9

FOR CONTINUATION SEE SHEET FP-3

**LOT A**

AREA=1,045,535± S.F.  
(24.00± ACRES)

EXISTING ONE & TWO STORY  
STONE, GLASS & METAL PANEL BUILDING  
#4 CORPORATE DRIVE SOUTH

**NEW TWO STORY  
ADDITION**

**EXISTING TWO STY  
BRICK BUILDING**

**FUTURE TWO STORY  
FOUR LEVEL  
PARKING GARAGE  
(585 CARS)**

4 CORP. SOUTH GARAGE LOT PARKING  
TOTAL = 46 CARS

1 CORP. PARKING  
TOTAL=193 CARS

4 CORP. ENTRY PARKING  
TOTAL=30 CARS

N/F  
LINCOLN ANDOVER LLC

N/F  
ANDOVER  
APARTMENTS  
LLC

N/F  
ANDOVER TECHNOLOGY  
PARTNERS LLC

N/F ANDOVER  
FINE LLC

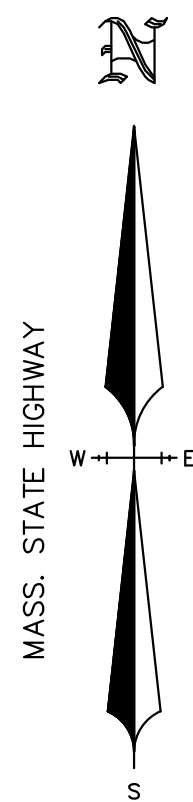
N/F MKS INSTRUMENTS, INC.

SHATTUCK  
ROAD

APPROXIMATE - 75 FEET WIDE

ROAD

NOTE: FOR ALL NOTES SEE SHEET FP-2.



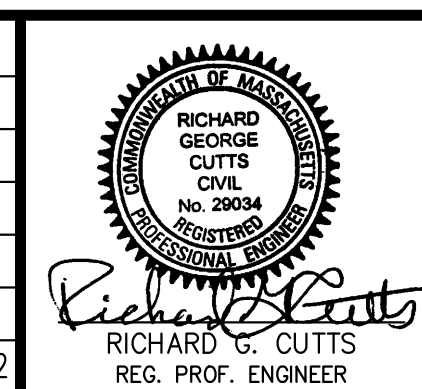
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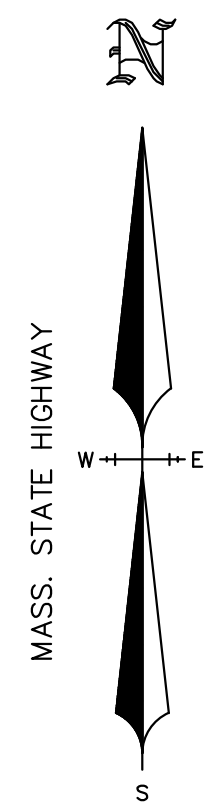
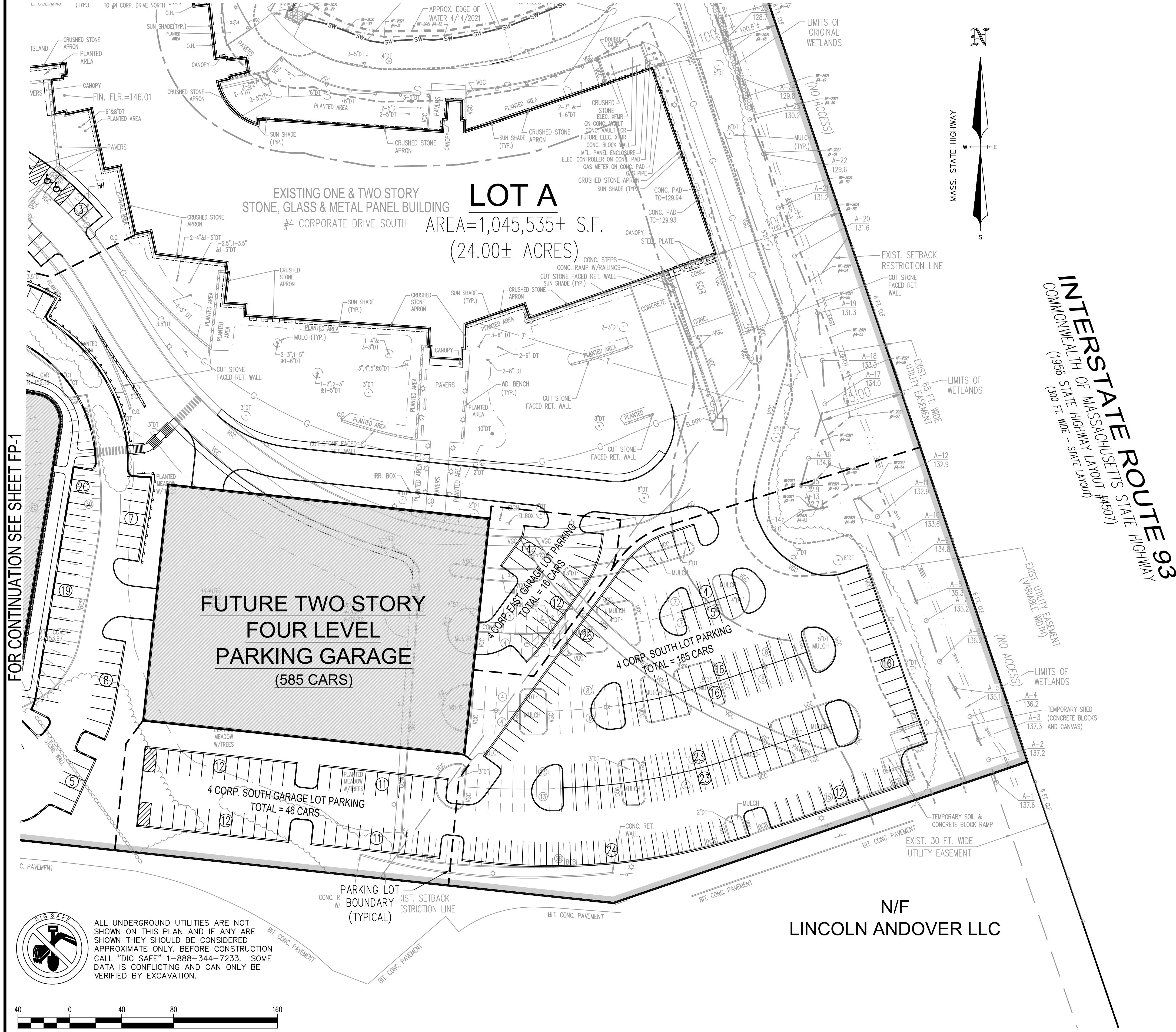
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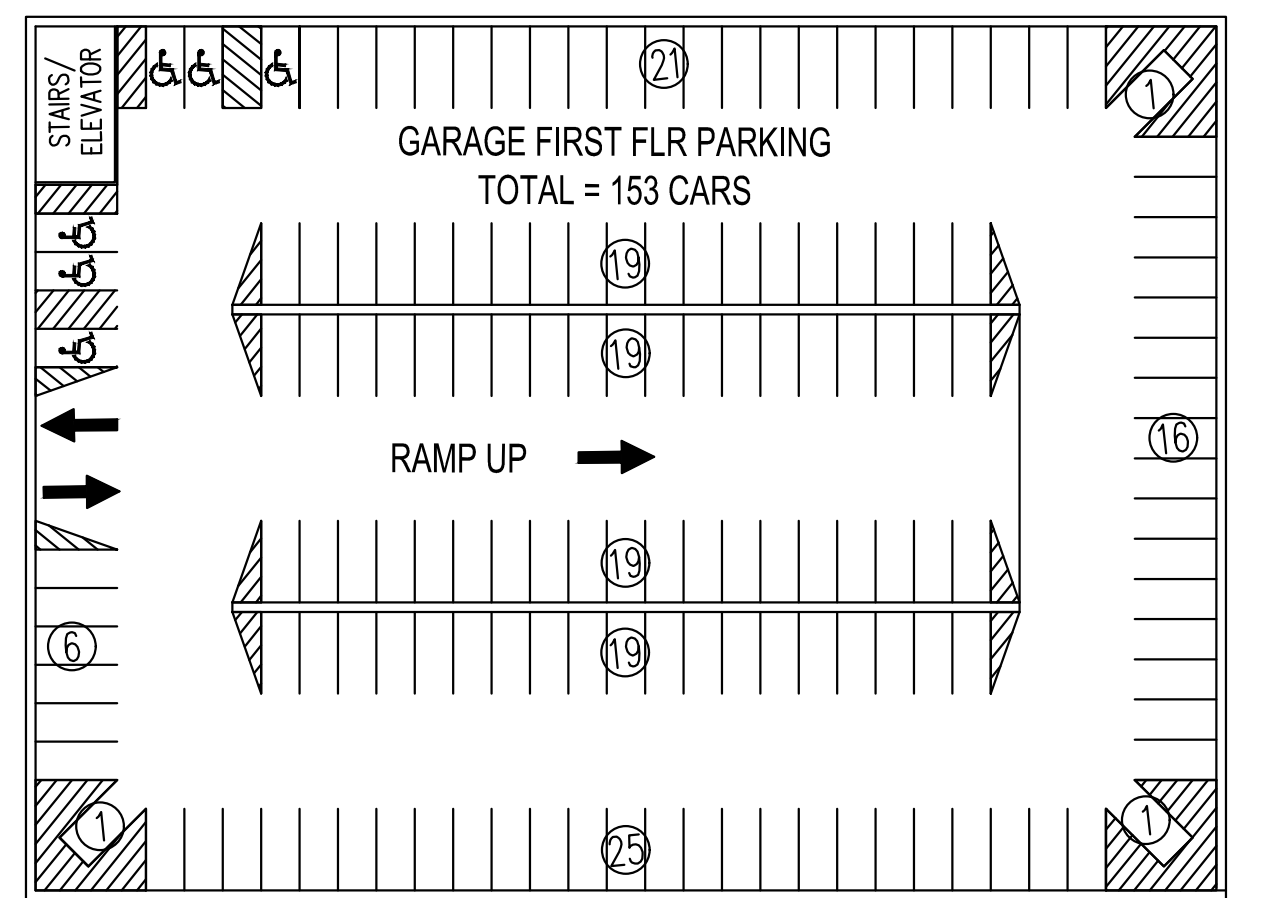
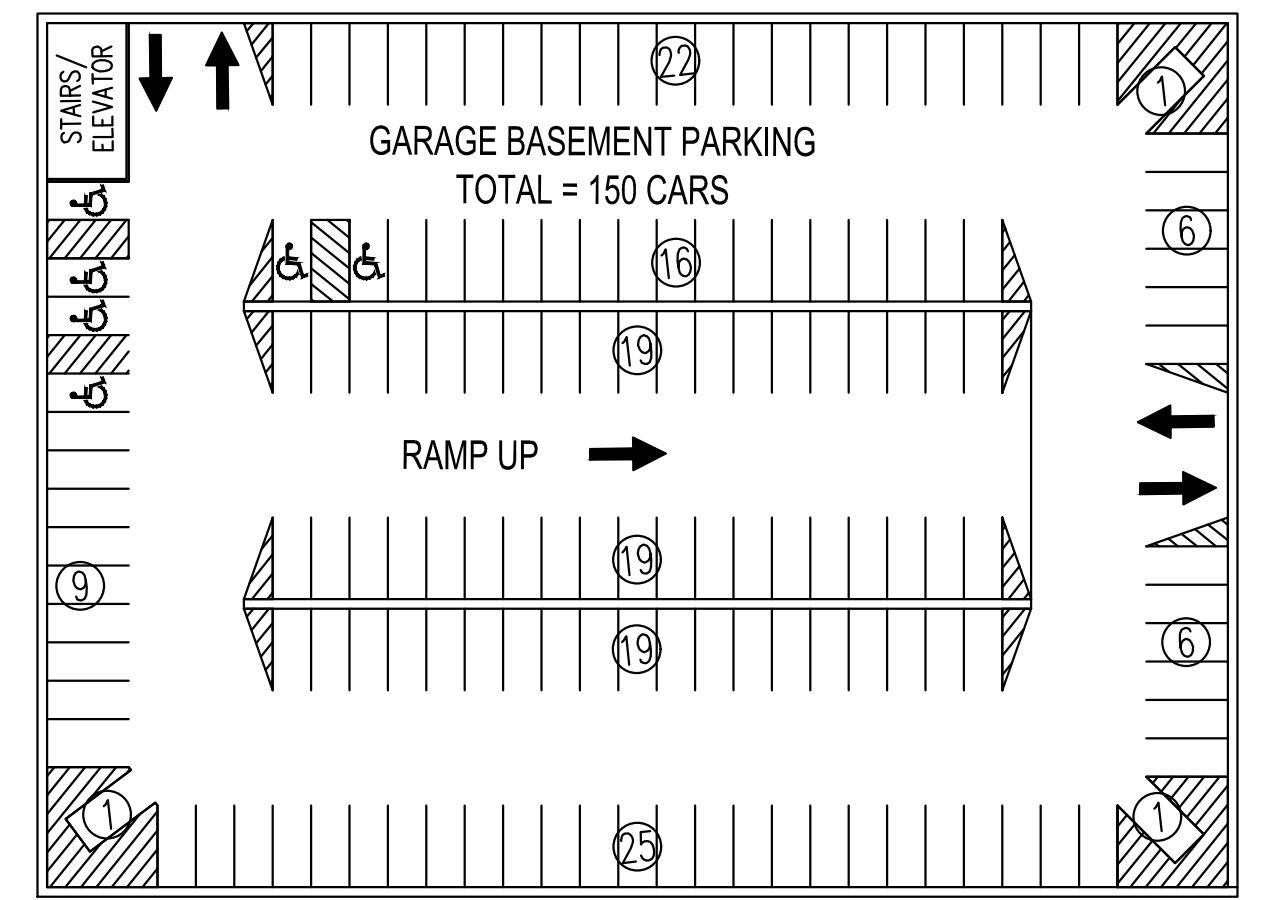
**FUTURE PARKING PLAN  
 PROPOSED RENOVATION AND ADDITION  
 ONE AND FOUR CORPORATE DRIVE  
 ANDOVER, MASSACHUSETTS**

SHEET	FP-1
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FOR CONTINUATION SEE SHEET FP-3



**INTERSTATE ROUTE 93**  
 COMMONWEALTH OF MASSACHUSETTS STATE HIGHWAY  
 (1956 STATE HIGHWAY LAYOUT #4507)  
 300 FT. WIDE - STATE LAYOUT



**GARAGE PARKING**

**FUTURE PARKING ZONING INFORMATION:**

ZONING DISTRICT = INDUSTRIAL D  
 BUILDING COVERAGE:  
 BUILDING GROUND AREAS (S.F.) = 34,407(B1), 49,114(B1ADDN), 128,690(B4) + 46,000(GAR)  
 BUILDING GROUND AREA TOTAL = 258,211 S.F., LOT AREA = 1,045,535 S.F.  
 BUILDING GROUND COVERAGE = 24.6965% (<25% ALLOWED)  
 MINIMUM BUILDING OFFSET TO ANY LOT LINE = 100 FT.  
 MINIMUM BUILDING OFFSET TO ANY LOT LINE = 85.7± S.F. TO SPPLAY WALLS ON NORTH SIDE OF #4 CORP. DRV. NORTH AND 100.4± ON EASE SIDE OF #4 CORP. DRV. SOUTH. SEE VARIANCE FOR SPPLAY WALLS AND ADDITION LESS THAN 100 FEET TO A LOT LINE, CASE #3766.

**REQUIRED PARKING BY ZONING:**  
 BUILDING GFA = 163,525 S.F. (B1+ADDN) + 202,778 S.F. (B4) = 366,303 S.F.  
 REQUIRED PARKING (AT 1/300 GFA) = 366,303/300 = 1,222 SPACES

**FUTURE PARKING AVAILABLE:**  
 4 CORP. NORTHEAST LOT = 80 ALL DAY PARKING SPACES  
 4 CORP. REAR PARKING = 38 REGULAR PARKING SPACES  
 4 CORP. FRONT PARKING = 106 REGULAR + 2 HANDICAPPED PARKING SPACES (108 TOTAL)  
 4 CORP. ENTRY PARKING = 23 REGULAR + 7 HANDICAPPED PARKING SPACES (30 TOTAL)  
 4 CORP. EAST GARAGE PARKING = 16 REGULAR PARKING SPACES  
 4 CORP. SOUTH PARKING = 165 REGULAR PARKING SPACES  
 4 CORP. SOUTH GARAGE PARKING = 46 REGULAR PARKING SPACES  
 1 CORP. PARKING = 183 REGULAR + 7 HANDICAPPED + 3 COMPACT (193 TOTAL)  
**PARKING GARAGE = 573 ALL DAY + 12 HANDICAPPED (585 TOTAL)**

**TOTAL FUTURE PARKING:**  
 577 STANDARD PARKING SPACES  
 653 ALL DAY PARKING SPACES  
 28 HANDICAPPED PARKING SPACES  
 3 COMPACT PARKING SPACES  
**TOTAL FUTURE PARKING: 1,261 SPACES TOTAL**

CONSTRUCTION OF THE FUTURE PARKING AND GARAGE WILL BE SUBJECT TO REVIEW BY THE TOWN OF ANDOVER PLANNING BOARD.

N/F  
**LINCOLN ANDOVER LLC**

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DATE	BY	REV#	REVISIONS

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 CKD. BY: RGC/WAJ  
 APPD. BY: RGC  
 JOB NO.: 21055  
 SCALE: 1" = 40'  
 DATE: JAN. 26, 2022

**LINDEN ENGINEERING PARTNERS LLC**  
 100 TradeCenter Suite G700  
 Woburn, MA 01801-1851  
 Tel: (781) 933-3711  
 Fax: (781) 287-1277

PREPARED FOR:  
**IQHQ-1 CORPORATE, LLC AND IQHQ-4 CORPORATE, LLC**  
 ATTN: MR. WILLIAM ASHTON  
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 BOSTON, MASSACHUSETTS 02108  
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**FUTURE PARKING PLAN**  
**PROPOSED RENOVATION AND ADDITION**  
**ONE AND FOUR CORPORATE DRIVE**  
**ANDOVER, MASSACHUSETTS**



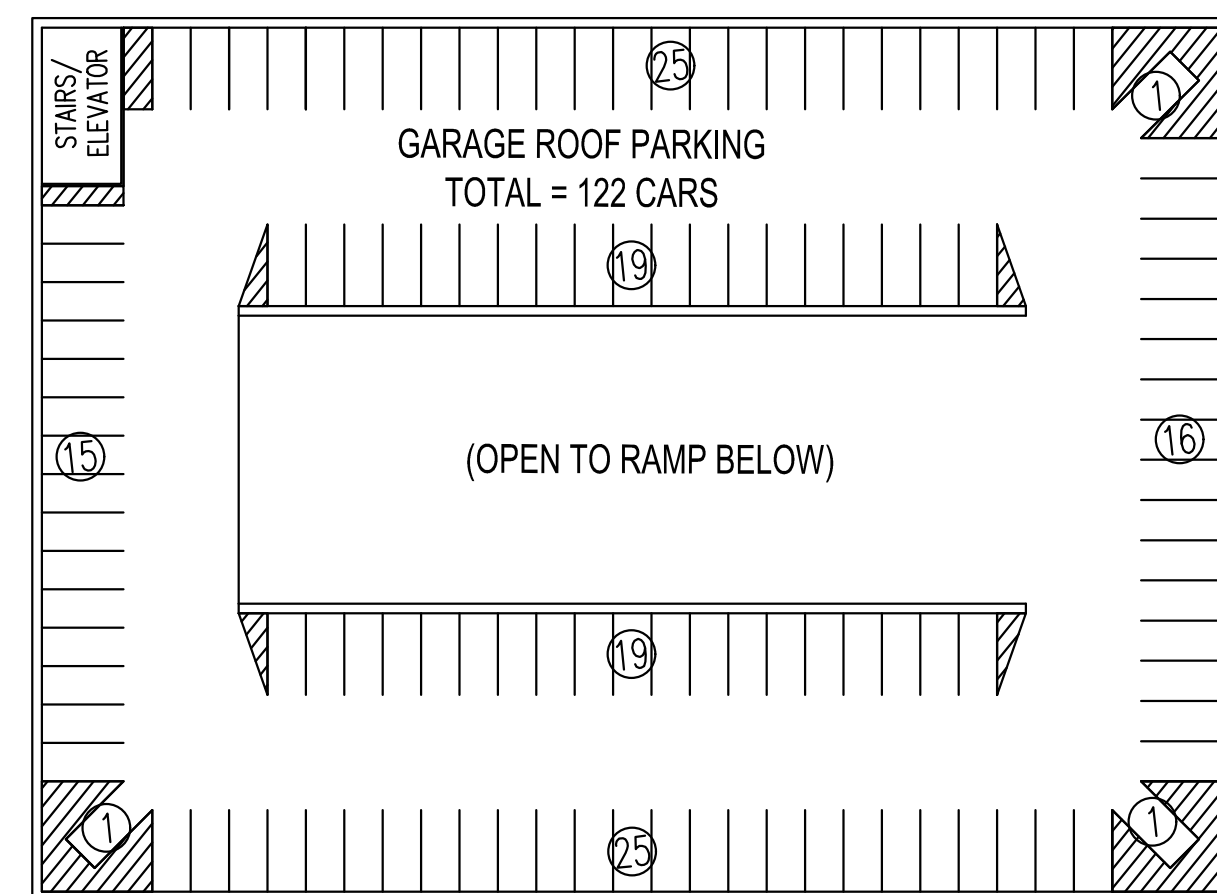
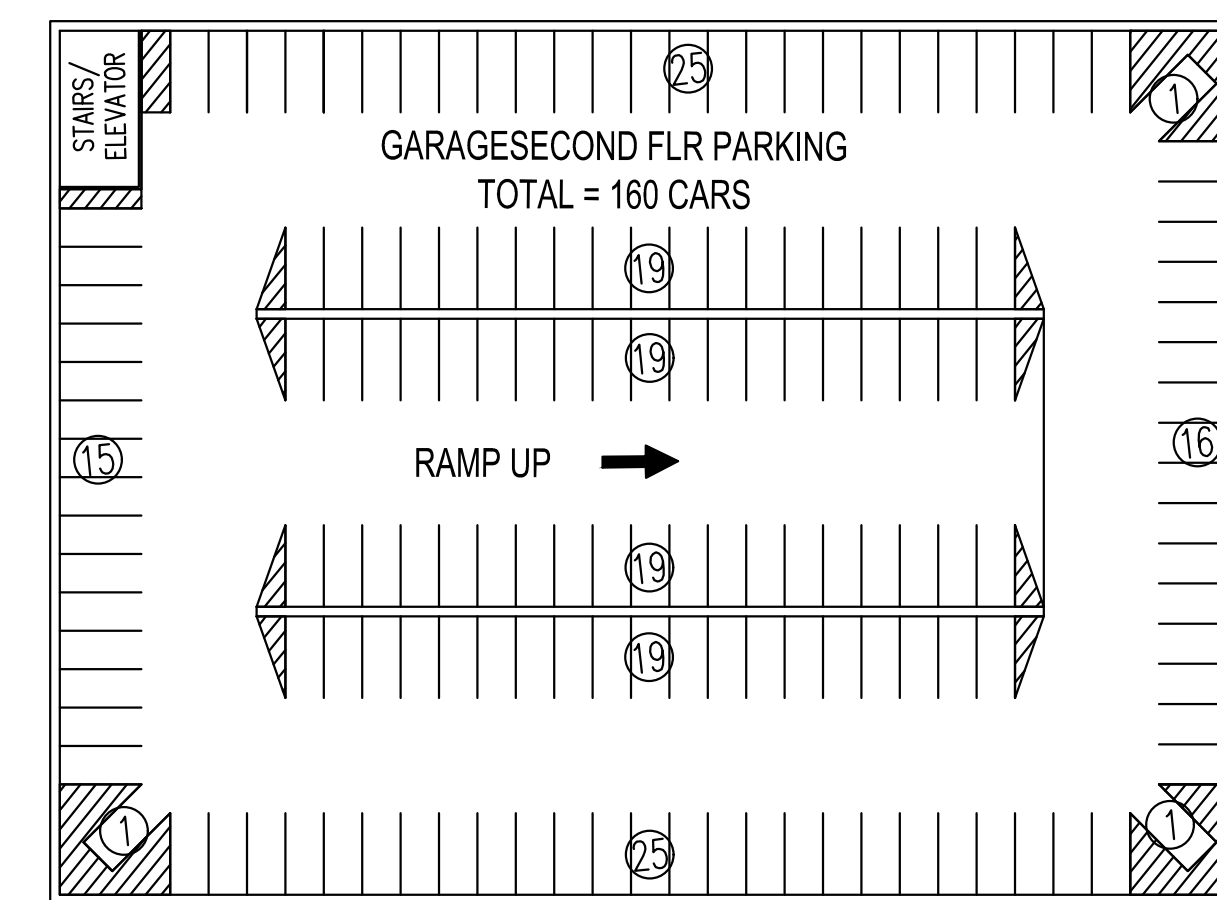
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N/F WS NV FOUR ANDOVER TECH LLC

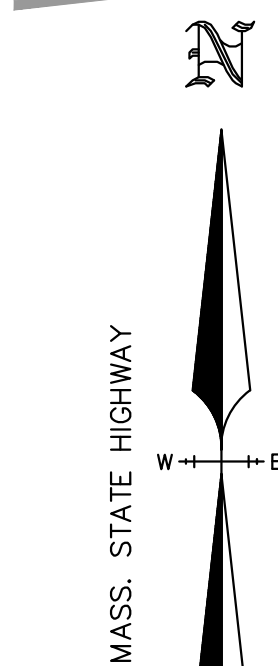
N/F WS NV FOUR ANDOVER TECH LLC

INTERSTATE ROUTE 93  
COMMONWEALTH OF MASSACHUSETTS STATE HIGHWAY #4507  
(1956 STATE HIGHWAY LAYOUT - STATE LAYOUT)  
300 FT. WIDE - STATE LAYOUT  
(NO ACCESS)  
EXIST. 95 FT. WIDE UTILITY EASEMENT



GARAGE PARKING

INTERSTATE ROUTE 93  
COMMONWEALTH OF MASSACHUSETTS STATE HIGHWAY #4507  
(1956 STATE HIGHWAY LAYOUT - STATE LAYOUT)



N/F ANDOVER TECHNOLOGY PARTNERS LLC

PARKING LOT BOUNDARY (TYPICAL)

4 CORP. FRONT PARKING  
TOTAL=108 CARS

4 CORP. REAR PARKING  
TOTAL=38 CARS

4 CORP. NORTHEAST PARKING  
TOTAL=30 CARS ALL DAY

EXISTING TWO STORY BRICK BUILDING  
#4 CORPORATE DRIVE NORTH  
FIN. FLR.=141.00  
FIN. FLR.=141.02

EXISTING POND  
WATER ELEVATION  
123.8 (11/22/2002)  
122.27 (6/24/2003)  
122.63 (1/15/2016)  
123.10 (4/14/2021)

EXISTING ONE & TWO STORY STONE, GLASS & METAL PANEL BUILDING  
#4 CORPORATE DRIVE SOUTH

**LOT A**  
AREA=1,045,535± S.F.  
(24.00± ACRES)

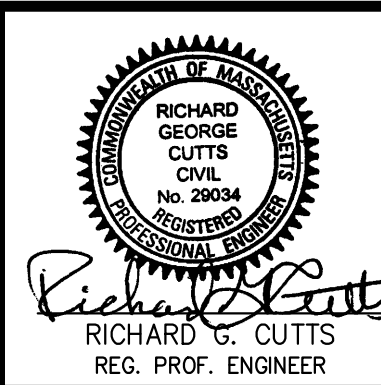
4 CORP. ENTRY PARKING  
TOTAL=30 CARS

NOTE: FOR ALL NOTES SEE SHEET FP-2.

FOR CONTINUATION SEE SHEETS FP-2 & FP-3

DATE	BY	REV#	ISSUED FOR PERMITTING
1/26/2022	RGC	1	
			REVISIONS

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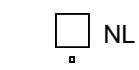





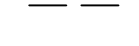
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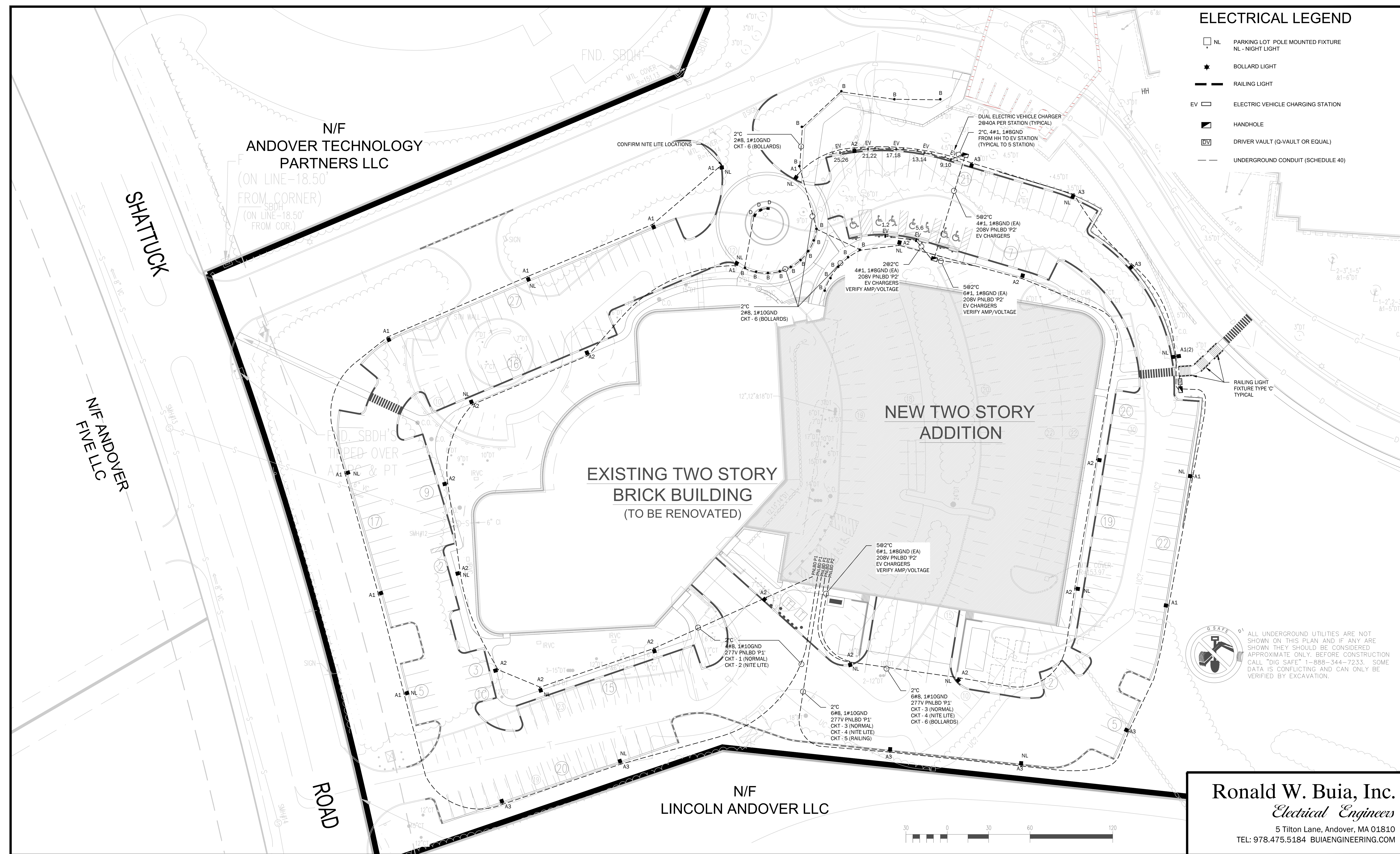
PREPARED FOR:  
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**FUTURE PARKING PLAN  
PROPOSED RENOVATION AND ADDITION  
ONE AND FOUR CORPORATE DRIVE  
ANDOVER, MASSACHUSETTS**

SHEET  
FP-3

**ELECTRICAL LEGEND**

-  NL PARKING LOT POLE MOUNTED FIXTURE  
NL - NIGHT LIGHT
-  BOLLARD LIGHT
-  RAILING LIGHT
-  EV ELECTRIC VEHICLE CHARGING STATION
-  HANDHOLE
-  DRIVER VAULT (Q-VAULT OR EQUAL)
-  UNDERGROUND CONDUIT (SCHEDULE 40)

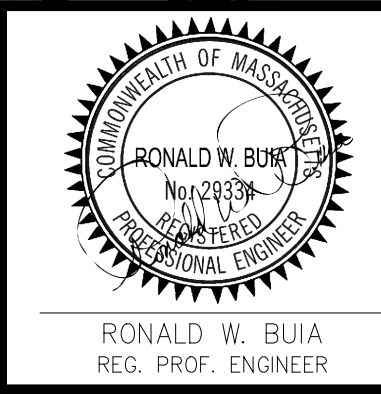


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**Ronald W. Buia, Inc.**  
*Electrical Engineers*  
 5 Tilton Lane, Andover, MA 01810  
 TEL: 978.475.5184 BUIAENGINEERING.COM

DATE	BY	REV#	ISSUED FOR PERMITTING
1/26/2022	RWB	Δ	REVISIONS

CALC. BY:	KML
DR. BY:	KML
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APPD. BY:	RWB
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SCALE:	
DATE:	JAN. 26, 2022



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 Woburn, MA 01801-1851  
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 ATTN: MR. WILLIAM ASHTON  
 ONE BOSTON PLACE, 201 WASHINGTON STREET, SUITE 3920  
 BOSTON, MASSACHUSETTS 02108  
 TEL: (617) 314-7951

**SITE LIGHTING PLAN**  
 PROPOSED RENOVATION AND ADDITION  
 ONE AND FOUR CORPORATE DRIVE  
 ANDOVER, MASSACHUSETTS

SHEET  
 SL-1

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING LOT ONLY	+	2.5c	6.7c	0.6c	11.2:1	4.2:1

SEE DRAWING SL-2 FOR FIXTURE SCHEDULE



**Ronald W. Buia, Inc.**  
*Electrical Engineers*  
 5 Tilton Lane, Andover, MA 01810  
 TEL: 978.475.5184 BUIENGINEERING.COM

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RONALD W. BUIA  
REG. PROF. ENGINEER

**BLINDEN ENGINEERING PARTNERS LLC**  
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**PHOTOMETRIC PLAN**  
**PROPOSED RENOVATION AND ADDITION**  
**ONE AND FOUR CORPORATE DRIVE**  
**ANDOVER, MASSACHUSETTS**

SHEET  
SL-3

# ELECTRICAL NOTES

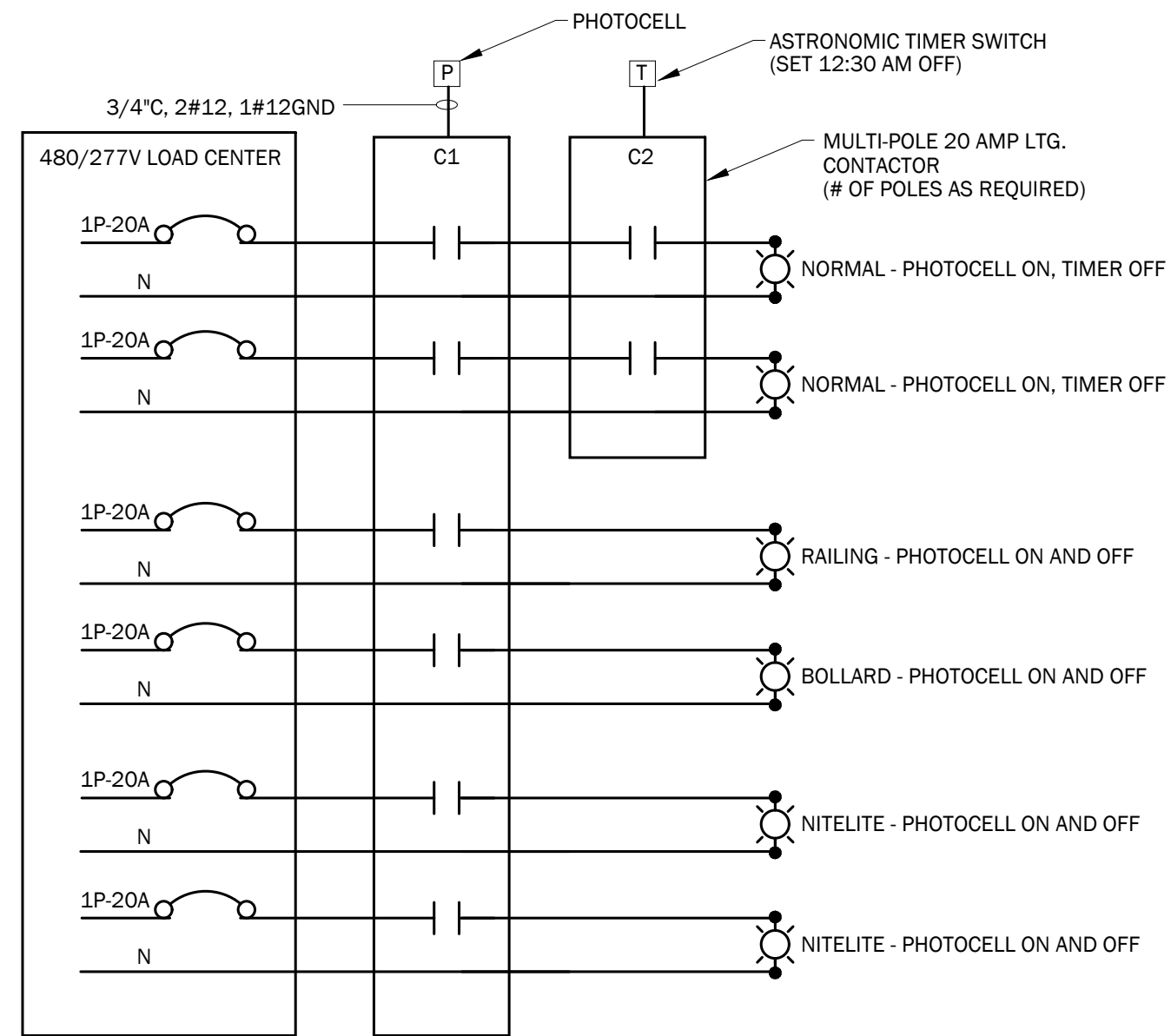
- THE SCOPE OF WORK IS TO PROVIDE ALL LABOR, MATERIALS, SERVICES, SUPPLIES, TOOLS, EQUIPMENT, TRANSPORTATION, AND FACILITIES NECESSARY TO FURNISH AND INSTALL COMPLETE ELECTRICAL WORK AS CALLED FOR ON THE DRAWINGS, SPECIFIED, OR AS MAY REASONABLY BE IMPLIED AS BEING INCIDENTAL TO THE WORK.
- SECURE AND PAY COSTS OF PERMITS, CERTIFICATED, LICENSES, INSPECTIONS, AND APPROVALS. ANY POWER OUTAGE SHALL BE SCHEDULED AND APPROVED BY OWNER.
- DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF WORK. BASIC DESIGN CONCEPTS INDICATED ARE TO BE EITHER FOLLOWED OR BETTERED. WORK IS INTENDED TO INCLUDE ALL ITEMS NECESSARY FOR PROPER OPERATION AND COMPLETION. FIELD VERIFY ALL LOCATIONS, ELEVATIONS, AND DIMENSIONS.
- EXECUTE ALL WORK IN A NEAT MANNER IN CONFORMANCE WITH THE BEST MODERN TRADE PRACTICES, BY COMPETENT, EXPERIENCED MECHANICS, PRESENTING A NEAT APPEARANCE WHEN COMPLETED. REPLACE WORK NOT APPROVED BY OWNER WITHOUT ADDITIONAL CHARGE.
- ALL MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MASSACHUSETTS ELECTRICAL CODE, AND ALL CODES, REGULATIONS AND REQUIREMENTS OF ALL MUNICIPAL, STATE, FEDERAL AND OTHER PUBLIC OR PRIVATE AUTHORITIES WHICH HAVE JURISDICTION. IN EACH CASE, CODES ARE THE MINIMUM REQUIREMENTS.
- SHOP DRAWINGS: SUBMIT COMPLETE CATALOG INFORMATION FOR ALL MATERIALS AND EQUIPMENT TO BE PURCHASED AND USED ON THE PROJECT, AS SPECIFIED ON THE DRAWINGS. DO NOT INSTALL MATERIALS OR EQUIPMENT WITHOUT APPROVAL BY OWNER. UNAPPROVED MATERIAL ALREADY INSTALLED SHALL BE SUBJECT TO REMOVAL AND REPLACED WITH APPROVED MATERIALS AT THE CONTRACTOR'S EXPENSE. AVAILABLE SPACES FOR ANY EXTRA CHARGES BY OTHER TRADES.
- AS THERE MAY BE VARIOUS CONDITIONS AT THE SITE WHICH DO NOT SHOW ON THE ACCOMPANYING DRAWINGS, OR WHICH ARE AT THE VARIANCE WITH THE CONDITIONS INDICATED ON THE DRAWINGS, IT IS IMPORTANT THAT EACH BIDDER VISIT THE SITE AND ACQUAINT HIMSELF WITH EXISTING CONDITIONS AND TAKE THESE CONDITIONS INTO CONSIDERATION WHEN PREPARING HIS BID. EACH BIDDER SHALL OBTAIN INFORMATION OR MAKE ANY MEASUREMENT DESIRED. LACK OF KNOWLEDGE RELATIVE TO THE EXISTING SITE CONDITIONS WILL NOT BE ALLOWED AS A BASIS OF EXTRA COMPENSATIONS.
- THE FINISHED INSTALLATION SHALL BE COMPLETE IN EVERY RESPECT AND DETAIL, TESTED AND LEFT READY IN PERFECT OPERATING CONDITION FOR THE OWNER'S USE.
- MATERIALS AND EQUIPMENT SHALL BE LISTED BY THE UNDERWRITERS' LABORATORIES AND SHALL BE INSTALLED IN ACCORDANCE WITH SUCH LISTINGS.
- THE CONTRACTOR SHALL GUARANTEE THAT MATERIALS, EQUIPMENT AND WORKMANSHIP PROVIDED SHALL BE FREE FROM DEFECTS IN MATERIALS OR WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK DONE UNDER THIS CONTRACT, AND SHALL REPLACE PARTS FOUND TO BE DEFECTIVE WITHIN THE PERIOD COVERED BY SUCH GUARANTEE, WITHOUT COST TO THE OWNER.
- INSTALLATION SHALL BE MADE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL CARRY ALL COSTS RELATING TO REMOVAL AND DISPOSAL OF ALL ELECTRICAL EQUIPMENT, LIGHTING FIXTURES, CONCRETE BASES AND RELATED EQUIPMENT.

Symbol	Label	Manufacturer	Catalog Number	Description	Lumens Per Lamp	Wattage	Voltage
□	A1	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GLNA-AF-02-LED-E1-SL3-7030	GALLEONNAIRE AREA AND ROADWAY LUMINAIRE (2) 70 CR, 3000K CCT 1050mA LIGHTSQUARE WITH 16 LEDS EACH AND Type V Square Medium	11734	113	277
□	A1(2)	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GLNA-AF-02-LED-E1-SL3-7030	POLE CAT # RSS 5 M 25 5' 1 (A1)2(A2) 25' MOUNTING HEIGHT		226	
□	A2	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GLNA-AF-02-LED-E1-SM0-7030	GALLEONNAIRE AREA AND ROADWAY LUMINAIRE (2) 70 CR, 3000K CCT 1050mA LIGHTSQUARE WITH 16 LEDS EACH AND Type II w/Spill Control	12335	113	277
□	A3	HSS COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GLNA-AF-02-LED-E1-SL4-7030-HSS	GALLEONNAIRE AREA AND ROADWAY LUMINAIRE (2) 70 CR, 3000K CCT 1050mA LIGHTSQUARE WITH 16 LEDS EACH AND Type IV w/Spill Control WITH HOUSESIDE SHIELD OPTICS	8677	113	277
★	B	BOLLARD - LANDSCAPEFORMS	BW101 V 30K UV1	BOLLARD 6INCH SQUARE FINISH TBD	820	16	277
—	C	HANDRAIL - R&B Wagner, Milwaukee, WI	LULF30K235	R&B Wagner - Bartram handrail post light Product ID: LULF30K235 One LED jotted into threaded aluminum housing with clear glass lens. Light threaded into center of machined stainless steel housing. Includes 10 degree forward bias of the internal LED module. One Mean Well LED driver. Model: LDD-500LW Operating at 24 VDC.	110	1.94	277
■	D	SPOT LIGHT - Lumark	10RL 15 W	SPOT LIGHT - WIDE DISTRIBUTION W/ SPIKE MOUNTS	0	15	277

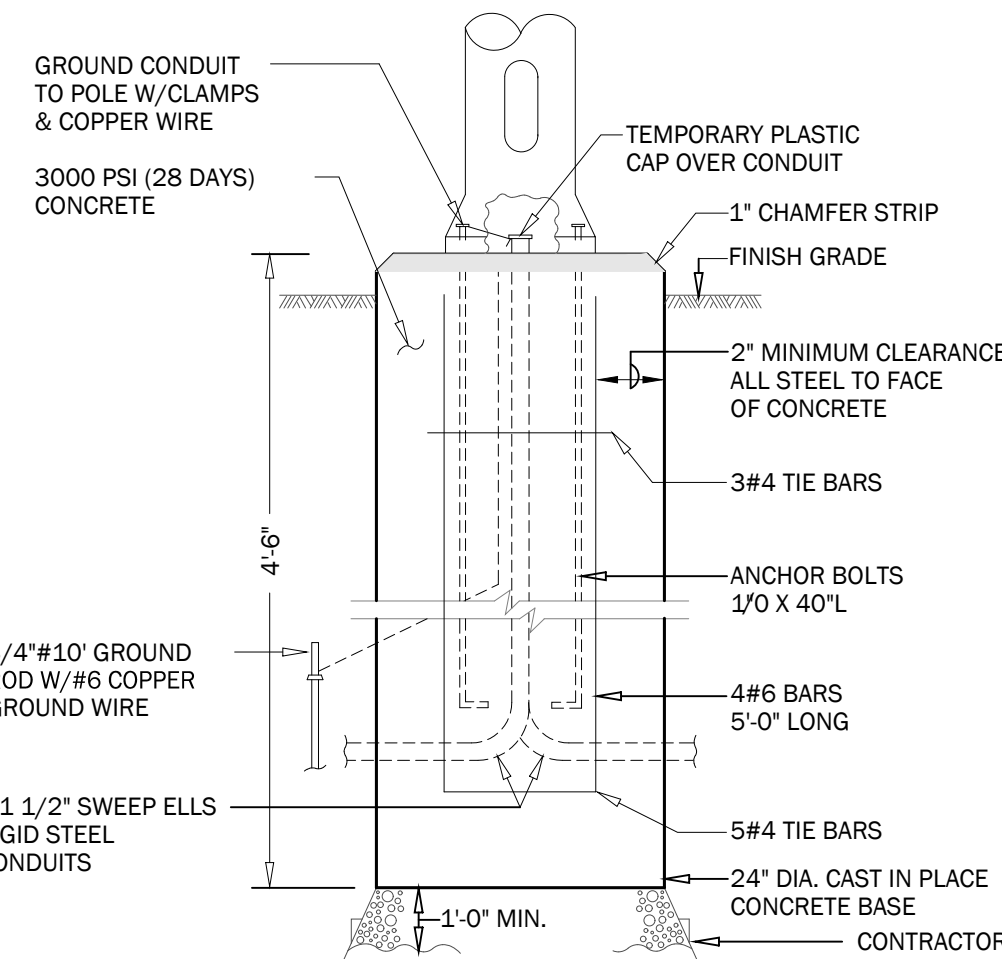
ALL POLE, LAMP AND BOLLARD FINISHED TO BE FINALIZED BY OWNER/ARCHITECT.

PANEL 'P1'		PNLBD BY OTHERS	
CKT NO	BKR SIZE	LOAD DESCRIPTION	LOAD DESCRIPTION
1	20	SITE LIGHTING NORMAL	SITE LIGHTING NITE LITE
3	20	SITE LIGHTING NORMAL	SITE LIGHTING NITE LITE
5	20	HANDRAIL LIGHTING	BOLLARD / SPOT LIGHTING
7			
9			
11			
13			
15			
17			
19			
21			
23			
25			
27			
29			
31			
33			
35			
37			
39			
41			

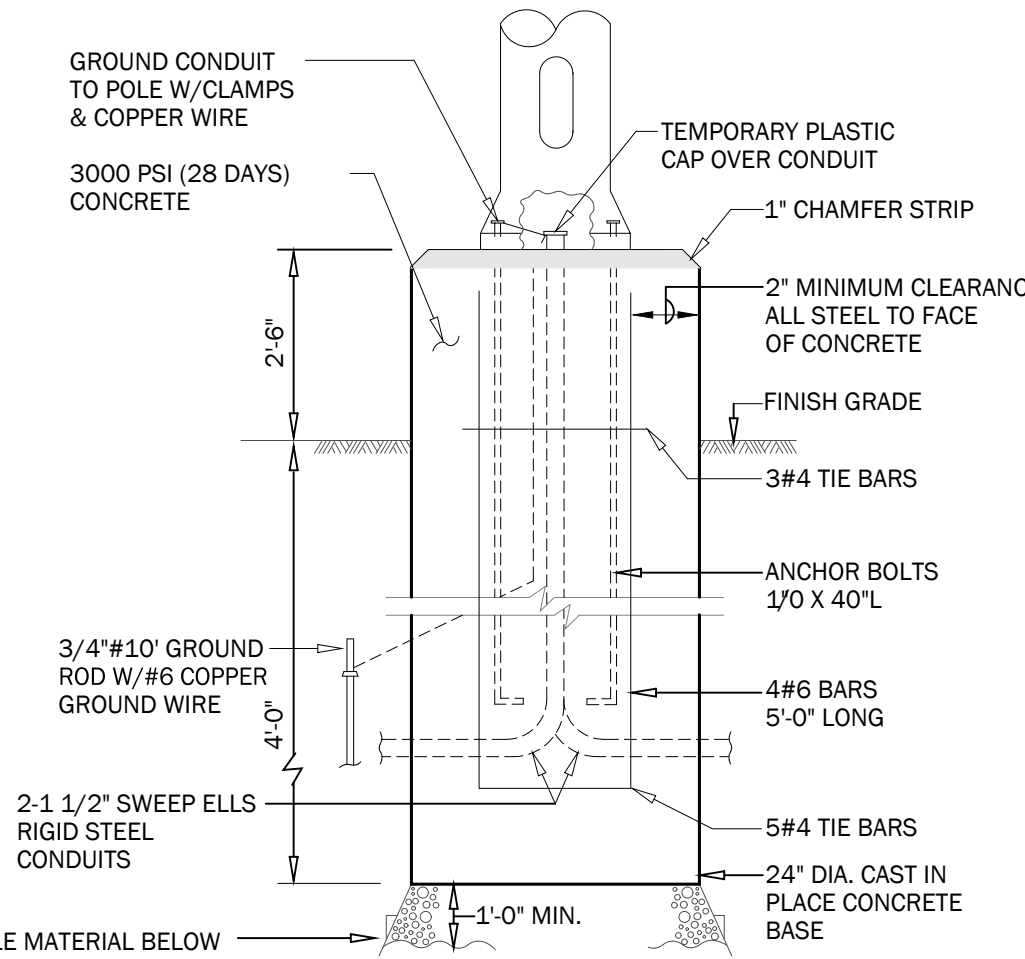
PANEL 'P2'		PNLBD BY OTHERS	
CKT NO	BKR SIZE	LOAD DESCRIPTION	LOAD DESCRIPTION
1	40	EV CHARGER	EV CHARGER
3	-	-	-
5	40	EV CHARGER	EV CHARGER
7	-	-	-
9	40	EV CHARGER	EV CHARGER
11	-	-	-
13	40	EV CHARGER	EV CHARGER
15	-	-	-
17	40	EV CHARGER	EV CHARGER
19	-	-	-
21	40	EV CHARGER	EV CHARGER
23	-	-	-
25	40	EV CHARGER	EV CHARGER
27	-	-	-
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31			
33			
35			
37			
39			
41			



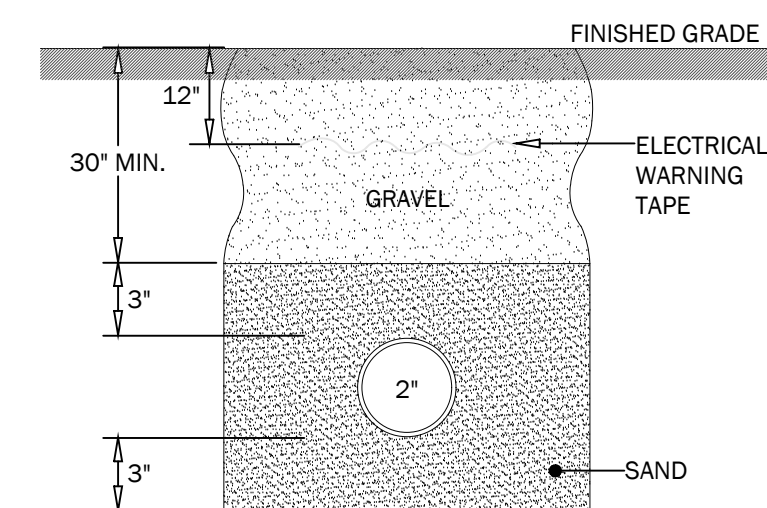
LIGHTING CONTROL SCHEMATIC  
NTS



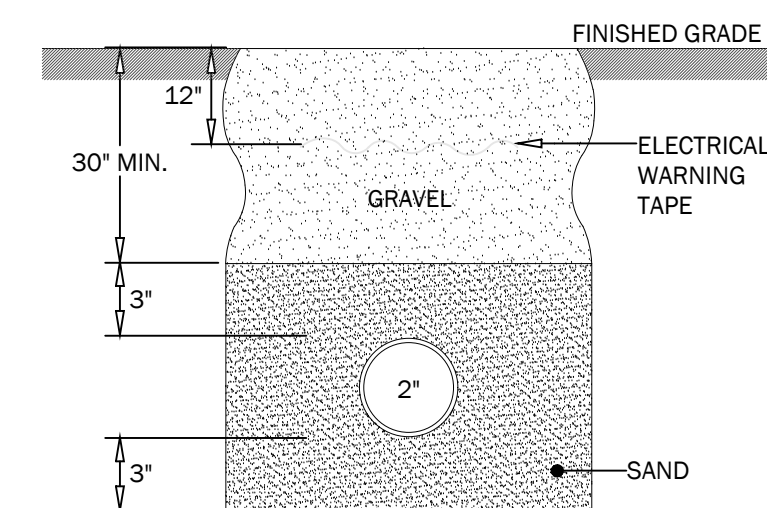
TYPICAL POLE BASE DETAIL  
BEHIND SIDEWALKS  
NTS



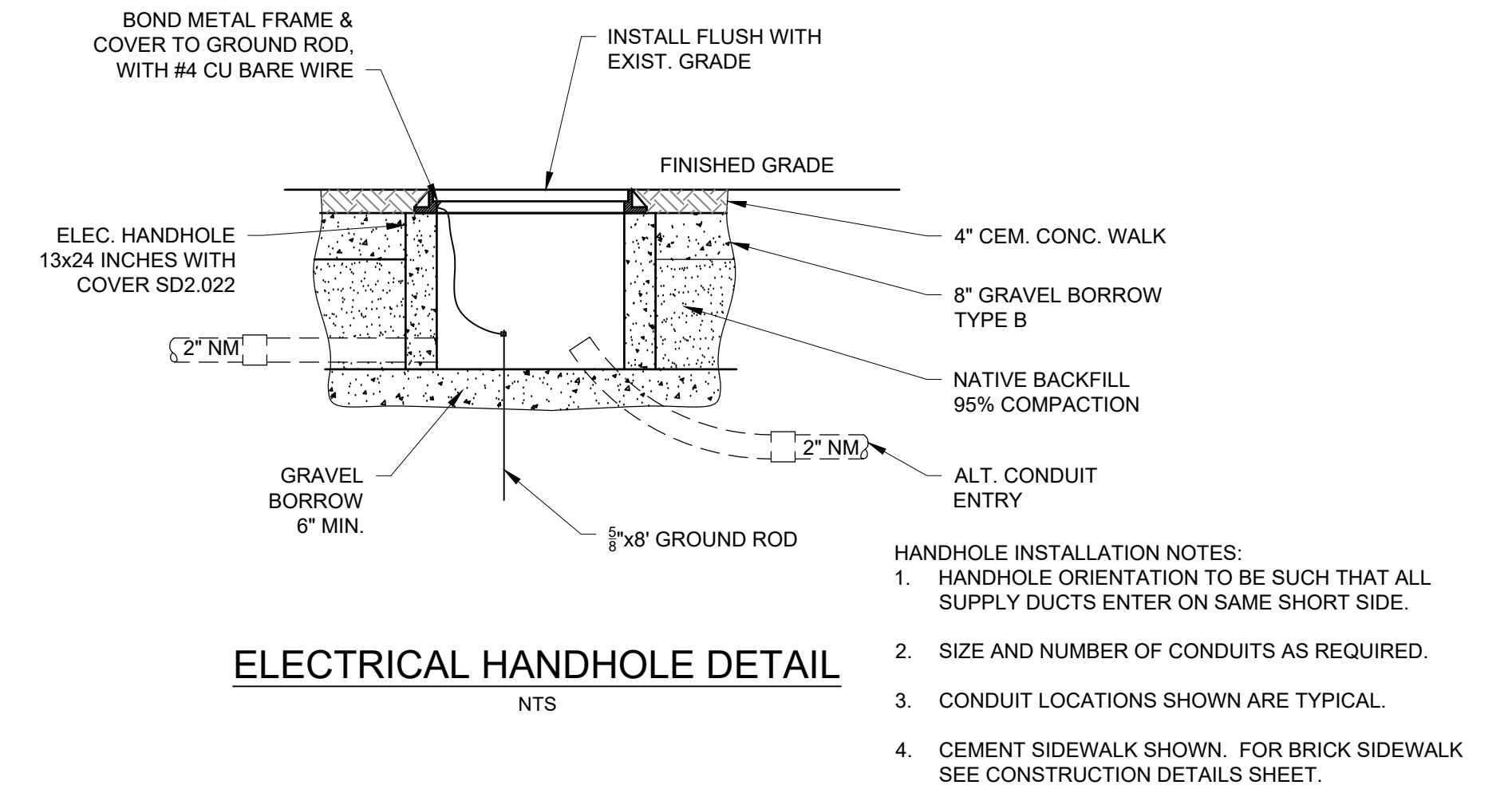
TYPICAL POLE BASE DETAIL  
PARKING LOT  
NTS



UNDERGROUND CONDUIT DETAIL  
PAVEMENT  
NTS



UNDERGROUND CONDUIT DETAIL  
GRASS  
NTS



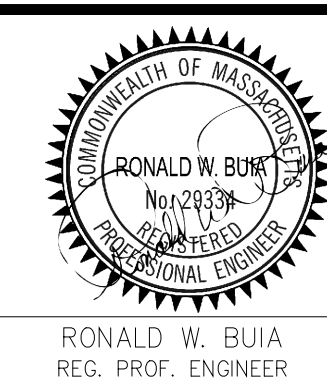
ELECTRICAL HANDHOLE DETAIL  
NTS

- HANDHOLE INSTALLATION NOTES:
- HANDHOLE ORIENTATION TO BE SUCH THAT ALL SUPPLY DUCTS ENTER ON SAME SHORT SIDE.
  - SIZE AND NUMBER OF CONDUITS AS REQUIRED.
  - CONDUIT LOCATIONS SHOWN ARE TYPICAL.
  - CEMENT SIDEWALK SHOWN. FOR BRICK SIDEWALK SEE CONSTRUCTION DETAILS SHEET.

**Ronald W. Buia, Inc.**  
*Electrical Engineers*  
5 Tilton Lane, Andover, MA 01810  
TEL: 978.475.5184 BUIAENGINEERING.COM

1/26/2022	RWB	△	ISSUED FOR PERMITTING
DATE	BY	REV#	REVISIONS

CALC. BY:	KML
DR. BY:	KML
CKD. BY:	RWB
APPD. BY:	RWB
JOB NO.:	2070121
SCALE:	
DATE:	JAN. 26, 2022



**BLINDEN ENGINEERING PARTNERS LLC**  
100 TradeCenter Suite G700  
Woburn, MA 01801-1851  
Tel: (781) 933-3711  
Fax: (781) 287-1277

Civil - Environmental Engineering including Storm water, Wastewater, Water Supply, Highway & Infrastructure Design, Land Planning, Land Subdivision, Site Design, Environmental Permitting, Wetlands Permitting & Land Development Permitting

PREPARED FOR:  
IQHQ-1 CORPORATE, LLC AND IQHQ-4 CORPORATE, LLC  
ATTN: MR. WILLIAM ASHTON  
ONE BOSTON PLACE, 201 WASHINGTON STREET, SUITE 3920  
BOSTON, MASSACHUSETTS 02108  
TEL: (617) 314-7951

LIGHTING SCHEDULES, DETAILS AND NOTES  
PROPOSED RENOVATION AND ADDITION  
ONE AND FOUR CORPORATE DRIVE  
ANDOVER, MASSACHUSETTS

SHEET  
SL-2

### TYPE A PARKING LOT

#### DESCRIPTION

The Galleonaire LED luminaire features advanced thermally conductive polymer heatsinks and open frame endcaps for a sleek aesthetic with significant weight reduction. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and ULULU. Listed for wet locations.

### McGraw-Edison

Catalog #	Type
Project	
Comments	Date
Prepared by	

#### SPECIFICATION FEATURES

**Construction**  
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Open frame die-cast aluminum end caps provide structural support for the housing and heatsinks. Thermally conductive polymer heatsinks offer significant weight reduction while fully maintaining thermal management of the Light Squares. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

**Optics**  
Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution, maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 25% CCT 70 CRI). Optional 2700K, 3000K, 5000K and 6000K CCT.

**Electrical**  
LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Cooper Lighting Solutions proprietary circuit module designed to withstand 10kV of transient line surge. The Galleonaire LED luminaire is suitable for operation in -40°C to 40°C ambient environments. Light Squares are IP66 rated. Greater than 90% lumens maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA and 800mA drive currents (nominal).

**Mounting**  
STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the 5A extended arm may be required. Refer to the arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. QUICK MOUNT ARM: Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

**Finish**  
Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is dark gray, non-paintable. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Options to meet Buy American and other domestic preference requirements.

**Warranty**  
Five-year warranty.

### GLNA GALLEONAIRE

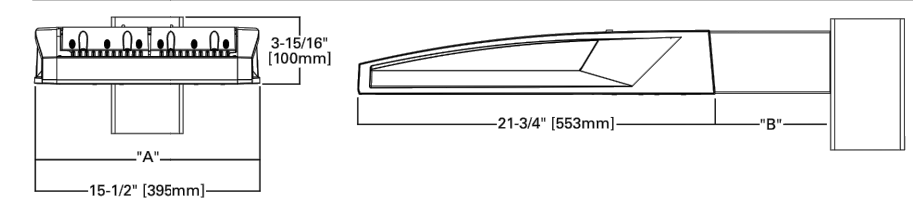
1-10 Light Squares  
Solid State LED

AREA/SITE LUMINAIRE



WaveLinX

#### DIMENSIONS

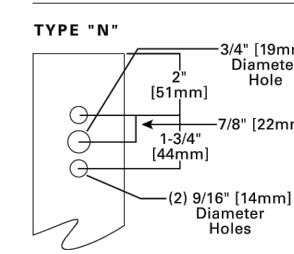


#### DIMENSION DATA

Number of Light Squares	A* Width (mm)	B* Standard Arm Length (mm)	C* Optional Arm Length (mm)	Weight with Arm (lbs.)	EPA with Arm (Sq. Ft.)
1-4	15-1/2" (393mm)	7"	10" (254mm)	28 (12.7 kg)	0.72
5-8	21-5/8" (549mm)	7"	10" (254mm)	38 (16.3 kg)	0.77
9-8	21-5/8" (549mm)	7"	16" (406mm)	43 (19.5 kg)	0.95
9-10	33-3/4" (857mm)	7"	16" (406mm)	49 (22.2 kg)	1.13

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° or at single pole. 2. EPA calculated with optional arm length.

#### DRILLING PATTERN



#### TYPE "A"

#### CERTIFICATION DATA

30 Vibration Rated  
IP66 Rated  
RO 3001  
LM79 LM80 Compliant  
UL/ULC Wet Location Listed

#### ENERGY DATA

Electronic LED Driver  
+0.9 Power Factor  
+20% Total Harmonic Distortion  
120V/277V 50/60Hz  
347V, 480V 60Hz  
40°C Min. Temperature  
60°C Max. Temperature

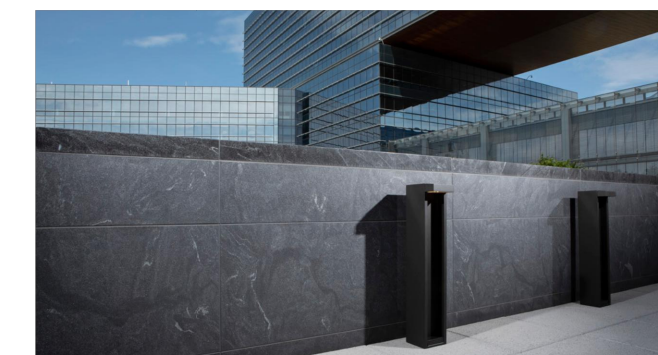
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November 19, 2021 8:56 AM

### TYPE B BOLLARD

## Profile Bollard

Product Data Sheet | BW100

landscape forms



The Profile family of lights creates beautiful and intentional light emanating from a refined, minimalist design. Shadows from Profile's 1-beam channels and modular design build a light experience like no other, creating cohesiveness between the sculptural form and the play of light upon the object and its surroundings. Profile features a palette of configurable options that creates an aesthetic and performance to fit a variety of applications - from large, open areas and narrow pathways to landscape beds and building entrances.

#### Housing & Materials

One-piece welded pole made from hollow extruded aluminum "H" section with machined aluminum top and base plates. Cast aluminum base plate cover with hidden fasteners.

#### Electrical

Surge protected 120V through 277V 50/60Hz electronic driver, phase-out dimming -40°C start temperature. Cast aluminum driver compartment doors with weather-tight seal assembly located at bottom of pole.

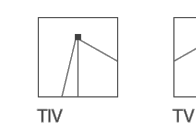
#### Light Engines

The Profile performance bollard has a replaceable LED cartridge that consists of die cast aluminum body with high power LEDs on RoHS compliant circuit board, secondary optics, and injection molded cutoff baffle. Sealed, UV stable, impact modified clear acrylic lens. Unit mounts to pole with magni-coated hardware.

The Profile wayfinding bollard has a replaceable LED cartridge that consists of die cast aluminum body with high power LEDs on RoHS compliant circuit board, secondary optics, and injection molded cutoff baffle. Sealed, UV stable, impact modified clear acrylic lens. Unit mounts to pole with magni-coated hardware.

All lighting engines are available in 2700K, 3000K, 3500K, and 4000K >80CRI across all available color temperatures.

#### Distributions



Performance bollard only.

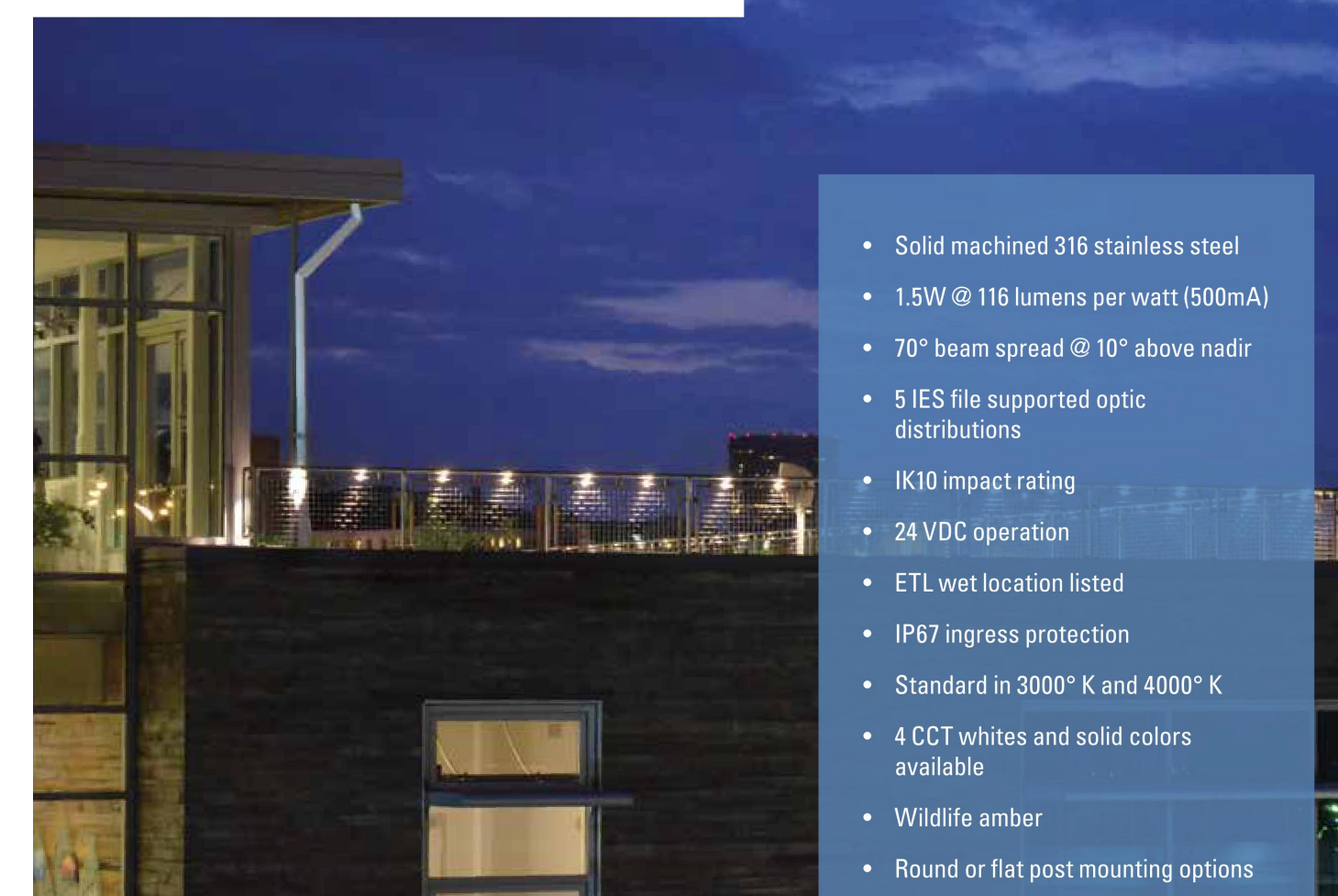
1 Revised October 28, 2021 | Landscape Forms Inc. | 800.521.2546 | F 269.381.3455 | 7800 E. Michigan Ave., Kalamazoo, MI 49048

### TYPE C RAILING

## BANTAM™

ANOTHER LUMENRAIL® COMPONENT FOR LIFE SAFETY AND LIGHT.

This post mount luminaire is designed for wall grating and pathway illumination with mounting options for railings, walls, decks, and entry structures. Superior harsh environment protection and vandal resistance are combined with a simple field or factory prepared installation using included 316 stainless steel hardware. The Bantam provides an inconspicuous architectural solution for new or retrofit applications and egress compliance opportunities.



- Solid machined 316 stainless steel
- 1.5W @ 116 lumens per watt (500mA)
- 70° beam spread @ 10° above nadir
- 5 IES file supported optic distributions
- IK10 impact rating
- 24 VDC operation
- ETL wet location listed
- IP67 ingress protection
- Standard in 3000° K and 4000° K
- 4 CCT whites and solid colors available
- Wildlife amber
- Round or flat post mounting options

WAGNER ARCHITECTURAL SYSTEMS

Specifications may change without prior notice, verify data at time of order, all rights reserved

### TYPE D SPOT

#### DESCRIPTION

Combining value and performance in a unique, patent-pending durable design, the Tracer LED floodlight luminaire delivers superior uniformity and excellent illumination to the targeted application. The rugged, die-cast housing is IP66 rated for exceptional durability and long-term reliability. The Tracer floodlight provides design flexibility for applications such as landscape, accent, facade, or sign lighting.

Catalog #	Type
Project	
Comments	Date
Prepared by	

#### SPECIFICATION FEATURES

**Construction**  
Heavy-duty, die-cast aluminum housing provides durability and an IP66 rating to protect against moisture and contaminants. Clear tempered glass lens protects optics and encloses the front cover of the luminaire.

**Optics**  
The discrete LED optics provide illumination that has been precisely designed to shape the distribution as spot, medium, or wide. Multiple lumen packages ranging from 550 up to 2,900 lumens. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 5000K CCT or 3000K CCT available. Removable, pre-installed standard symmetric snoot as well included and field-replaceable with included extended visor for more out-of-application.

**Electrical**  
LED driver is internally mounted for optimal heat sinking. 120-277V 50/60Hz standard operation. Integral 4KV surge is standard. 0-10V dimming is standard with external purple and grey leads. Suitable for ambient temperatures from -40°C to 40°C. 90% lumens maintenance greater than 60,000 hours per IESNA TM-21.

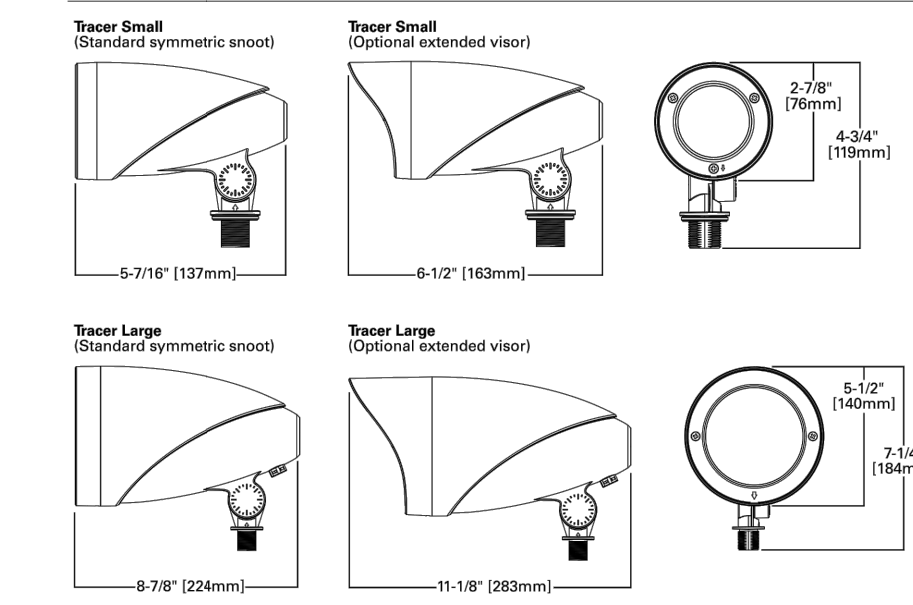
**Mounting**  
Heavy-duty, die-cast aluminum knuckle base utilizes tooth-lock adjustment with visual 15° adjustment indicators that allow for precise rotation of the luminaire. Knuckle fits 1/2" NPS available mounting junction box cover (supplied by others) and is secured with supplied locking nut.

**Finish**  
Housing and cast parts finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard color is carbon bronze. Additional colors available in summit white, black, and verde green. Consult your lighting representative at Cooper Lighting Solutions for a complete selection of standard colors.

**Warranty**  
Five-year warranty.



#### DIMENSIONS



### TCRS / TCRL TRACER

Solid State LED

FLOODLIGHT



**CERTIFICATION DATA**  
UL/ULC Wet Location Listed  
DesignLights Consortium® Qualified\*  
IP66 Fixture and Optical Chamber  
LM79/LM80 Compliant  
ICC Class A  
1.5G Vibration Rated  
RoHS Compliant

**ENERGY DATA**  
Electronic LED Driver  
+0.9 Power Factor  
+20% Total Harmonic Distortion  
-40°C Min. Ambient Temperature Rating  
+60°C Max. Ambient Temperature Rating

**EPA**  
Effective Projected Area (Sq. Ft.): 1.55

**SHIPPING DATA**  
Approximate Net Weight:  
Small fixture=2 lbs. (0.91kg.)  
Large fixture=6 lbs. (2.72kg.)

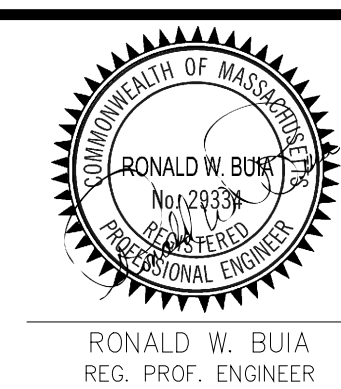
1100006EN  
September 30, 2019 9:40 AM

## Ronald W. Buia, Inc.

Electrical Engineers

5 Tilton Lane, Andover, MA 01810  
TEL: 978.475.5184 BUAIENGINEERING.COM

1/26/2022	RWB	△	ISSUED FOR PERMITTING
DATE	BY	REV#	REVISIONS



### BLINDEN ENGINEERING PARTNERS LLC

100 TradeCenter Suite G700  
Woburn, MA 01801-1851  
Tel: (781) 933-3711  
Fax: (781) 287-1277

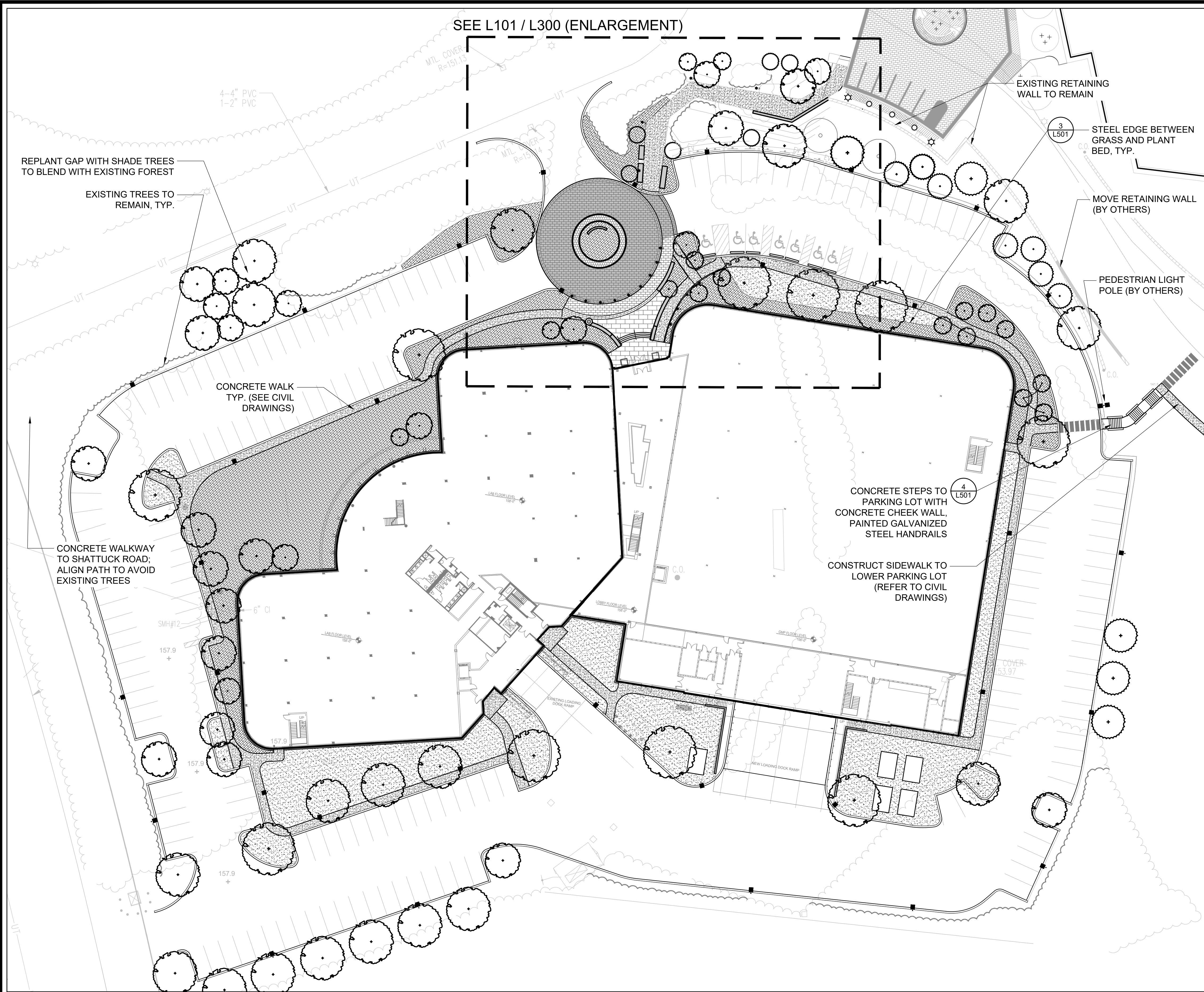
Civil - Environmental Engineering including Storm water, Wastewater, Water Supply, Highway & Infrastructure Design, Land Planning, Land Subdivision, Site Design, Environmental Permitting, Wetlands Permitting & Land Development Permitting

PREPARED FOR:  
IQHQ-1 CORPORATE, LLC AND IQHQ-4 CORPORATE, LLC  
ATTN: MR. WILLIAM ASHTON  
ONE BOSTON PLACE, 201 WASHINGTON STREET, SUITE 3920  
BOSTON, MASSACHUSETTS 02108  
TEL: (617) 314-7951

SITE LIGHTING FIXTURES  
PROPOSED RENOVATION AND ADDITION  
ONE AND FOUR CORPORATE DRIVE  
ANDOVER, MASSACHUSETTS

SHEET  
SL-4

1/21/2022 2:06:28 PM - T:12135 1 CORPORATE DRIVE ANDOVER W ELLENZWEIG-HOHO CONSTRUCTION DRAWINGS CURRENT CWDG DRAWINGS 1 CORPORATE PLANS.DWG - ANDREW LOUW



### LANDSCAPE MATERIAL NOTES

1. THE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS TO DETERMINE THE TOTAL SCOPE OF WORK AND ALL REQUIRED COORDINATION.
2. THE CONTRACTOR IS RESPONSIBLE FOR A THOROUGH SITE EXAMINATION TO SATISFY HIM OR HERSELF AS TO THE ACTUAL SITE CONDITIONS BEFORE SUBMISSION OF BIDS.
3. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
4. CONTRACTOR SHALL ARRANGE PRE-INSTALLATION CONFERENCES AT PROJECT SITE FOR STONE WALLS AND PAVEMENT WORK. ATTENDEES SHALL INCLUDE OWNER'S REPRESENTATIVE, LANDSCAPE ARCHITECT, GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS DIRECTLY CONCERNED WITH THE WORK.
5. CONTRACTOR SHALL PREPARE SUBMITTALS TO THE LANDSCAPE ARCHITECT FOR ALL COMPONENTS OF THE FINISHED WORK, INCLUDING SHOP DRAWINGS, PRODUCT DATA, MATERIAL CERTIFICATIONS, MIX DESIGNS AND SAMPLES.
6. CONTRACTOR SHALL FURNISH AND INSTALL CONSTRUCTED SAMPLES (MOCK-UPS) DEMONSTRATING ALL COMPONENTS OF THE DESIGN, INCLUDING FINISHED EXPOSED EDGES AND SURFACES, COLORS AND JOINTING FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTING FINAL WORK. MOCK-UPS MAY BE PART OF THE FINAL CONSTRUCTION. MOCK-UPS SHALL BE MAINTAINED AND PROTECTED THROUGHOUT THE DURATION OF THE PROJECT AND WILL SERVE AS PROJECT STANDARD. CONTRACTOR SHALL DEMOLISH AND RECONSTRUCT MOCK-UP UNTIL APPROVAL FROM LANDSCAPE ARCHITECT. MOCK-UPS SHALL INCLUDE: ONE FULL HEIGHT AND WIDTH BY 6' LONG STONE WALL SECTION AND ONE 8' X 6' PANEL OF EXPOSED AGGREGATE CONCRETE PAVEMENT.
7. THE DIMENSIONS OF PAVEMENT JOINTS AS SHOWN ON THE DRAWINGS ARE TO THE CENTER LINE OF EACH TYPE OF JOINT EXCEPT WHERE PAVEMENT MEETS A VERTICAL FACE; AT THIS LOCATION DIMENSIONS ARE TO THE VERTICAL FACE. THE DIMENSIONS SHOWN ON DRAWINGS SHOW DESIGN INTENT AND MUST BE FIELD VERIFIED PRIOR TO PREPARATION OF SHOP DRAWINGS. ALL ALIGNMENTS SHALL BE INSTALLED AS SHOWN.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING THE LOCATIONS OF ALL EXISTING SITE ELEMENTS TO BE RESET IN THEIR SAME HORIZONTAL LOCATION.
9. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE INSIDE OR OUTSIDE OF LIMIT OF WORK LINE DUE TO HIS/HER CONSTRUCTION OPERATIONS.
10. STORAGE AREAS FOR THE GENERAL CONTRACTOR'S EQUIPMENT AND MATERIALS SHALL BE LOCATED WITHIN THE LIMITS OF WORK AS APPROVED BY THE LANDSCAPE ARCHITECT.
11. WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING WITH NEW CONSTRUCTION.
12. AT ALL LOCATIONS WHERE EXISTING BITUMINOUS CONCRETE PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN SMOOTH EDGE.

### MATERIALS LEGEND

	PEDESTRIAN DEPTH CONCRETE PAVEMENT - SEE CIVIL DRAWINGS	
	PEDESTRIAN CONC. UNIT PAVERS	
	VEHICULAR CONC. UNIT PAVERS	
	GRANITE COBBLE PAVERS	
	GRANITE UNIT PAVERS	
	SEEDED LAWN	
	PLANTING AREA - SEE PLANTING PLAN	
	PROPOSED TREE - SEE PLANTING PLAN	
	LIGHTED BOLLARD BY OTHERS	
	PEDESTRIAN LIGHT POLE BY OTHERS	

PREPARED BY:  
 Copley Wolff Design Group  
 Landscape Architects & Planners  
 www.copley-wolff.com

PROJECT NAME / CLIENT:  
**ONE CORPORATE DRIVE**  
 ANDOVER, MA 01810  
 PERMIT SET

CWDG PROJECT NUMBER: 2135  
 ISSUANCES:

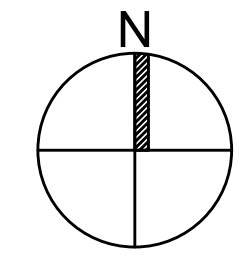
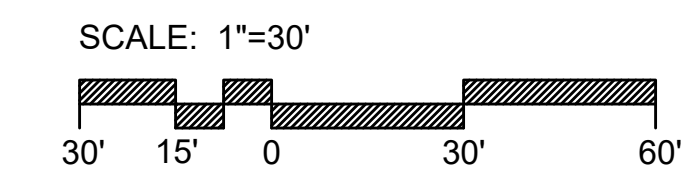
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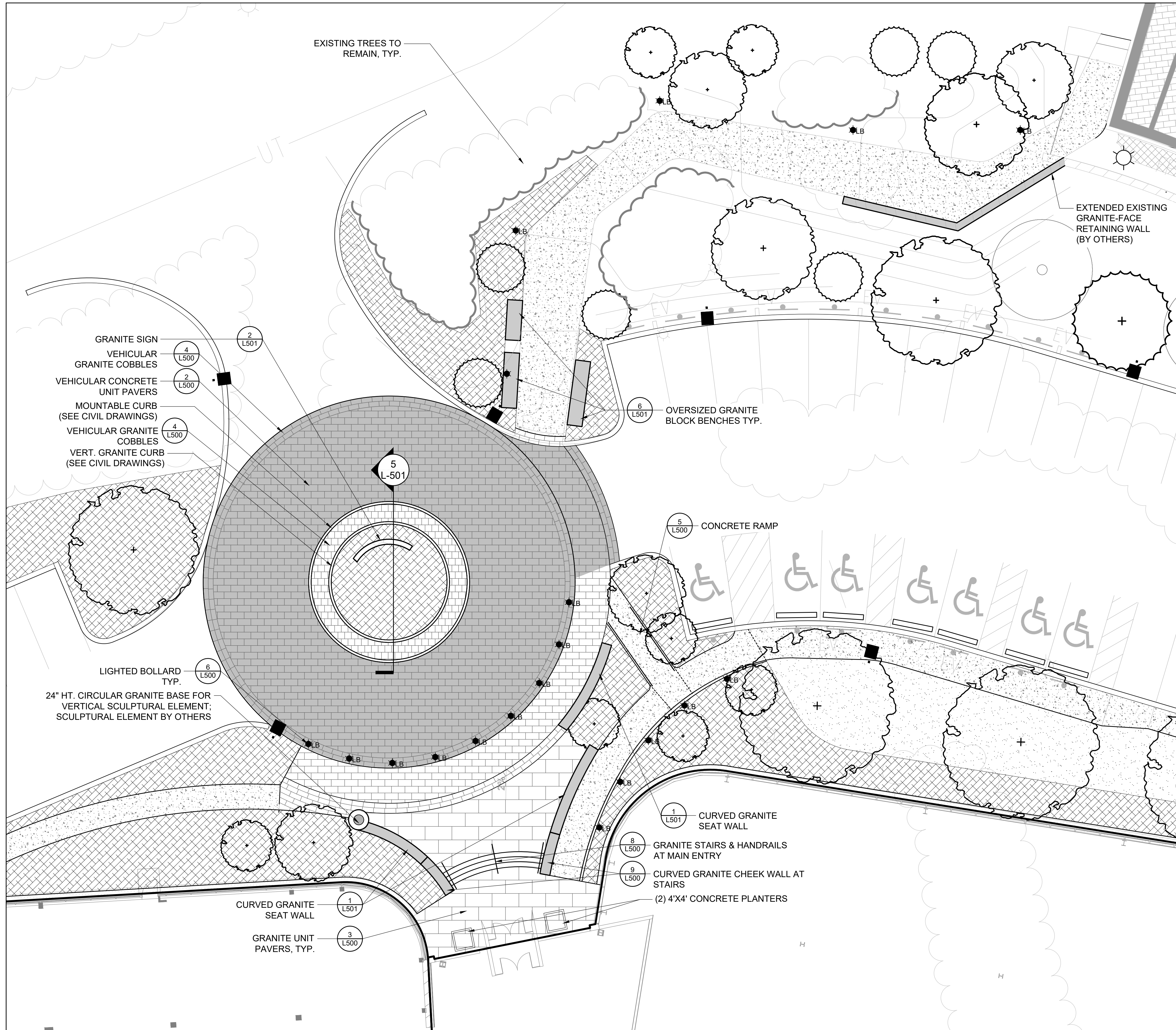
DRAWING TITLE:  
**MATERIAL PLAN**

DRAWN BY: AL  
 CHECKED BY: JM  
 SCALE: 1" = 30'  
 DATE: 01.26.2022

DRAWING NUMBER:  
**L-100**



1/21/2022 2:06:30 PM - T:12135 1 CORPORATE DR ANDOVER W ELLENZWEIG-HOHOCONSTRUCTION DRAWINGS\CURRENT\CWDG DRAWINGS\1\CORPORATE\_PLANS.DWG - ANDREW LOUW



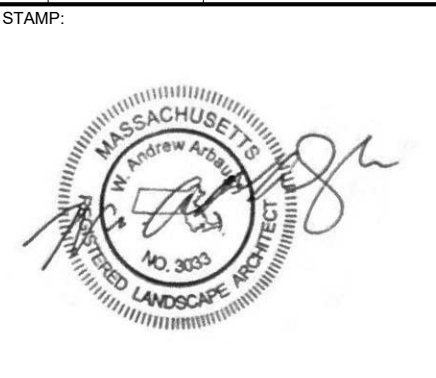
### LANDSCAPE MATERIAL NOTES

1. THE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS TO DETERMINE THE TOTAL SCOPE OF WORK AND ALL REQUIRED COORDINATION.
2. THE CONTRACTOR IS RESPONSIBLE FOR A THOROUGH SITE EXAMINATION TO SATISFY HIM OR HERSELF AS TO THE ACTUAL SITE CONDITIONS BEFORE SUBMISSION OF BIDS.
3. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
4. CONTRACTOR SHALL ARRANGE PRE-INSTALLATION CONFERENCES AT PROJECT SITE FOR STONE WALLS AND PAVEMENT WORK. ATTENDEES SHALL INCLUDE OWNER'S REPRESENTATIVE, LANDSCAPE ARCHITECT, GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS DIRECTLY CONCERNED WITH THE WORK.
5. CONTRACTOR SHALL PREPARE SUBMITTALS TO THE LANDSCAPE ARCHITECT FOR ALL COMPONENTS OF THE FINISHED WORK, INCLUDING SHOP DRAWINGS, PRODUCT DATA, MATERIAL CERTIFICATIONS, MIX DESIGNS AND SAMPLES.
6. CONTRACTOR SHALL FURNISH AND INSTALL CONSTRUCTED SAMPLES (MOCK-UPS) DEMONSTRATING ALL COMPONENTS OF THE DESIGN, INCLUDING FINISHED EXPOSED EDGES AND SURFACES, COLORS AND JOINTING FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTING FINAL WORK. MOCK-UPS MAY BE PART OF THE FINAL CONSTRUCTION. MOCK-UPS SHALL BE MAINTAINED AND PROTECTED THROUGHOUT THE DURATION OF THE PROJECT AND WILL SERVE AS PROJECT STANDARD. CONTRACTOR SHALL DEMOLISH AND RECONSTRUCT MOCK-UP UNTIL APPROVAL FROM LANDSCAPE ARCHITECT. MOCK-UPS SHALL INCLUDE: ONE FULL HEIGHT AND WIDTH BY 6' LONG STONE WALL SECTION AND ONE 6' X 6' PANEL OF EXPOSED AGGREGATE CONCRETE PAVEMENT.
7. THE DIMENSIONS OF PAVEMENT JOINTS AS SHOWN ON THE DRAWINGS ARE TO THE CENTER LINE OF EACH TYPE OF JOINT EXCEPT WHERE PAVEMENT MEETS A VERTICAL FACE; AT THIS LOCATION DIMENSIONS ARE TO THE VERTICAL FACE. THE DIMENSIONS SHOWN ON DRAWINGS SHOW DESIGN INTENT AND MUST BE FIELD VERIFIED PRIOR TO PREPARATION OF SHOP DRAWINGS. ALL ALIGNMENTS SHALL BE INSTALLED AS SHOWN.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING THE LOCATIONS OF ALL EXISTING SITE ELEMENTS TO BE RESET IN THEIR SAME HORIZONTAL LOCATION.
9. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE INSIDE OR OUTSIDE OF LIMIT OF WORK LINE DUE TO HIS/HER CONSTRUCTION OPERATIONS.
10. STORAGE AREAS FOR THE GENERAL CONTRACTOR'S EQUIPMENT AND MATERIALS SHALL BE LOCATED WITHIN THE LIMITS OF WORK AS APPROVED BY THE LANDSCAPE ARCHITECT.
11. WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING WITH NEW CONSTRUCTION.
12. AT ALL LOCATIONS WHERE EXISTING BITUMINOUS CONCRETE PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN SMOOTH EDGE.

### MATERIALS LEGEND

	PEDESTRIAN DEPTH CONCRETE PAVEMENT - SEE CIVIL DRAWINGS	
	PEDESTRIAN CONC. UNIT PAVERS	(1 L500)
	VEHICULAR CONC. UNIT PAVERS	(2 L500)
	GRANITE COBBLE PAVERS	(4 L500)
	GRANITE UNIT PAVERS	(3 L500)
	SEEDED LAWN	(5 L502)
	PLANTING AREA - SEE PLANTING PLAN	
	PROPOSED TREE - SEE PLANTING PLAN	
	LIGHTED BOLLARD BY OTHERS	
	PEDESTRIAN LIGHT POLE BY OTHERS	

REV #	DATE	DESCRIPTION

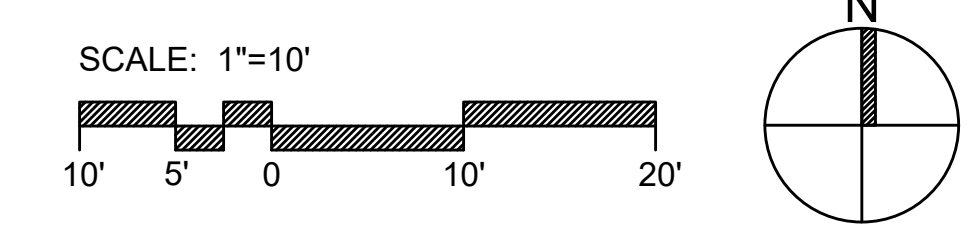


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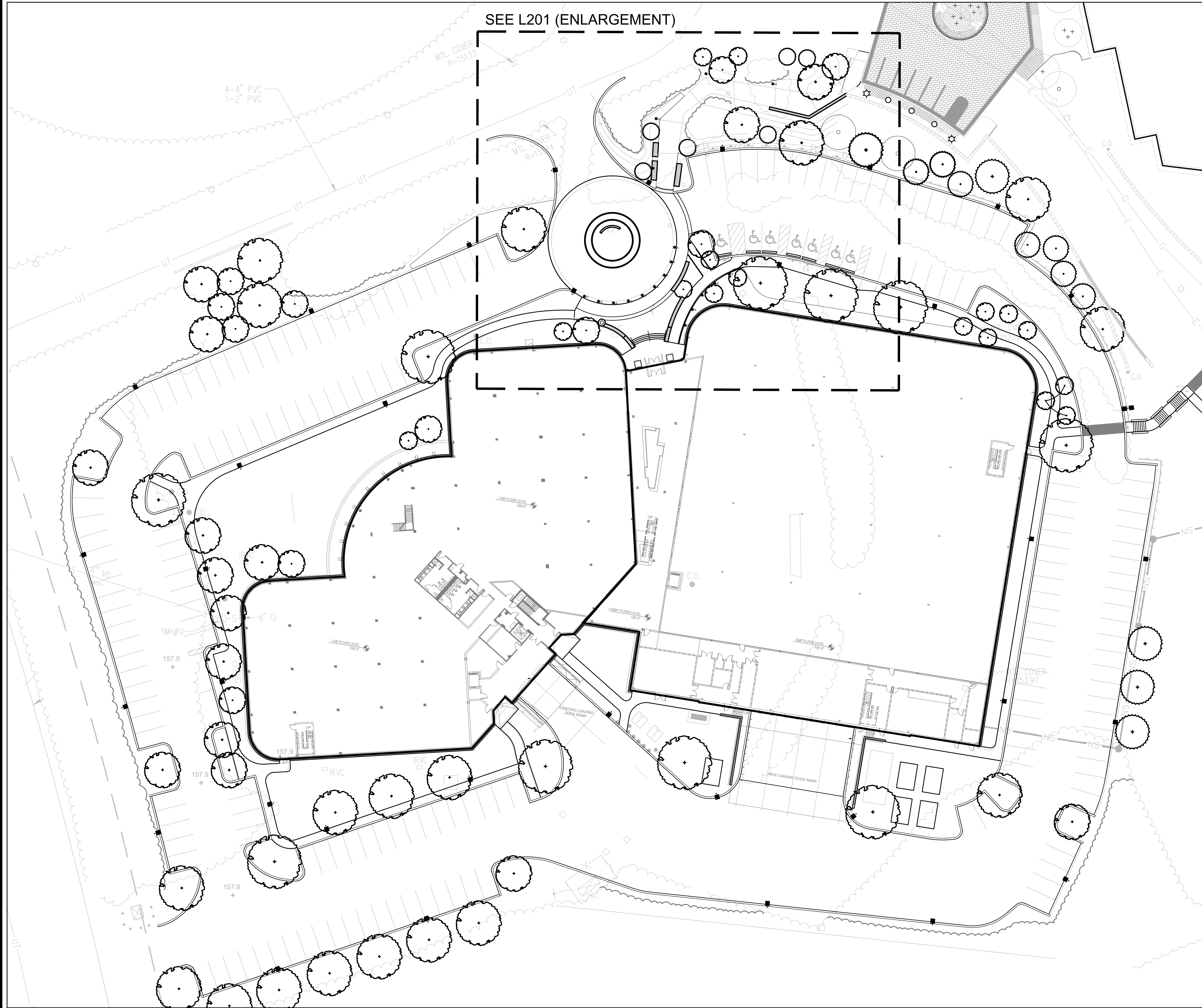
DRAWN BY: AL  
 CHECKED BY: JM  
 SCALE: 1" = 10'  
 DATE: 01.26.2022

DRAWING NUMBER:

**L-101**



SEE L201 (ENLARGEMENT)

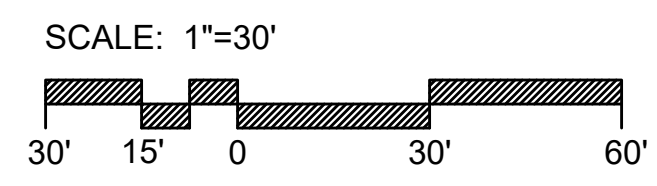


**LANDSCAPE LAYOUT NOTES**

1. THE SITE PLAN IS BASED ON EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS. COPLEY WOLFF DESIGN GROUP IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THIS INFORMATION.
2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY AND ALL DISCREPANCIES TO THE OWNER'S REPRESENTATIVE. ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD SHALL BE PROMPTLY REPORTED BY THE CONTRACTOR TO THE OWNER'S REPRESENTATIVE AND RECORDED ON RECORD DRAWINGS.
2. CONSULT ALL DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BETWEEN ALL TRADES PRIOR TO COMMENCING NEW CONSTRUCTION.
3. THE CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY AND ALL CONFLICTS BETWEEN PROPOSED SITE WORK AND WORK OF ALL OTHER TRADES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE INSIDE AND OUTSIDE THE LIMIT OF WORK LINE DUE TO CONTRACT OPERATIONS. CONTRACTOR SHALL RESTORE DAMAGED AREAS BEYOND CONTRACT LIMITS TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
5. THE CONTRACTOR SHALL CONTACT THE PROPER AUTHORITIES IN WRITING TO CONFIRM THE LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO THE FAILURE OF THE CONTRACTOR TO CONTACT AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR. THE CONTRACTOR SHALL REPAIR ANY DAMAGE INCURRED DURING CONSTRUCTION TO EXISTING UTILITIES SCHEDULED TO REMAIN AT NO COST TO THE OWNER.
6. EXISTING STRUCTURES, IMPROVEMENTS, APPURTANCES AND VEGETATION TO REMAIN SHALL BE PROTECTED FROM DAMAGE. ANY DAMAGE TO EXISTING SITE IMPROVEMENTS TO REMAIN SHALL BE REPAIRED AT NO COST TO THE OWNER.
7. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF PERMITS AND LICENSES ISSUED BY COGNIZANT FEDERAL, STATE, AND LOCAL AGENCIES.
8. THE CONTRACTOR SHALL COORDINATE ALL SITE UTILITY IMPROVEMENTS WITH PROPER AUTHORITIES.
9. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING ALL LINES, GRADES, AND OTHER SURVEY CONTROL TO COMPLETE THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND PROTECTION OF THE SURVEY CONTROL REFERENCE POINTS AND LOCATION STAKES. THE CONTRACTOR SHALL EMPLOY A MASSACHUSETTS-LICENSED REGISTERED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER, FAMILIAR WITH BUILDING CONSTRUCTION, WHO SHALL ESTABLISH LINES AND LEVELS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT LOCATION OF THE PROPOSED SITE FEATURES.
11. DIMENSIONS ARE APPROXIMATE BASED ON TAKE OFF FROM SURVEY. ACTUAL DIMENSIONS MAY VARY. NOTIFY THE OWNER'S REPRESENTATIVE IN THE EVENT OF DIMENSIONAL DISCREPANCIES.
12. THE CONTRACTOR TO STAKE OUT LAYOUT FOR APPROVAL PRIOR TO EXCAVATION.
13. THE CONTRACTOR SHALL PREPARE SAMPLE PANELS FOR EACH PAVING TYPE FOR APPROVAL OF WORKMANSHIP, FINISHES, COLORS, AND JOINTING PRIOR TO FINAL INSTALLATION.
14. SEE LANDSCAPE ARCHITECTURAL PLANS FOR LAYOUT OF MATERIALS AND SITE IMPROVEMENTS AND SEE CIVIL DRAWINGS FOR GRADING, DRAINAGE, UTILITIES, AND PARKING AND CURB LAYOUT.
15. LANDSCAPE LAYOUT DRAWINGS ARE NOT TO BE USED FOR LAYOUT OF THE BUILDING ON THE SITE.

**LAYOUT LEGEND**

- POB POINT OF BEGINNING
- CENTERLINE FOR LAYOUT
- R 5 5'-0" RADIUS
- CENTER LINE OF OBJECT
- VIF VERIFY DIMENSION IN FIELD
- EQ EQUAL
- ALIGN EDGES OR FACES

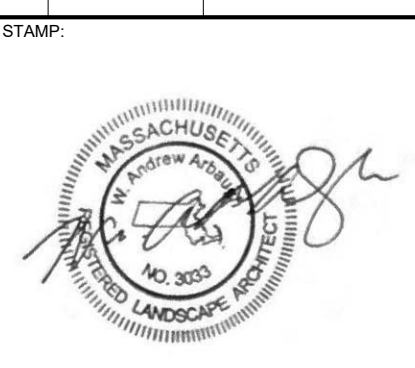


PREPARED BY:  
 Copley Wolff Design Group  
 Landscape Architects & Planners  
 www.copley-wolff.com

PROJECT NAME / CLIENT:  
**ONE CORPORATE DRIVE**  
 ANDOVER, MA 01810  
 PERMIT SET

CWDG PROJECT NUMBER: 2135  
 ISSUANCES:

REV #	DATE	DESCRIPTION



DRAWING TITLE:  
**LAYOUT PLAN**

DRAWN BY: AL  
 CHECKED BY: JM  
 SCALE: 1" = 30'  
 DATE: 01.26.2022

DRAWING NUMBER:  
**L-200**

1/21/2022 2:06:35 PM - T:12135 1 CORPORATE DR ANDOVER W ELLENZWEIG-HOHO CONSTRUCTION DRAWINGS\CURRENT\CWDG DRAWINGS\1\CORPORATE\_PLANS.DWG - ANDREW LOUW

1/21/2022 2:06:40 PM - T:\2135 1 CORPORATE DR ANDOVER W ELLENZWEIG-HOHO CONSTRUCTION DRAWINGS\CURRENT CWDG DRAWINGS\1\CORPORATE\_PLANS.DWG - ANDREW LOUW

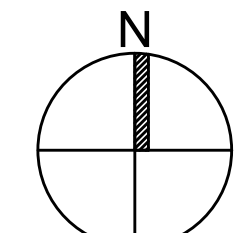
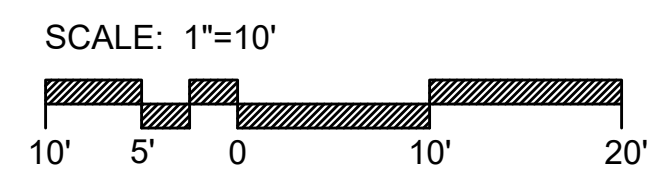


### LANDSCAPE LAYOUT NOTES

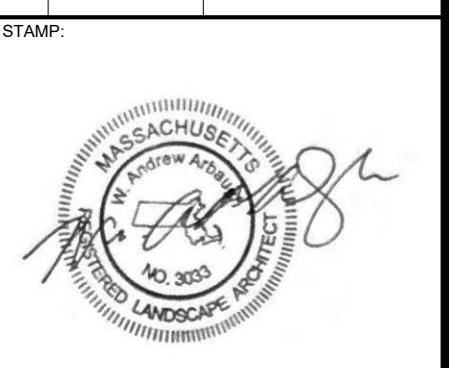
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### LAYOUT LEGEND

- POINT OF BEGINNING
- CENTERLINE FOR LAYOUT
- 5'-0" RADIUS
- CENTER LINE OF OBJECT
- VERIFY DIMENSION IN FIELD
- EQUAL
- ALIGN EDGES OR FACES



REV #	DATE	DESCRIPTION

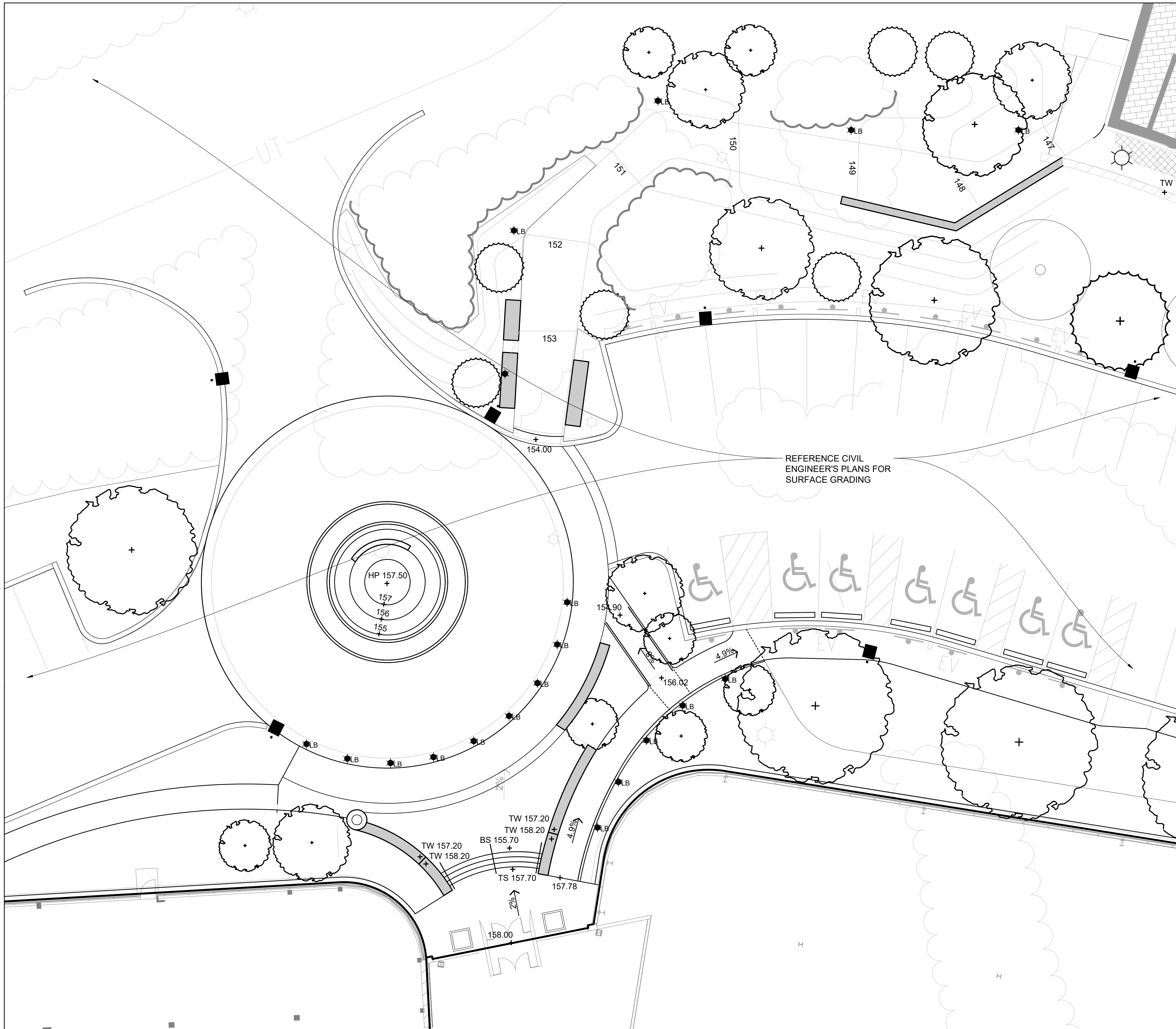


DRAWING TITLE:  
**LAYOUT PLAN**

DRAWN BY: AL  
 CHECKED BY: JM  
 SCALE: 1" = 10'  
 DATE: 01.26.2022

DRAWING NUMBER:  
**L-201**

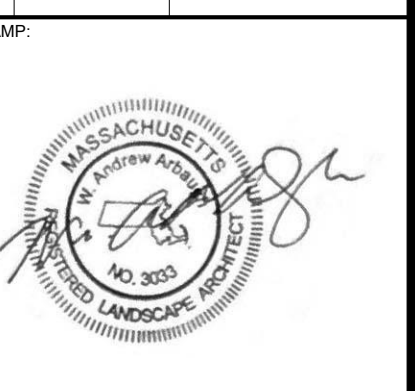
1/21/2022 2:06:45 PM - T:\2135 1 CORPORATE DR ANDOVER W ELLENZWEIG-HOHO CONSTRUCTION DRAWINGS\CURRENT CWDG DRAWINGS\1\CORPORATE\_PLANS.DWG - ANDREW LOUW



### LANDSCAPE GRADING NOTES

1. SEE CIVIL ENGINEERING PLANS FOR FINAL GRADING.
2. PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVING AREAS MUST PITCH TO DRAIN AT MIN. PITCH OF 1/8" PER FOOT UNLESS OTHERWISE SHOWN. REPORT ANY DISCREPANCIES BETWEEN EXISTING AND PROPOSED SPOT GRADES THAT DO NOT PITCH ACCORDINGLY TO THE LANDSCAPE ARCHITECT BEFORE COMMENCING WORK.
3. WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING SMOOTHLY WITH NEW CONSTRUCTION.
4. EXCAVATION ADJACENT TO EXISTING AND PROPOSED UTILITY LINES AND EXISTING TREES SHALL BE DONE BY HAND. CONTRACTOR SHALL PROTECT ALL EXPOSED UTILITIES.
5. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES, EXISTING STRUCTURES, IMPROVEMENTS, APPURTENANCES AND VEGETATION TO REMAIN. THE CONTRACTOR SHALL REPAIR ANY DAMAGE INCURRED AT NO COST TO OWNER.
6. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF PERMITS AND LICENSEES ISSUED BY THE FEDERAL, STATE AND LOCAL AGENCIES (SEE SPECS).
7. THE CONTRACTOR SHALL COORDINATE ALL SITE UTILITY IMPROVEMENTS WITH THE PROPER AUTHORITIES.
8. MAINTAIN A MAXIMUM OF 1.8% CROSS SLOPE ON ALL PAVED SURFACES, UNLESS OTHERWISE NOTED.
9. ALL MANHOLES, DRAINAGE STRUCTURES, STEAM MANHOLES, ELECTRIC MANHOLE FRAMES AND COVERS WITHIN THE PROJECT WORK AREA SHALL BE ADJUSTED TO FINISH GRADES UNLESS OTHERWISE NOTED.
10. SEE CIVIL ENGINEER'S DRAWINGS FOR GRADING IN VEHICULAR AREAS, SIDEWALKS, AND ACCESSIBLE CURB RAMPS.

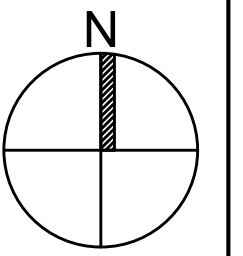
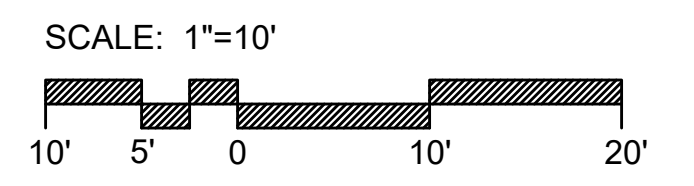
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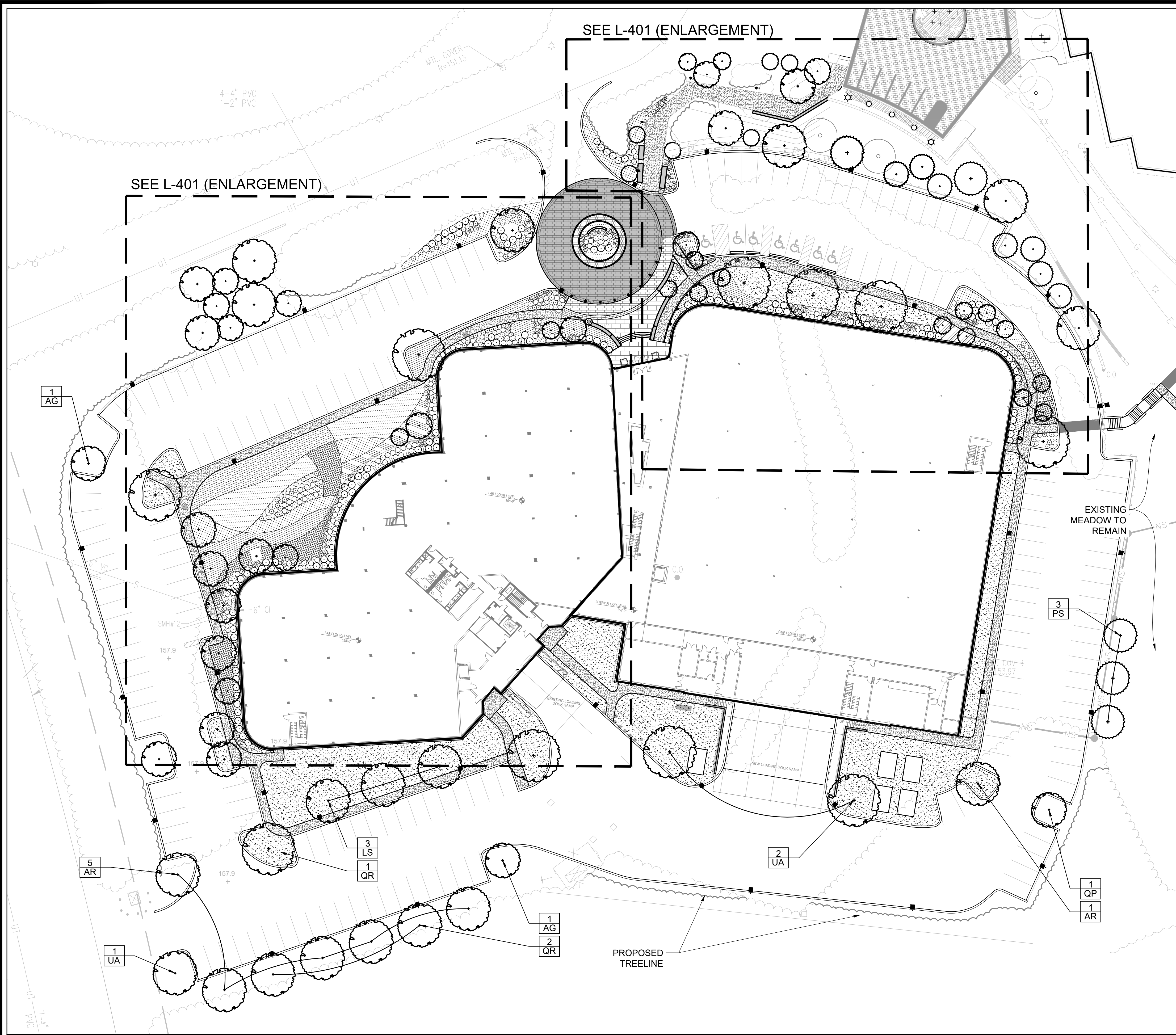
DRAWING TITLE:  
**GRADING PLAN**

DRAWN BY: AL  
 CHECKED BY: JM  
 SCALE: 1" = 10'  
 DATE: 01.26.2022

DRAWING NUMBER:  
**L-300**



1/21/2022 2:06:51 PM - T:\12135 - 1 CORPORATE DR ANDOVER W ELLENZWEIG-HOHO CONSTRUCTION DRAWINGS\CURRENT\CWDG DRAWINGS\1\CORPORATE\_PLANS.DWG - ANDREW LOUW



### PLANTING AND SOIL NOTES

- IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE PLANT LIST, THE PLANTING PLAN SHALL GOVERN.
- ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. IN ADDITION, ALL NEW PLANT MATERIAL FOR THE PROJECT SHALL BE OF SPECIMEN QUALITY.
- THE LANDSCAPE ARCHITECT SHALL ONLY REVIEW TREES THAT ARE IN THE GROUND AT THE NURSERY. NO PRE-DUG TREES WILL BE ACCEPTED. THEREFORE TIMING OF IN-GROUND REVIEWS MUST BE COORDINATED WITH EXPECTED INSTALLATION DATES.
- ALL NEW PLANTS TO BE BALLED & BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE NOTED ON THE PLANT LIST.
- THE CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL NEW PLANTS SHALL BE TAGGED AND APPROVED BY THE LANDSCAPE ARCHITECT AT THE NURSERY PRIOR TO DIGGING OR DELIVERY TO THE SITE.
- CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND SHALL REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT.
- STAKE LOCATION OF ALL PROPOSED PLANTING FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF PLANTING.
- NEW SHRUBS AND GROUND COVER SHALL BEAR THE SAME RELATIONSHIP TO GRADE AS IT BORE TO PREVIOUS GRADE. TREES SHALL BE SET 3" HIGHER THAN PREVIOUS GRADE. NO TREES SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING.
- ALL PLANT BEDS TO RECEIVE UN-DYED, AGED AND SHREDDED BARK MULCH AS PER SPECIFICATIONS.
- ALL EXISTING TREES TO REMAIN SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. PROTECTION TECHNIQUES SHALL BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT.
- PRUNE TREES IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED BY CONTRACTOR UNTIL FINAL ACCEPTANCE AND GUARANTEED FOR 1 CALENDAR YEAR.
- CONFIRM ALL QUANTITIES AGAINST PLANTING PLANS, GRADING PLANS, AND SPECIFICATIONS, INCLUDING SITE DISTURBANCE OUTSIDE OF THE LIMIT OF GRADING NECESSITATED TO FACILITATE CONSTRUCTION.
- WHERE ONE SOIL TYPE MEETS ANOTHER SOIL TYPE, FORM A 1:1 SLOPED BOUNDARY TRANSITION.
- WHERE A SOIL PROFILE ENCLOSES WITHIN THE DRIP LINE OF EXISTING TREES, CONSULT WITH LANDSCAPE ARCHITECT PRIOR TO COMMENCING EXCAVATION.
- ALL EXCAVATION AND PLACEMENT OF SOILS WITHIN THE DRIP LINE OF EXISTING TREES TO BE PERFORMED BY HAND.
- SCARIFY SUBGRADE AS SPECIFIED BEFORE PLACEMENT OF ANY PLANTING SOILS.
- DO NOT PLACE OR HANDLE SOILS THAT ARE WET.
- PROTECT ALL EXISTING SOILS AGAINST COMPACTION, CONTAMINATION WITH CONSTRUCTION MATERIALS, AND ALL DISTURBANCE.
- CONTRACTOR IS RESPONSIBLE FOR ACTUAL SITE CONDITIONS, COORDINATION OF SOILS PLACEMENT, AND PLANTING SUBDRAINAGE.
- DO NOT PLACE ANY PLANTING SOIL PRIOR TO INSPECTION BY LANDSCAPE ARCHITECT.

### PLANTING SCHEDULE

Symbol	Qty	Botanical Name	Common Name	Size	Root / Cont.	Comments
<b>Deciduous Trees</b>						
AA	7	Amelanchier arborea	Serviceberry	8'-10' ht.	B&B	Multi-stem
AG	15	Amelanchier x grandiflora 'Robin Hill'	Robin Hill Serviceberry	2'-2.5' cal	B&B	
AR	8	Acer rubrum 'October Glory'	October Glory Red Maple	3'-3.5' cal	B&B	Limbed to 7', Matched
BP	6	Betula populifolia 'Whitespire'	Whitespire Gray Birch	14'-16' ht.	B&B	Multi-stem
LS	4	Liquidambar styraciflua 'Happidaze'	American Sweetgum	3'-3.5' cal	B&B	Limbed to 7', Matched
CC	3	Carpinus caroliniana 'Palisade'	American Hornbeam	3'-3.5' cal	B&B	
QPG	4	Quercus palustris 'Green Pillar'	Columnar Pin Oak	3'-3.5' cal	B&B	Limbed to 7', Matched
QP	4	Quercus palustris	Pin Oak	3'-3.5' cal	B&B	Limbed to 7', Matched
QR	3	Quercus rubra	Red Oak	3'-3.5' cal	B&B	Limbed to 7', Matched
UA	3	Ulmus americana 'Jefferson'	Jefferson Elm	3'-3.5' cal	B&B	Limbed to 7', Matched
<b>Evergreen Trees</b>						
AB	3	Abies balsamea	Balsam Fir	8-10' ht.	B&B	Full to base
PA	7	Picea abies	Norway Spruce	8-10' ht.	B&B	Full to base
PS	4	Pinus strobus	White Pine	8-10' ht.	B&B	Full to base
<b>Shrubs</b>						
CAS	63	Clethra alnifolia 'Sixteen Candles'	Sixteen Candles Summersweet	18"-24" ht.	#2 Cont.	
CSF	35	Cornus sericea 'Farrow'	Arctic Fire Dogwood	18"-24" ht.	#2 Cont.	
HQA	23	Hydrangea quercifolia	Oakleaf Hydrangea	18"-24" ht.	#3 Cont.	
IGS	62	Ilex glabra 'Shamrock'	Shamrock Inberry	24"-30" ht.	#2 Cont.	
IJ	5	Ilex verticillata 'Jim Dandy'	Jim Dandy Winterberry	24"-30" ht.	#2 Cont.	Male
IS	32	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	24"-30" ht.	#2 Cont.	
RAG	150	Rhus aromatica 'Gro Low'	Gro-Low Fragrant Sumac	12"-18" ht.	#2 Cont.	
<b>Perennials</b>						
CP	4075	Carex pennsylvanica	Pennsylvania Sedge	12"-18" ht.	#1 Cont.	12" o.c.
DC	960	Deschampsia cespitosa	Tufted Hair Grass	12"-18" ht.	#2 Cont.	18" o.c.
DP	116	Dennstaedtia punctilobula	Eastern Hayscented Fern	12"-18" ht.	#2 Cont.	18" o.c.
EP	145	Echinacea purpurea	Pale Purple Coneflower	12"-18" ht.	#2 Cont.	18" o.c.
ES	2425	Eragrostis spectabilis	Purple Lovegrass	12"-18" ht.	#2 Cont.	12" o.c.
GM	160	Geranium maculatum	Wild Geranium	12"-18" ht.	#2 Cont.	12" o.c.
MP	120	Mnarda punctata	Spotted Bee Balm	18"-24" ht.	#2 Cont.	12" o.c.
PVS	67	Panicum virgatum 'Shenandoah'	Switchgrass	18"-24" ht.	#2 Cont.	18" o.c.
RH	134	Rudbeckia hirta	Black Eyed Susan	18"-24" ht.	#2 Cont.	12" o.c.
SS	580	Schizachyrium scoparium	Little Bluestem	18"-24" ht.	#2 Cont.	18" o.c.
VA	2495	Vaccinium angustifolium	Lowbush Blueberry	12"-15" ht.	#1 Cont.	12" o.c.

PREPARED BY: **C W D** Copley Wolff Design Group  
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www.copley-wolff.com

PROJECT NAME / CLIENT: **ONE CORPORATE DRIVE**  
ANDOVER, MA 01810  
PERMIT SET

CWDG PROJECT NUMBER: 2135  
ISSUANCES:

REV #	DATE	DESCRIPTION

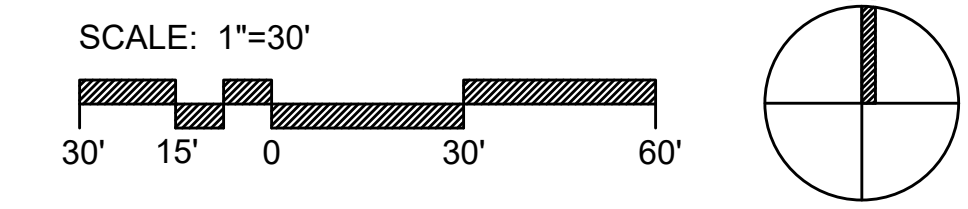
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DRAWING TITLE: **PLANTING PLAN**

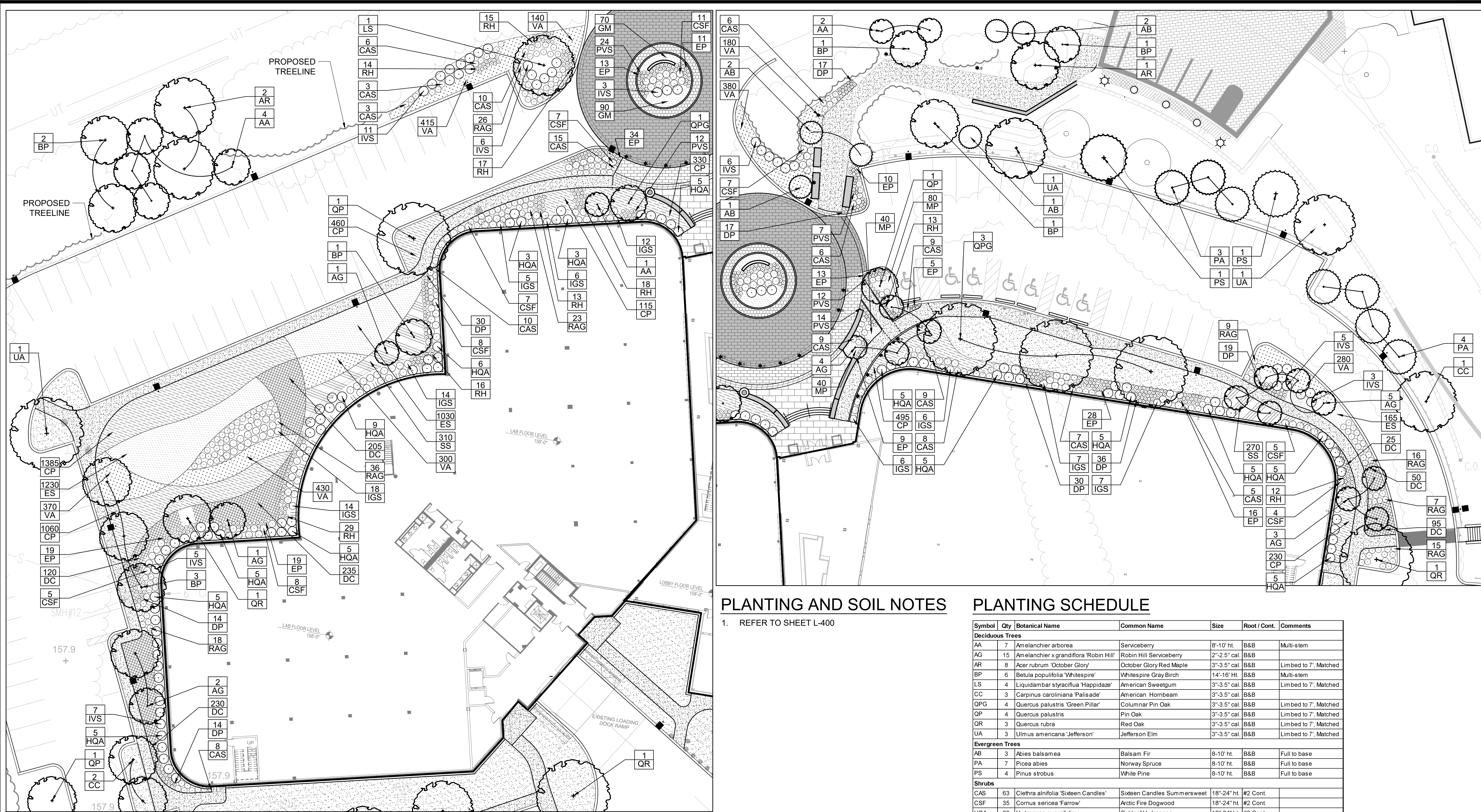
DRAWN BY: AL  
CHECKED BY: JM

SCALE: 1" = 30'  
DATE: 01.26.2022

DRAWING NUMBER: **L-400**



1/21/2022 2:06:58 PM - T:12135 1 CORPORATE DRIVE ANDOVER W ELLENZWEIG-HOJO CONSTRUCTION DRAWINGS\CURRENT\CWDG DRAWINGS\1\CORPORATE\_PLANS.DWG - ANDREW LOUW

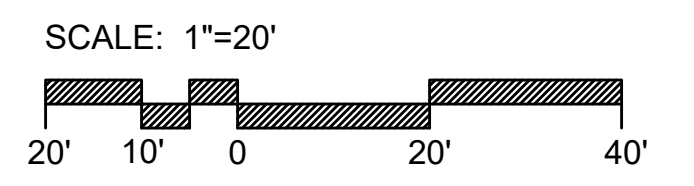


### PLANTING AND SOIL NOTES

1. REFER TO SHEET L-400

### PLANTING SCHEDULE

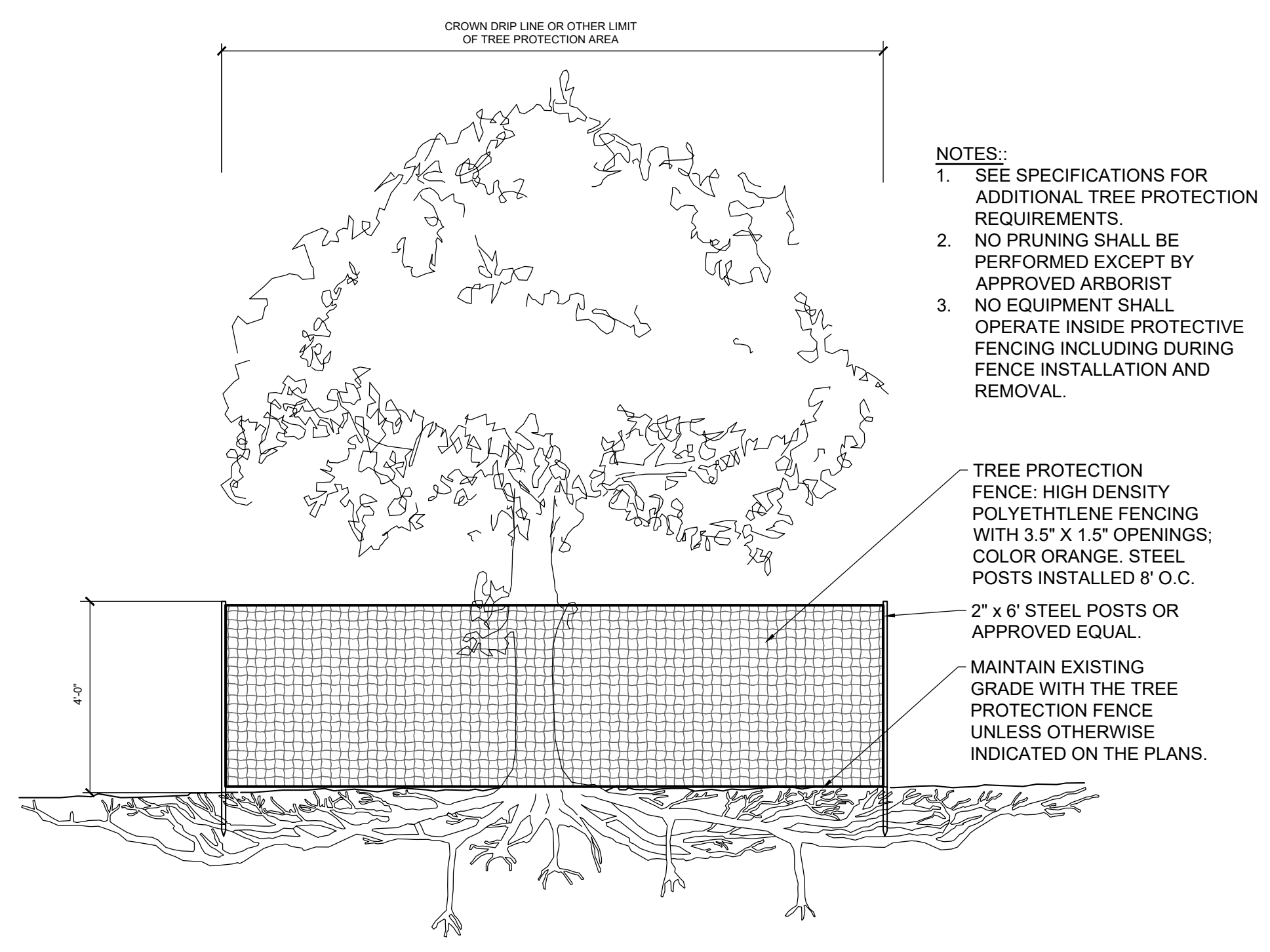
Symbol	Qty	Botanical Name	Common Name	Size	Root / Cont.	Comments
<b>Deciduous Trees</b>						
AA	7	Amelanchier arborea	Serviceberry	8'-10' ht.	B&B	Multi-stem
AG	15	Amelanchier x grandiflora 'Robin Hill'	Robin Hill Serviceberry	2'-2.5' cal.	B&B	
AR	8	Acer rubrum 'October Glory'	October Glory Red Maple	3'-3.5' cal.	B&B	Limbed to 7', Matched
BP	6	Betula populifolia 'Whitespire'	Whitespire Gray Birch	14'-16' ht.	B&B	Multi-stem
LS	4	Liquidambar styraciflua 'Happidaze'	American Sweetgum	3'-3.5' cal.	B&B	Limbed to 7', Matched
CC	3	Carpinus caroliniana 'Palisade'	American Hornbeam	3'-3.5' cal.	B&B	
QPG	4	Quercus palustris 'Green Pillar'	Columnar Pin Oak	3'-3.5' cal.	B&B	Limbed to 7', Matched
QP	4	Quercus palustris	Pin Oak	3'-3.5' cal.	B&B	Limbed to 7', Matched
QR	3	Quercus rubra	Red Oak	3'-3.5' cal.	B&B	Limbed to 7', Matched
UA	3	Ulmus americana 'Jefferson'	Jefferson Elm	3'-3.5' cal.	B&B	Limbed to 7', Matched
<b>Evergreen Trees</b>						
AB	3	Abies balsamea	Balsam Fir	8-10' ht.	B&B	Full to base
PA	7	Picea abies	Norway Spruce	8-10' ht.	B&B	Full to base
PS	4	Pinus strobus	White Pine	8-10' ht.	B&B	Full to base
<b>Shrubs</b>						
CAS	63	Clethra alnifolia 'Sixteen Candles'	Sixteen Candles Summersweet	18"-24" ht.	#2 Cont.	
CSF	35	Cornus sericea 'Farrow'	Arctic Fire Dogwood	18"-24" ht.	#2 Cont.	
HQA	23	Hydrangea quercifolia	Oakleaf Hydrangea	18"-24" ht.	#3 Cont.	
IGS	62	Ilex glabra 'Shamrock'	Shamrock Inberry	24"-30" ht.	#2 Cont.	
IVJ	5	Ilex verticillata 'Jim Dandy'	Jim Dandy Winterberry	24"-30" ht.	#2 Cont.	Male
IVS	32	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	24"-30" ht.	#2 Cont.	
RAG	150	Rhus aromatica 'Gro Low'	Gro-Low Fragrant Sumac	12"-18" ht.	#2 Cont.	
<b>Perennials</b>						
CP	4075	Carex pensylvanica	Pennsylvania Sedge	12"-18" ht.	#1 Cont.	12" o.c.
DC	960	Deschampsia cespitosa	Tufted Hair Grass	12"-18" ht.	#2 Cont.	18" o.c.
DP	116	Dennstaedtia punctilobula	Eastern Hayscented Fern	12"-18" ht.	#2 Cont.	18" o.c.
EP	145	Echinacea purpurea	Pale Purple Coneflower	12"-18" ht.	#2 Cont.	18" o.c.
ES	2425	Eragrostis spectabilis	Purple Lovegrass	12"-18" ht.	#2 Cont.	12" o.c.
GM	160	Geranium maculatum	Wild Geranium	12"-18" ht.	#2 Cont.	12" o.c.
MP	120	Monarda punctata	Spotted Bee Balm	18"-24" ht.	#2 Cont.	12" o.c.
PVS	67	Panicum virgatum 'Shenandoah'	Switchgrass	18"-24" ht.	#2 Cont.	18" o.c.
RH	134	Rudbeckia hirta	Black Eyed Susan	18"-24" ht.	#2 Cont.	12" o.c.
SS	580	Schizachyrium scoparium	Little Bluestem	18"-24" ht.	#2 Cont.	18" o.c.
VA	2495	Vaccinium angustifolium	Lowbush Blueberry	12"-15" ht.	#1 Cont.	12" o.c.



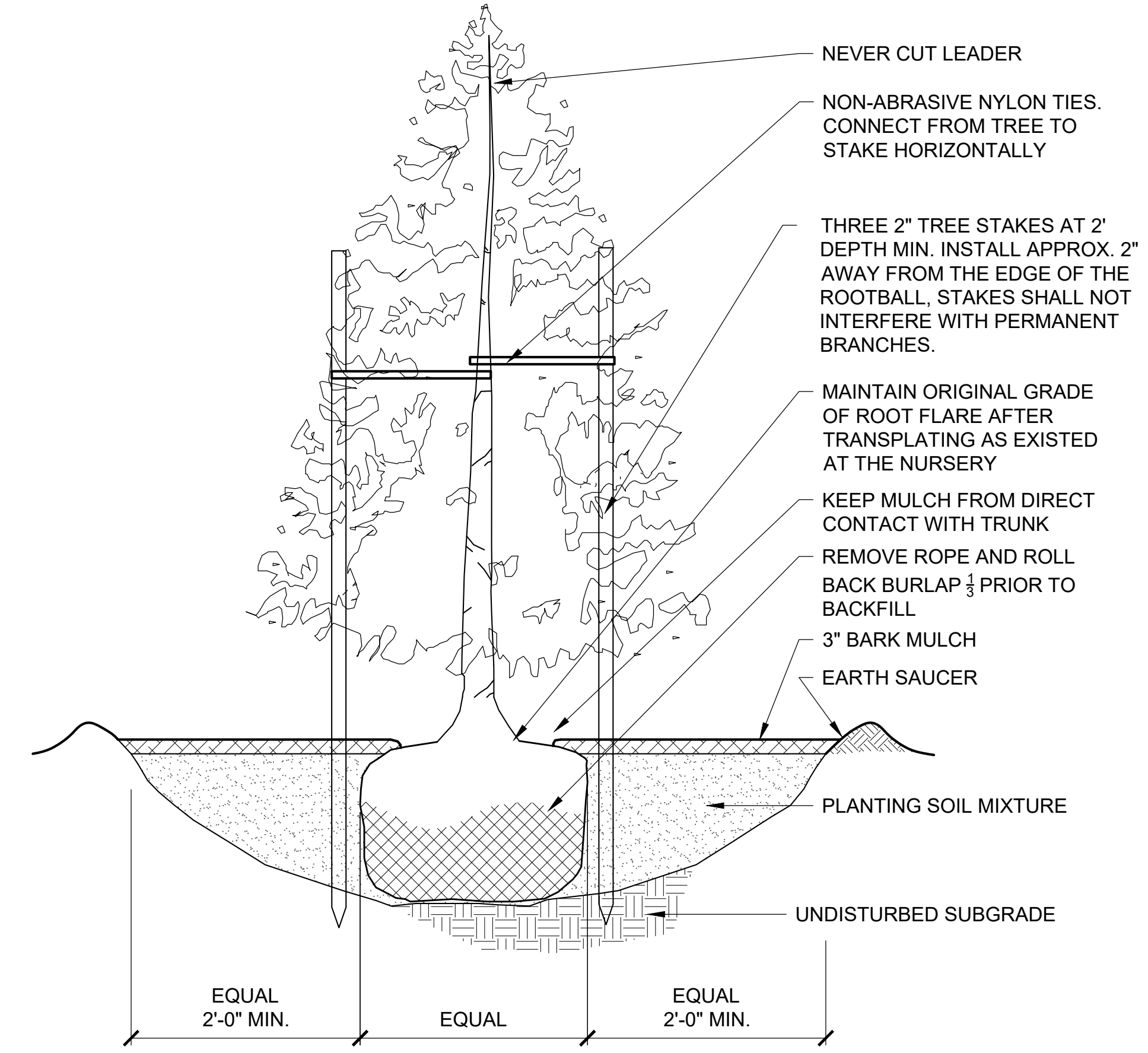




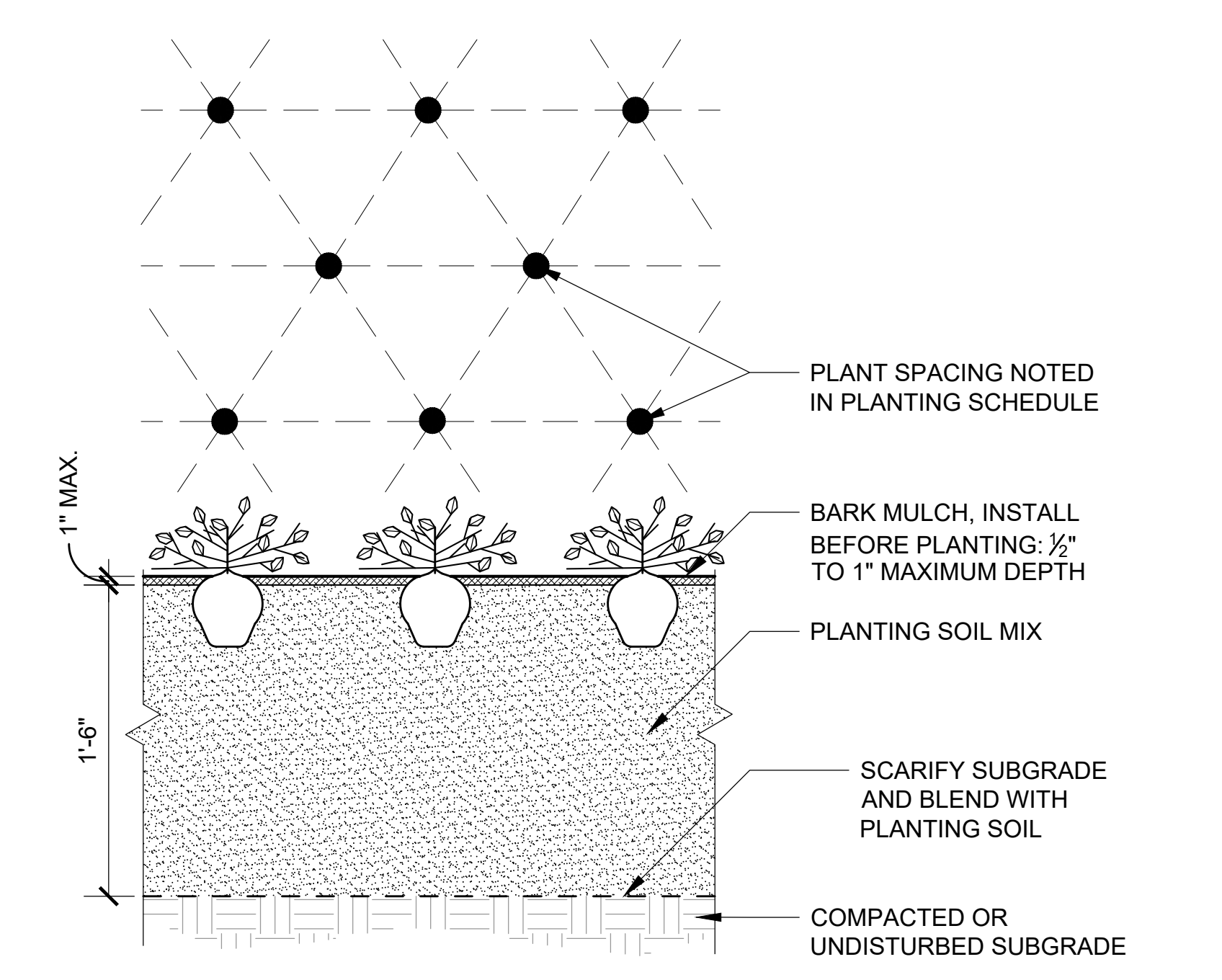
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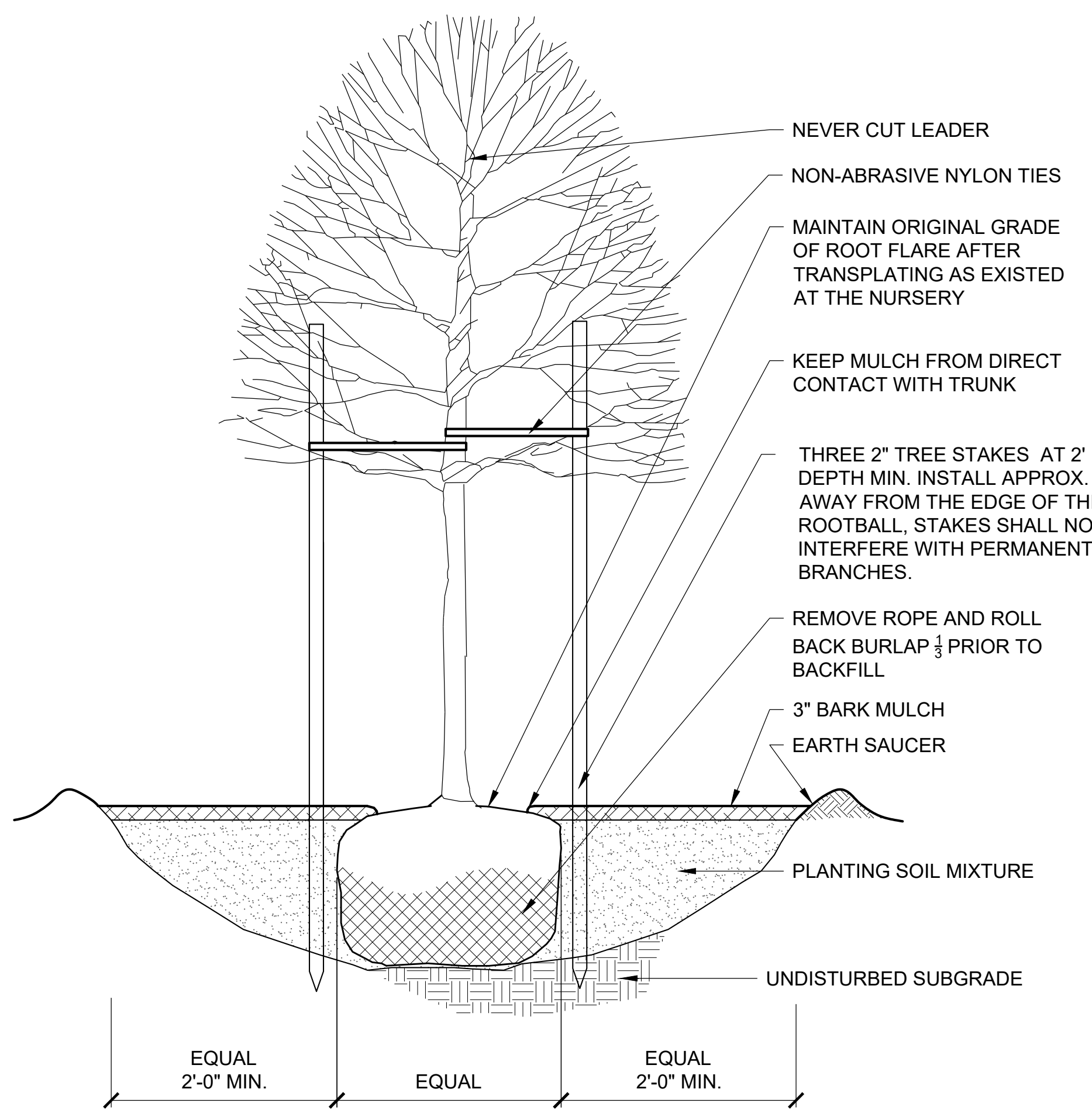
**1 TREE PROTECTION**  
 SCALE: 3/8" = 1'-0"



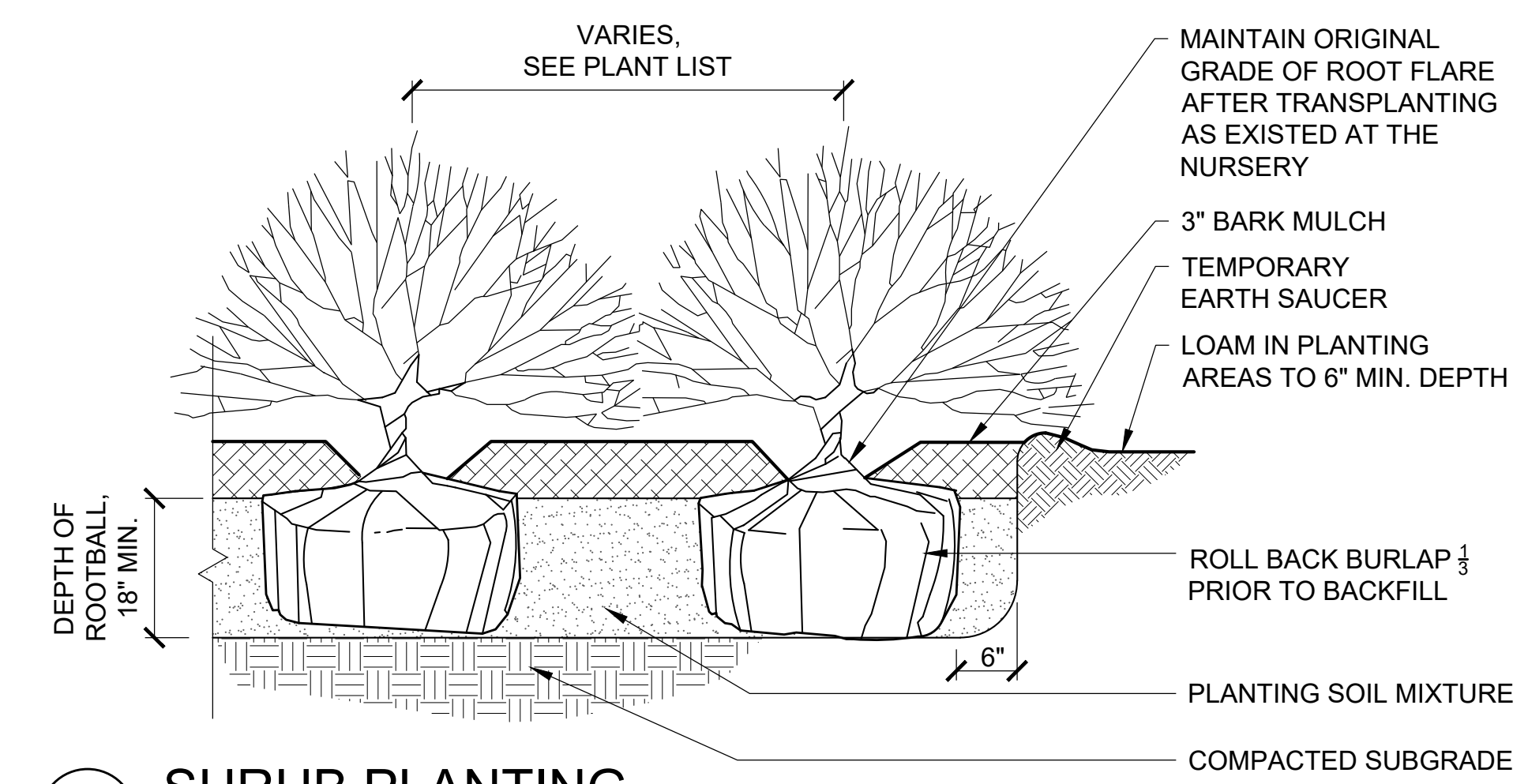
**3 EVERGREEN TREE PLANTING**  
 SCALE: 3/4" = 1'-0"



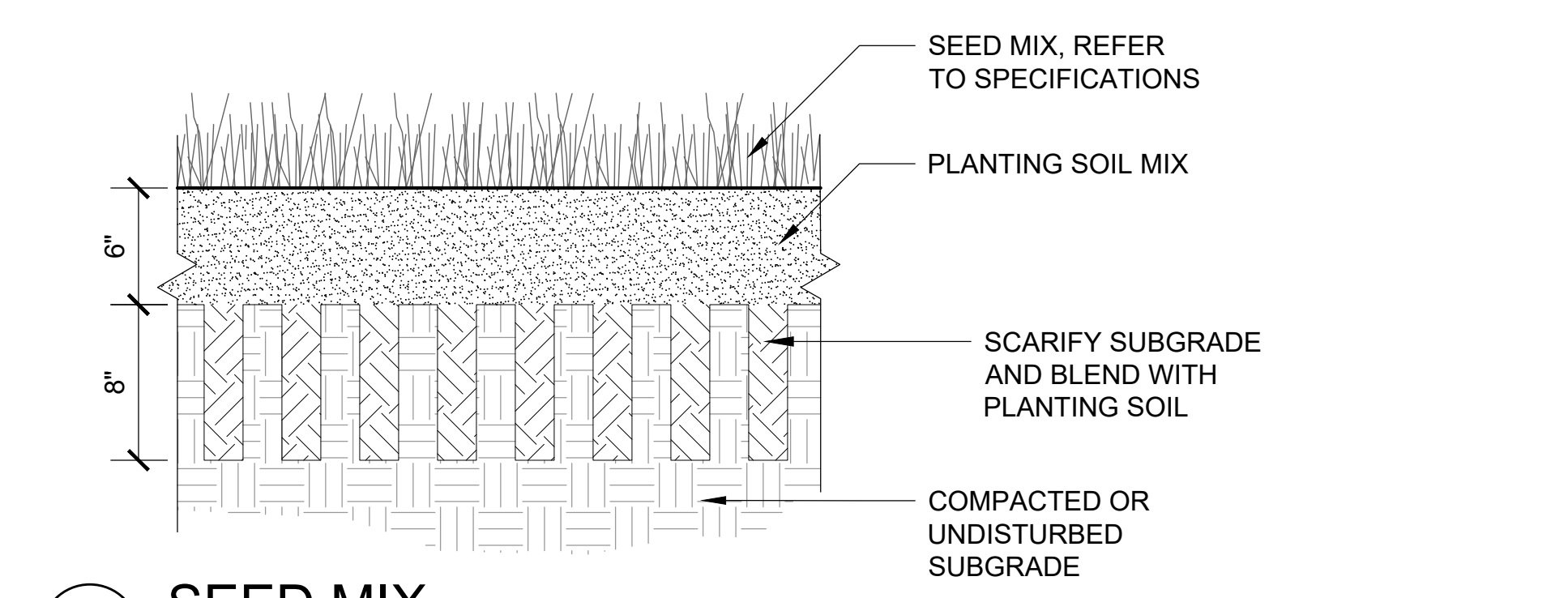
**6 PERENNIAL / GROUNDCOVER PLANTING**  
 SCALE: 1-1/2" = 1'-0"



**2 TREE PLANTING**  
 SCALE: 3/4" = 1'-0"



**4 SHRUB PLANTING**  
 SCALE: 3/4" = 1'-0"



**5 SEED MIX**  
 SCALE: 1-1/2" = 1'-0"

**ONE CORPORATE DRIVE  
ANDOVER, MA 01810**

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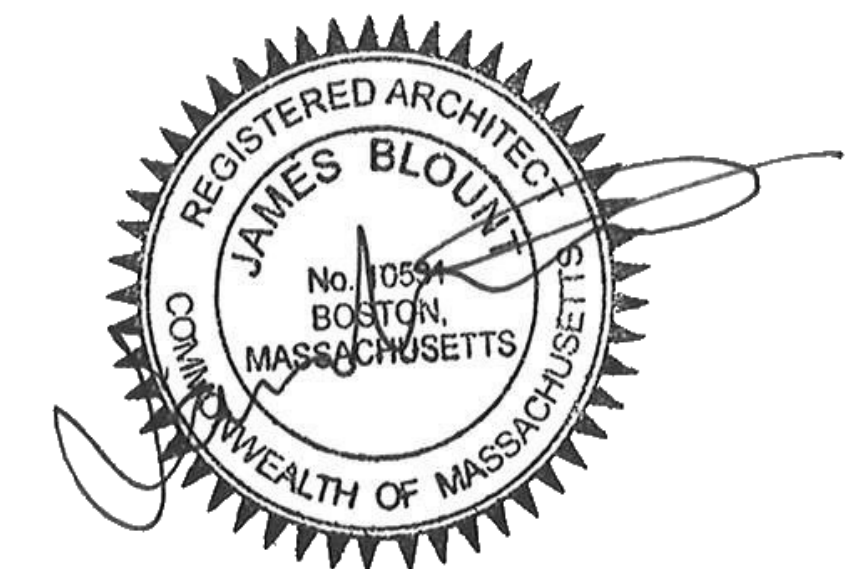
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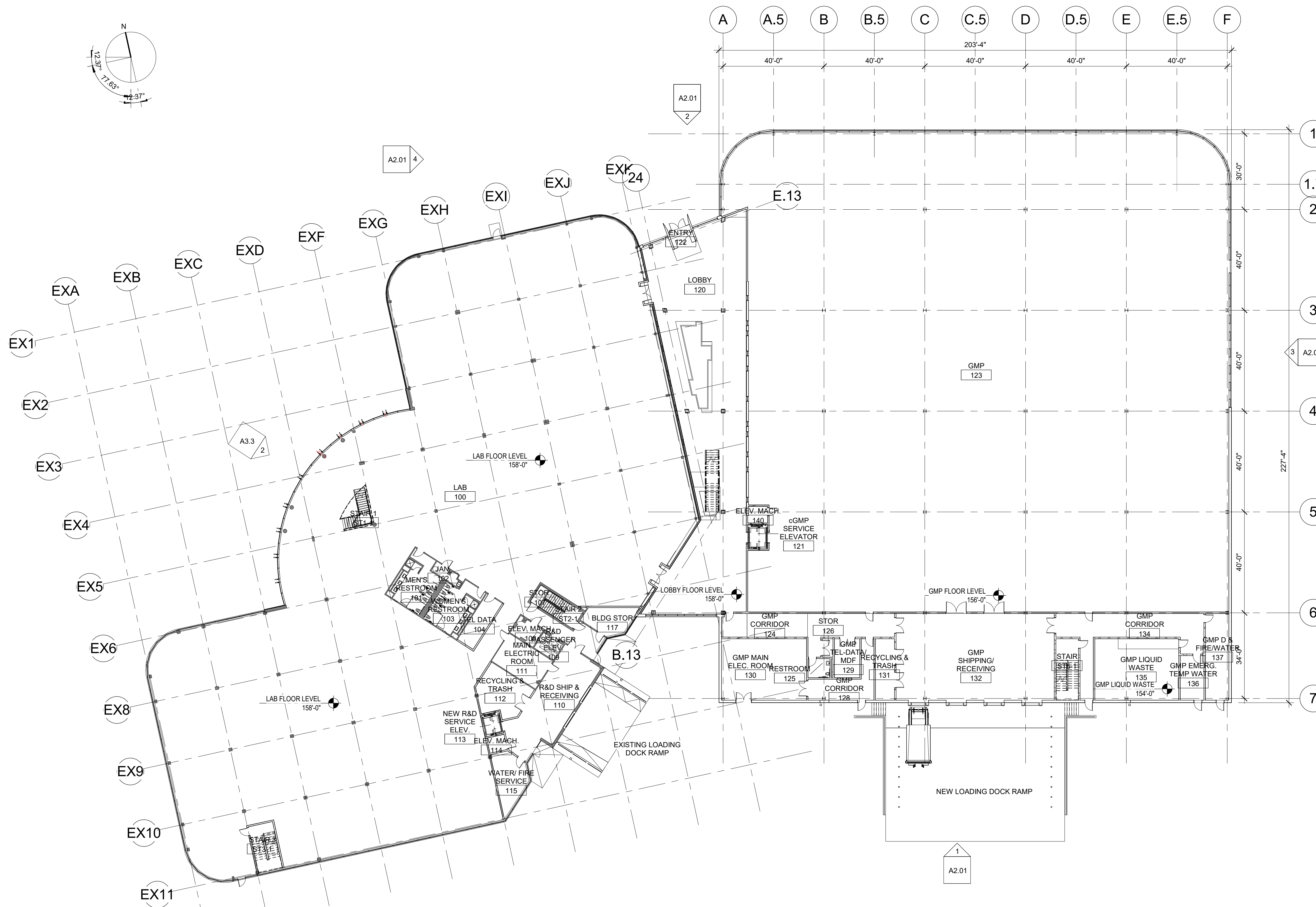


Job Number 32101.00  
Drawing By SC  
Checked By ES  
Date 01/26/22

**FIRST FLOOR PLAN**

Construction Documents  
Scale: 3/64" = 1'-0"

**A1.00**



**1 FIRST FLOOR PLAN - OVERALL**  
3/64" = 1'-0"

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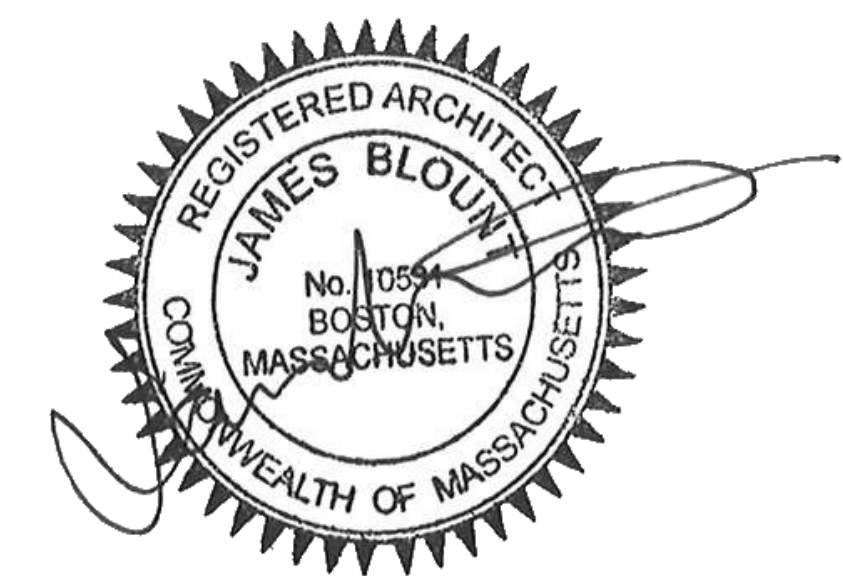
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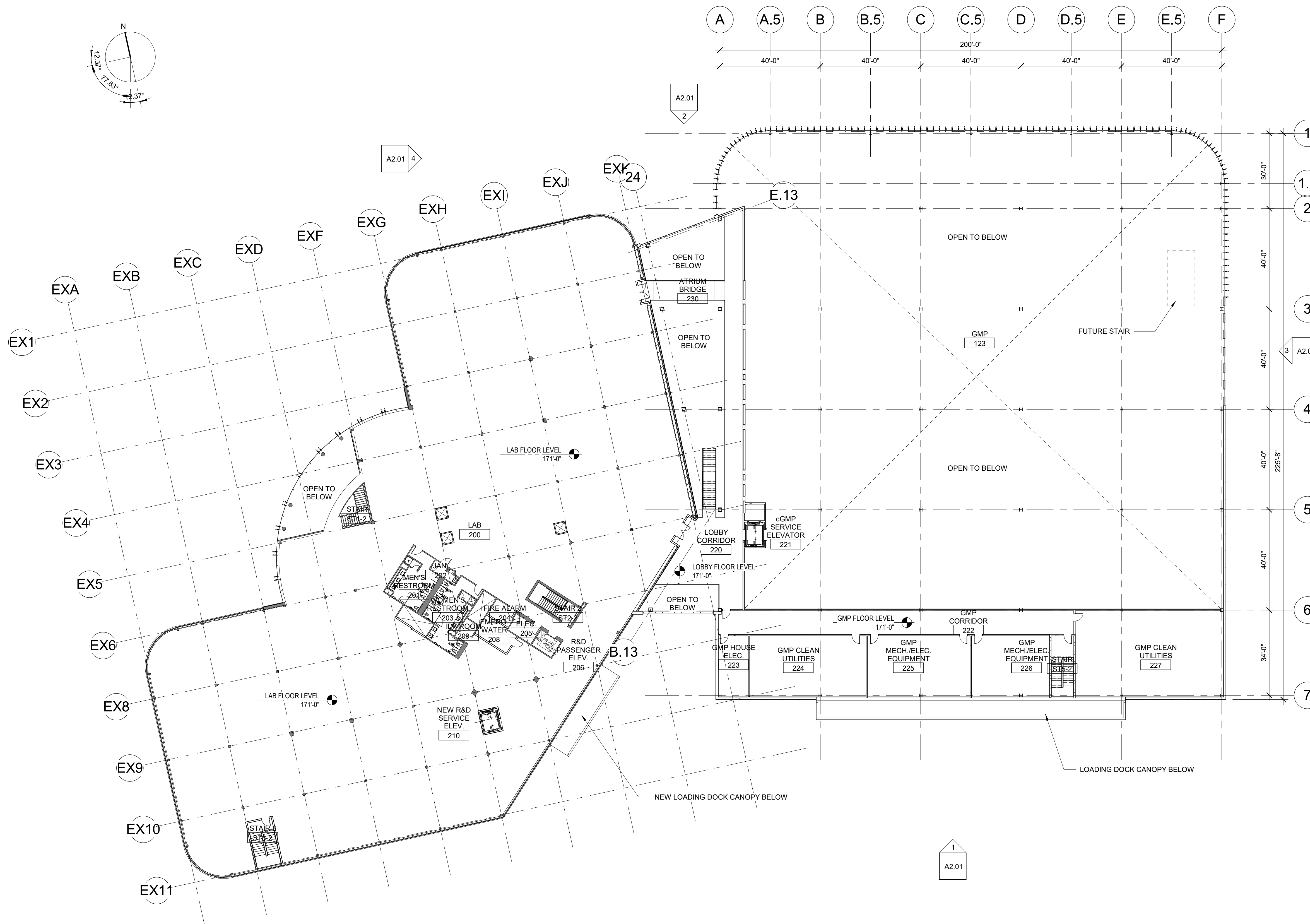


Job Number 32101.00  
Drawing By SC  
Checked By ES  
Date 01/26/22

**SECOND FLOOR PLAN**

Construction Documents  
Scale: 3/64" = 1'-0"

**A1.01**



**1 SECOND FLOOR PLAN - OVERALL**  
3/64" = 1'-0"

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**ONE CORPORATE DRIVE  
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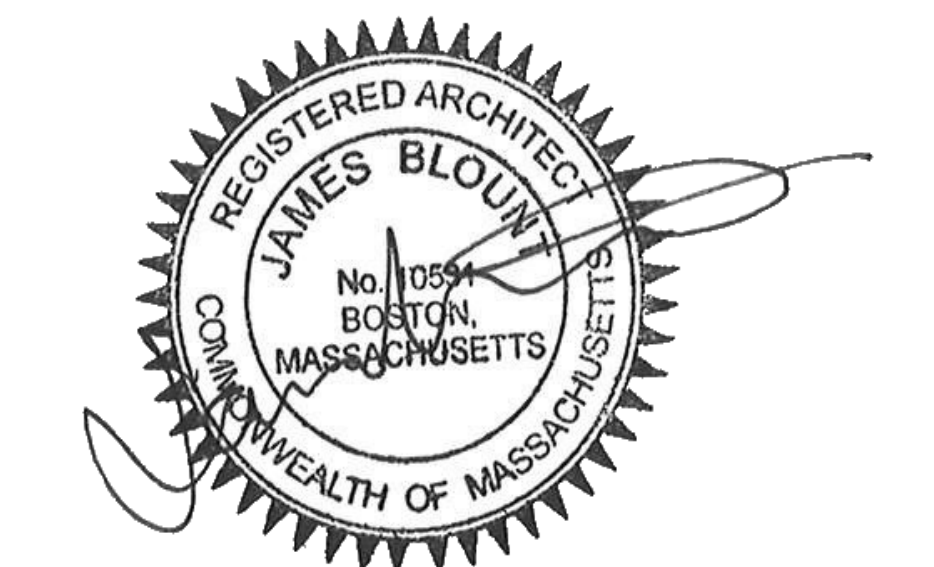
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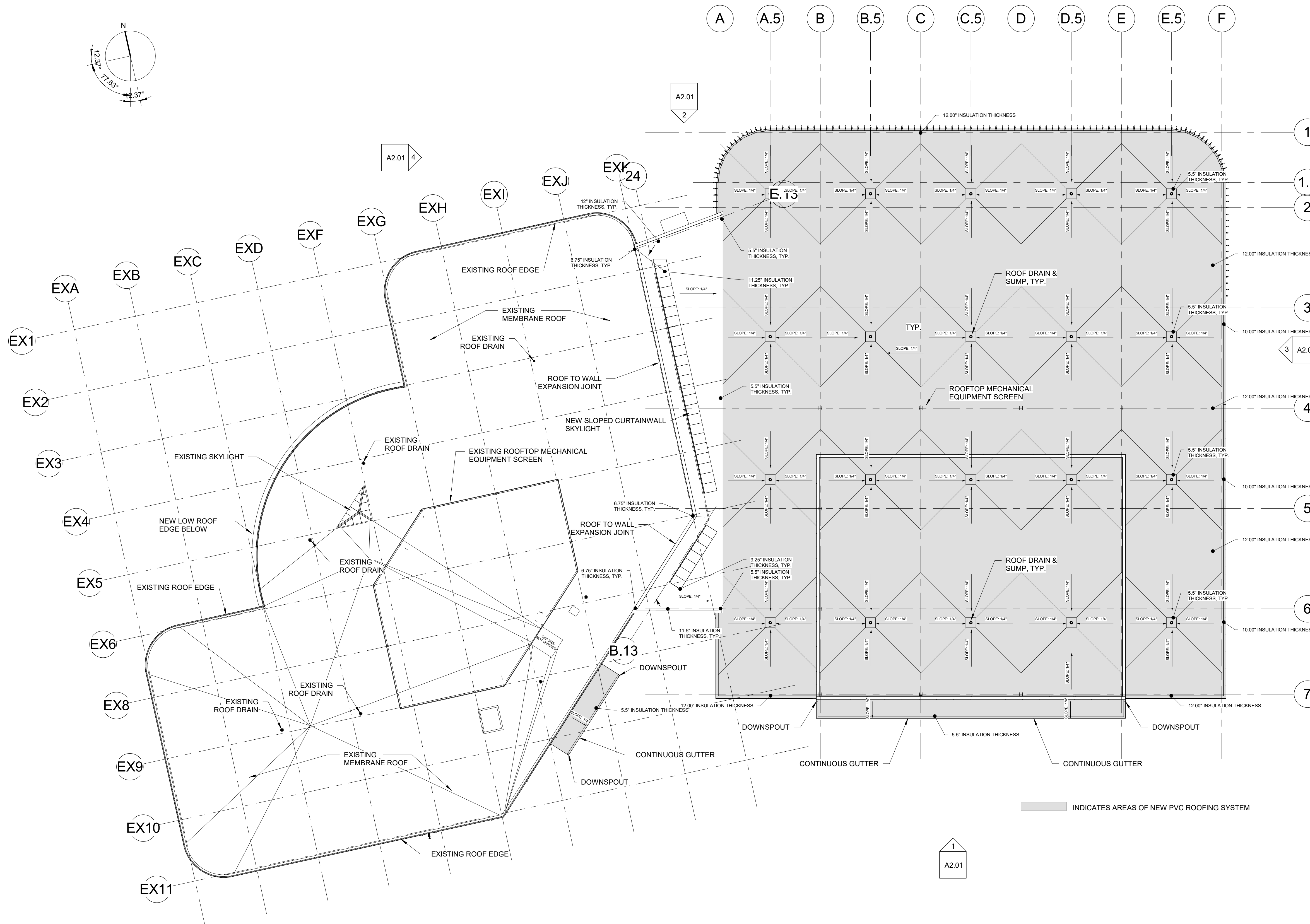


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Date 01/26/22

**ROOF PLAN**

Construction Documents  
Scale: 3/64" = 1'-0"

**A1.02**



**1 ROOF PLAN**  
3/64" = 1'-0"

**ONE CORPORATE DRIVE  
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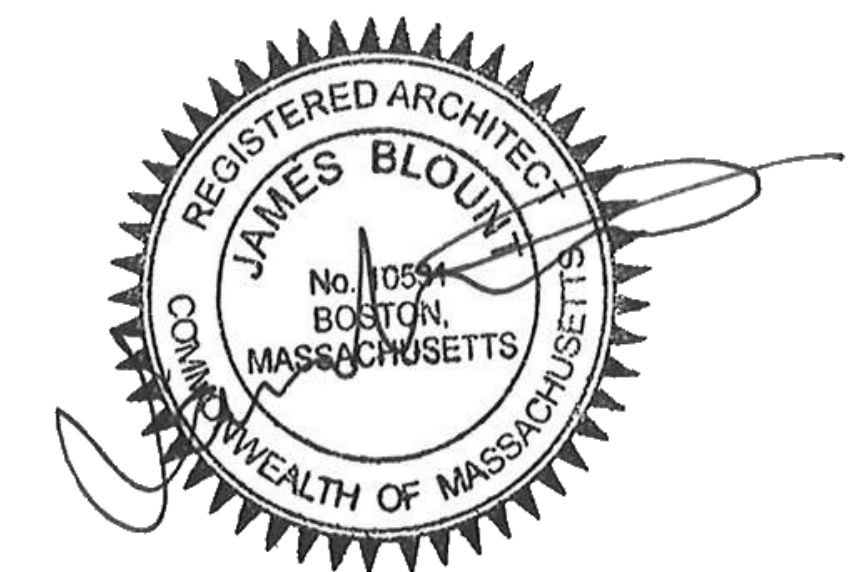
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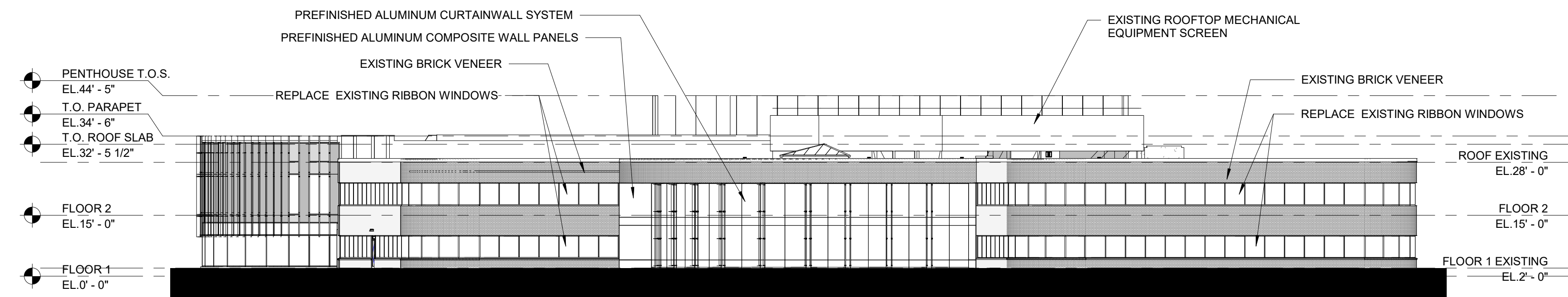


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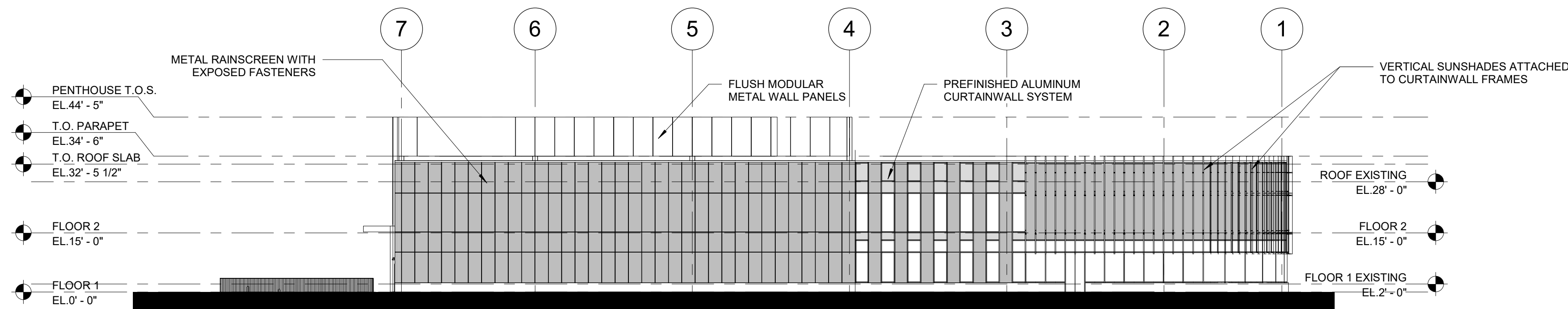
**EXTERIOR ELEVATIONS**

Construction Documents  
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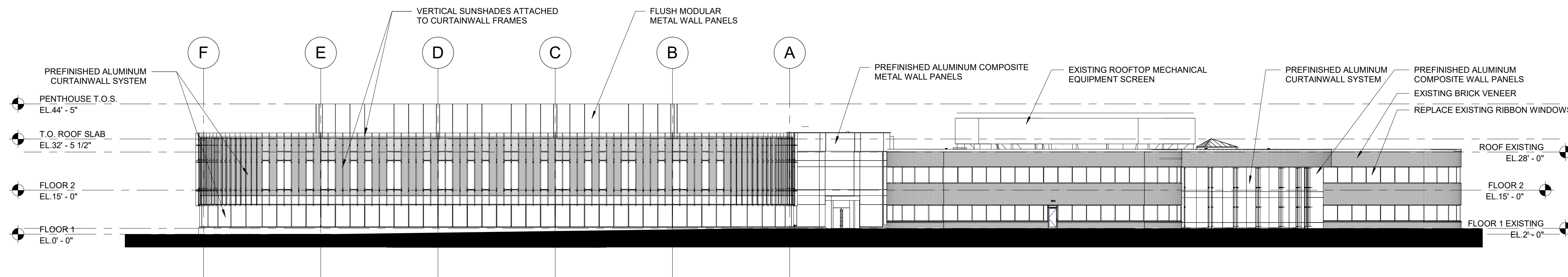
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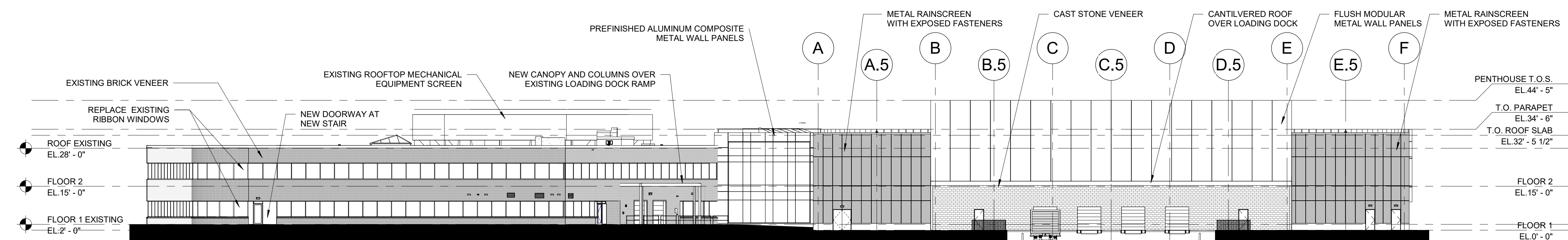
**4 WEST ELEVATION**  
3/64" = 1'-0"



**3 EAST ELEVATION**  
3/64" = 1'-0"



**2 NORTH ELEVATION**  
3/64" = 1'-0"



**1 SOUTH ELEVATION**  
3/64" = 1'-0"