

SITE PLAN FOR MULTIFAMILY HOUSING REDEVELOPMENT PROJECT 7 TANTALLON ROAD ANDOVER, MA.

HOWARD STEIN HUDSON
114 Turnpike Road, Suite 2C
Chelmsford, MA 01824
www.hshassoc.com

PREPARED FOR:
Neil Rosenberg
7 Tantalton Road
Andover, MA 01810

**THE TANTALLON
PROPOSED MULTIFAMILY
REDEVELOPMENT PROJECT
7 TANTALLON ROAD
ANDOVER, MA, 01810**

GENERAL NOTES:

1. EXISTING PROPERTY LINE AND UTILITY INFORMATION SHOWN IS BASED ON AN EXISTING SURVEY CONDUCTED BY A-PLUS CONSTRUCTION SERVICES CORPORATION, REVISED THROUGH MARCH 12, 2019.
2. THE ACCURACY AND COMPLETENESS OF THE UNDERGROUND UTILITIES AS SHOWN ON THE PLANS ARE NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE, TYPE, ETC. OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY THE WORK. AT LEAST 72 HOURS BEFORE EXCAVATION, THE CONTRACTOR SHALL BE REQUIRED TO CONTACT DIGSAFE AT 1-888-344-7233.
3. THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
4. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE APPROPRIATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.
5. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE NOTIFIED, INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN, PRIOR TO EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION OR REPAVING.
6. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES EXCEPT THOSE NOTED TO BE ABANDONED, REMOVED AND DISPOSED.
7. THE CONTRACTOR SHALL DISPOSE OF ALL WASTE MATERIAL IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS AT HIS/HER OWN EXPENSE, OUTSIDE OF THE PROJECT LIMITS.
8. SITE IS LOCATED WITHIN FEMA FLOODMAP 25009C0217F EFFECTIVE 07/03/2012.

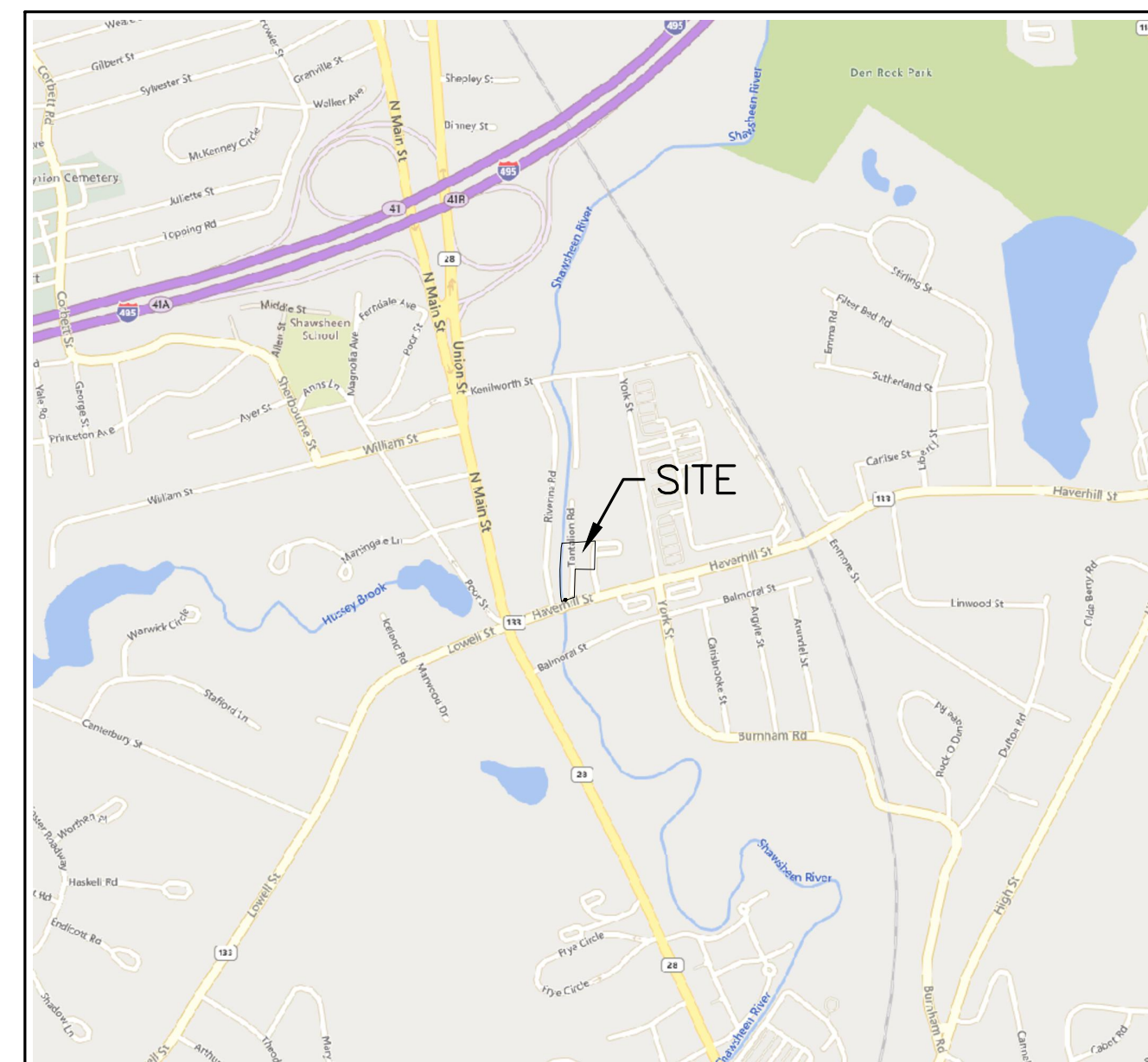
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EXISTING CONDITIONS PLAN

LEGEND

—○— CHAIN-LINK FENCE	○ WF# WETLAND FLAG
—□— WROUGHT IRON FENCE	■ CB CATCH BASIN - SQUARE
—○— STONE WALL	☀ LIGHT POLE
—○— TREELINE	—○— UPL# UTILITY POLE
—70— CONTOUR	□ BOUND (CONC, STONE, LAND COURT, ETC.)
⊕ ELECTRIC MANHOLE	△ TRAVERSE POINT
⊙ SEWER MANHOLE	DH DRILL HOLE
⊙ TELEPHONE MANHOLE	○ GG GAS GATE
⊙ OTHER MANHOLE	○ WG WATER GATE
EOP EDGE OF PAVEMENT	⊕ MONITORING WELL
TOW TOP OF WATER	



LOCUS MAP
1"=1000'

PROJECT TEAM:

CIVIL ENGINEER
HOWARD STEIN HUDSON
114 TURNPIKE ROAD
SUITE 2C
CHELMSFORD, MA 01824

LANDSCAPE ARCHITECT
LORAYNE BLACK
PO BOX 595
GROTON, MA 01450

ARCHITECT
LAGRASSE YANOWITZ & FEYL
1 ELM SQUARE, 3RD FLOOR
ANDOVER, MA 01810

LIGHTING CONSULTANT
CHARRON INC.
P.O. BOX 4550
MANCHESTER, NH 03108

SURVEYOR
A-PLUS CONSTRUCTION SERV. CORP.
17 ACCORD PARK DRIVE, UNIT 102
NORWELL, MA 02061

WETLAND SCIENCE
JOHN DICK
WETLAND SCIENTIST

OWNER

NEIL ROSENBERG
7 TANTALLON ROAD
ANDOVER, MA 01810

ASSESSORS INFORMATION

ASSESSORS MAP 35 LOTS 5A & 6

REFERENCES

1. EXISTING CONDITIONS SURVEY PREPARED FOR HOWARD STEIN HUDSON BY A-PLUS CONSTRUCTION SERVICES CORPORATION, REVISED THROUGH MARCH 12, 2019.

ZONING REQUIREMENTS

GB - GENERAL BUSINESS DISTRICT
FHOD - FLOOD HAZARD OVERLAY DISTRICT
DIMENSIONAL REQUIREMENTS

	REQUIREMENT	EXISTING	PROPOSED
MINIMUM LOT AREA	48,000* SF	45,346± SF	49,097± SF
MINIMUM FRONT YARD	(A)	152.3± FT	152.6± FT
MINIMUM SIDE/REAR YARD	(B)	3± FT	4± FT
BUILDING COVERAGE	66% (C)	21%	23%
MAXIMUM STORIES	4	2	4
MAXIMUM BUILDING HEIGHT	50 FT	<50 FT	50 FT

*2,000 SF OF LOT AREA IS REQUIRED PER DWELLING UNIT. TWENTY FOUR (24) UNITS ARE PROPOSED.

(A) IN THE GENERAL BUSINESS DISTRICT, THE FRONT SETBACK SHALL BE THE AVERAGE FRONT SETBACK OF EXISTING BUILDINGS ON THE BLOCK.

(B) NO BUILDING IN A BUSINESS DISTRICT SHALL BE ERRECTED OR EXPANDED WITHIN 15 FEET OF A BUILDING CONTAINING A RESIDENTIAL USE, REGARDLESS OF THE ZONING DISTRICT IN WHICH SAID BUILDING CONTAINING A RESIDENTIAL USE IS LOCATED.

(C) IN A GENERAL BUSINESS DISTRICT, AN EXISTING STRUCTURE OCCUPYING MORE THAN 2/3 OF THE LOT AREA SHALL NOT BE EXPANDED. NEW STRUCTURES SHALL NOT EXCEED 2/3 OF THE LOT AREA WITHIN THE GENERAL BUSINESS DISTRICT.

PARKING REQUIREMENTS

PLANNED DEVELOPMENT - 24 UNIT MULTIFAMILY RESIDENTIAL STRUCTURE
TWO PARKING SPACES PER DWELLING UNIT

REQUIRED: 24 DWELLING UNITS X 2 SPACES/DWELLING UNIT = 48 SPACES

PROPOSED: 58 TOTAL PARKING SPACES
24 OPEN AIR PARKING SPACES UNDERNEATH THE BUILDING
24 SURFACE PARKING SPACES
10 DEEDED PARKING SPACES FOR USE OF 12 HAVERHILL STREET
TOTAL PARKING SPACES = 24+24+10 = 58 TOTAL PARKING SPACES

SITE PLAN AND SPECIAL PERMITS REQUIRED

1. PER SECTION 3.1.3 - TABLE OF USE REGULATIONS - PLANNED DEVELOPMENT, MULTIFAMILY OR MIXED-USE (SECTION 7.2)
2. PER SECTION 8.3.4 - FLOOD HAZARD OVERLAY DISTRICT - REGULATIONS.

REVISIONS:

NO	BY	DATE	DESCRIPTION
7	SM	3/27/19	ADJ. DATUM & ELEVATIONS
8	SM	6/04/19	PER REVIEW COMMENTS
9	PB	8/28/19	PER REVIEW COMMENTS
10	SM	2/17/20	LAYOUT/DRAINAGE REVS.
11	KE	4/20/20	REV LANDSCAPE PLAN
12	MB	9/08/20	REV LANDSCAPE PLAN
13	PB	7/27/21	NOI SUBMISSION
14	MB	08/31/22	NOI SUBMISSION



SITE
PLAN

COVER
SHEET

DATE:	10-24-2017
PROJECT NUMBER:	17024
DESIGNED BY:	TM
DRAWN BY:	TM
CHECKED BY:	KE

1

SHEET 1 OF 11



HOWARD STEIN HUDSON
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REVISIONS:

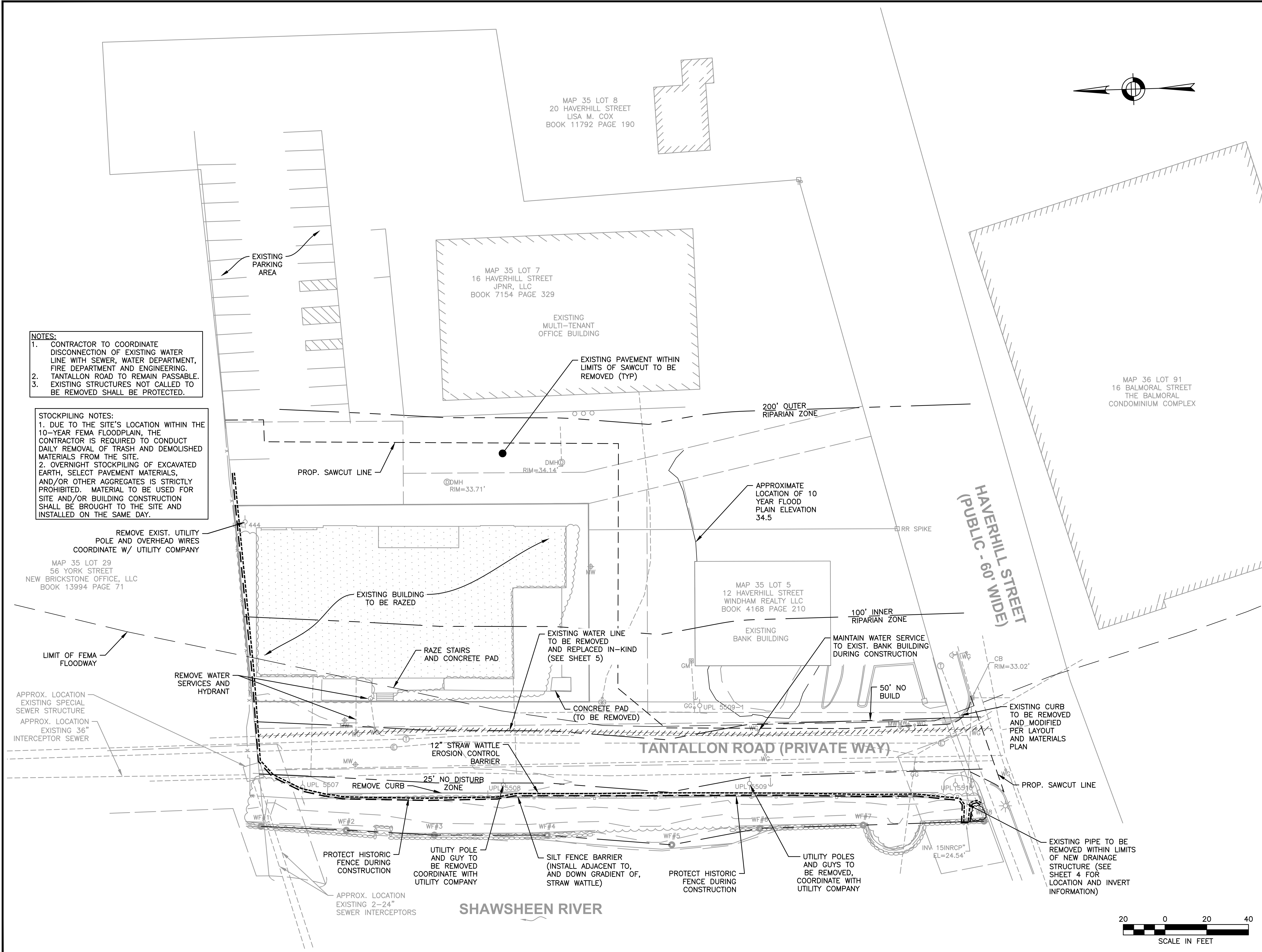
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SITE PLAN

**DEMOLITION &
 EROSION CONTROL PLAN**

DATE:	10-24-2017
PROJECT NUMBER:	17024
DESIGNED BY:	TM
DRAWN BY:	TM
CHECKED BY:	KE



NOTES:
 1. CONTRACTOR TO COORDINATE DISCONNECTION OF EXISTING WATER LINE WITH SEWER, WATER DEPARTMENT, FIRE DEPARTMENT AND ENGINEERING.
 2. TANTALLON ROAD TO REMAIN PASSABLE.
 3. EXISTING STRUCTURES NOT CALLED TO BE REMOVED SHALL BE PROTECTED.

STOCKPILING NOTES:
 1. DUE TO THE SITE'S LOCATION WITHIN THE 10-YEAR FEMA FLOODPLAIN, THE CONTRACTOR IS REQUIRED TO CONDUCT DAILY REMOVAL OF TRASH AND DEMOLISHED MATERIALS FROM THE SITE.
 2. OVERNIGHT STOCKPILING OF EXCAVATED EARTH, SELECT PAVEMENT MATERIALS, AND/OR OTHER AGGREGATES IS STRICTLY PROHIBITED. MATERIAL TO BE USED FOR SITE AND/OR BUILDING CONSTRUCTION SHALL BE BROUGHT TO THE SITE AND INSTALLED ON THE SAME DAY.

8/30/2022, L:\17024\CURRENT\17024_Site Plan.dwg
 Matthew Baker



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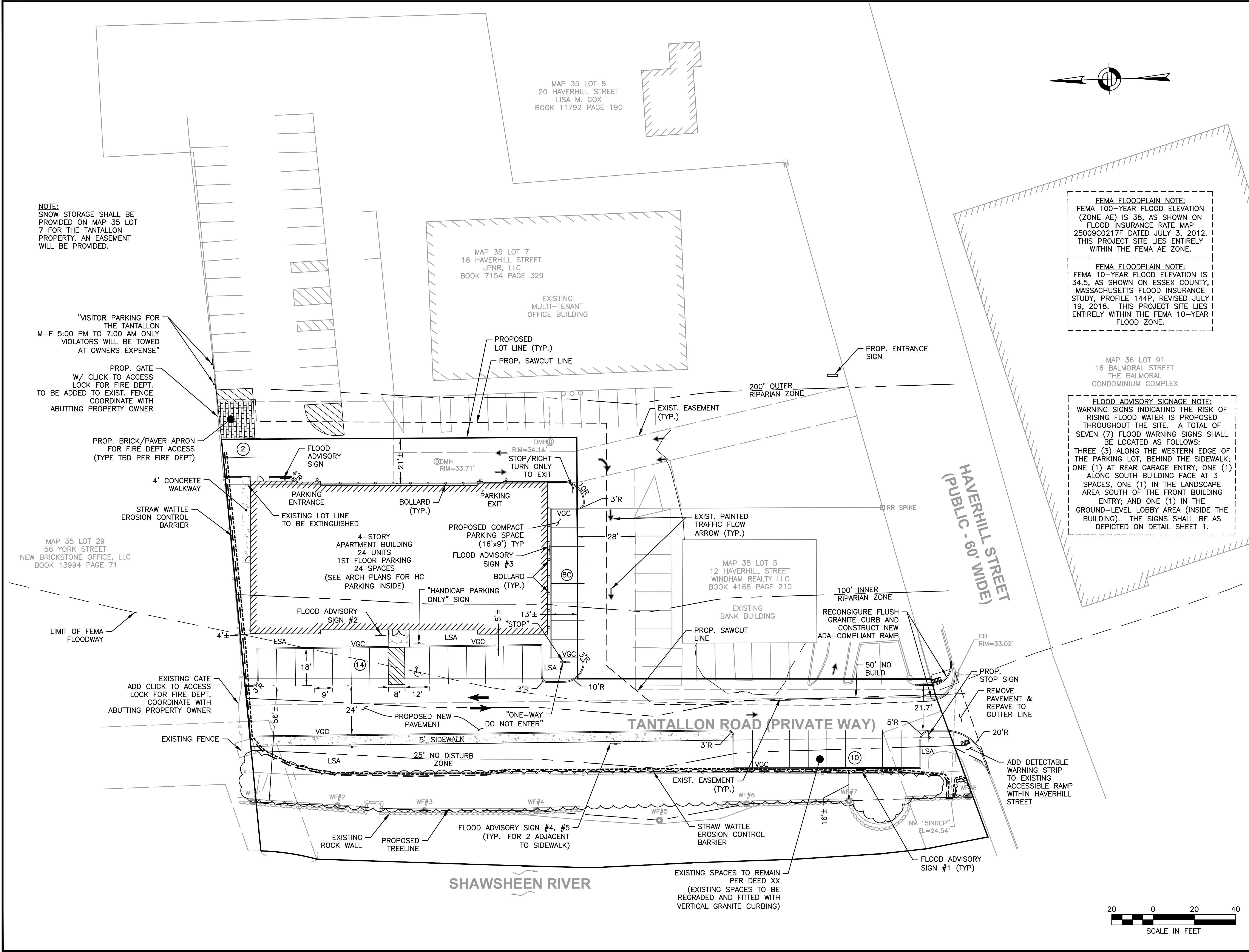
SITE PLAN

LAYOUT AND MATERIALS PLAN

DATE:	10-24-2017
PROJECT NUMBER:	17024
DESIGNED BY:	TM
DRAWN BY:	TM
CHECKED BY:	KE

3

SHEET 3 OF 11



NOTE:
 SNOW STORAGE SHALL BE PROVIDED ON MAP 35 LOT 7 FOR THE TANTALLON PROPERTY. AN EASEMENT WILL BE PROVIDED.

"VISITOR PARKING FOR THE TANTALLON M-F 5:00 PM TO 7:00 AM ONLY VIOLATORS WILL BE TOWED AT OWNERS EXPENSE"
 PROP. GATE W/ CLICK TO ACCESS LOCK FOR FIRE DEPT. TO BE ADDED TO EXIST. FENCE COORDINATE WITH ABUTTING PROPERTY OWNER

FEMA FLOODPLAIN NOTE:
 FEMA 100-YEAR FLOOD ELEVATION (ZONE AE) IS 38, AS SHOWN ON FLOOD INSURANCE RATE MAP 25009C0217F DATED JULY 3, 2012. THIS PROJECT SITE LIES ENTIRELY WITHIN THE FEMA AE ZONE.

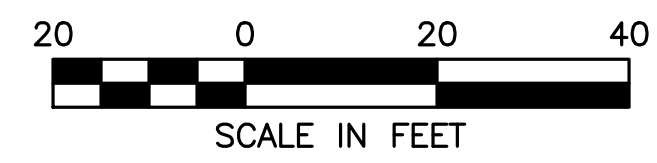
FEMA FLOODPLAIN NOTE:
 FEMA 10-YEAR FLOOD ELEVATION IS 34.5, AS SHOWN ON ESSEX COUNTY, MASSACHUSETTS FLOOD INSURANCE STUDY, PROFILE 144P, REVISED JULY 19, 2018. THIS PROJECT SITE LIES ENTIRELY WITHIN THE FEMA 10-YEAR FLOOD ZONE.

FLOOD ADVISORY SIGNAGE NOTE:
 WARNING SIGNS INDICATING THE RISK OF RISING FLOOD WATER IS PROPOSED THROUGHOUT THE SITE. A TOTAL OF SEVEN (7) FLOOD WARNING SIGNS SHALL BE LOCATED AS FOLLOWS:
 THREE (3) ALONG THE WESTERN EDGE OF THE PARKING LOT, BEHIND THE SIDEWALK; ONE (1) AT REAR GARAGE ENTRY, ONE (1) ALONG SOUTH BUILDING FACE AT 3 SPACES, ONE (1) IN THE LANDSCAPE AREA SOUTH OF THE FRONT BUILDING ENTRY; AND ONE (1) IN THE GROUND-LEVEL LOBBY AREA (INSIDE THE BUILDING). THE SIGNS SHALL BE AS DEPICTED ON DETAIL SHEET 1.

MAP 35 LOT 29
 56 YORK STREET
 NEW BRICKSTONE OFFICE, LLC
 BOOK 13994 PAGE 71

HAVERRILL STREET
 (PUBLIC - 60' WIDE)

EXISTING SPACES TO REMAIN PER DEED XX (EXISTING SPACES TO BE REGRADED AND FITTED WITH VERTICAL GRANITE CURBING)



- NOTES:
1. CONTRACTOR TO LOCATE ANY TREES OVER 3" AND COORDINATE WITH ANDOVER CONSERVATION COMMISSION STAFF TO AVOID TREE REMOVAL.
 2. SITE GRADING SHALL CONFORM TO SPECIAL CONDITION 17 IN THE ORDER OF CONDITIONS ASSOCIATED WITH DEP FILE #090-1299, DATED 03/22/2018.
 3. DMH-5 SHALL BE EQUIPPED WITH A BACKFLOW PREVENTION DEVICE. REFER TO DETAIL SHEET 4 OF 4 FOR ADDITIONAL INFORMATION.
 4. DMH-6 TO BE INSTALLED WITH A SUMP.
 5. NO STORMWATER SHALL BE DISCHARGED THROUGH THE STORMWATER MANAGEMENT SYSTEM UNTIL OUTLET IS STABILIZED.
 6. NO SALT, SAND, FERTILIZERS, PET WASTE, HAZARDOUS CHEMICALS, ETC. WILL BE STORED IN THE GARAGE WHERE FLOOD WATERS CAN REACH.
 7. THERE WILL BE NO VEHICLE WASHING ALLOWED ON SITE.
 8. ALL SNOW SHALL BE DISPOSED OF OFF-SITE IN A MANNER CONSISTENT WITH LOCAL AND STATE REGULATIONS.

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SITE PLAN

GRADING AND DRAINAGE PLAN

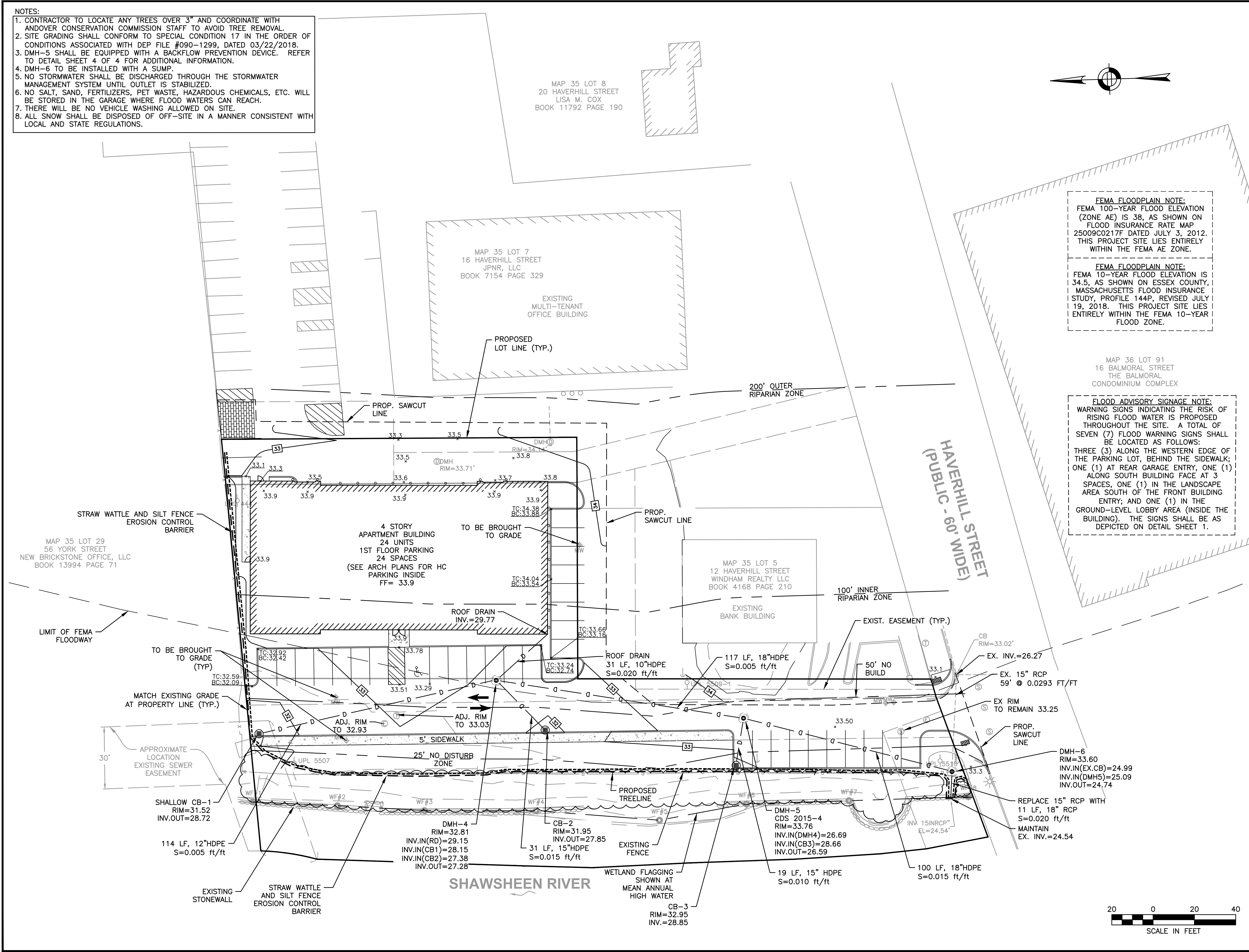
DATE: 10-24-2017

PROJECT NUMBER: 17024

DESIGNED BY: TM

DRAWN BY: TM

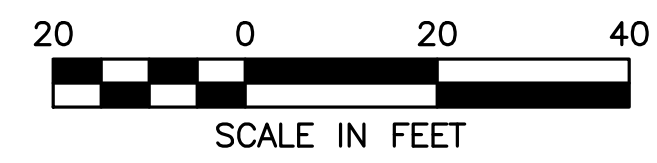
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SITE
PLAN

UTILITY
PLAN

DATE: 10-24-2017

PROJECT NUMBER: 17024

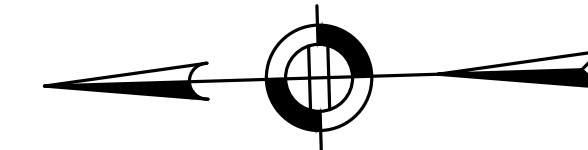
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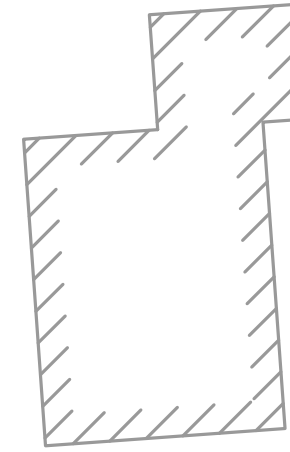
CHECKED BY: KE

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SHEET 5 OF 11



MAP 35 LOT 8
20 HAVERHILL STREET
LISA M. COX
BOOK 11792 PAGE 190



MAP 35 LOT 7
16 HAVERHILL STREET
JPNR, LLC
BOOK 7154 PAGE 329

EXISTING
MULTI-TENANT
OFFICE BUILDING

PROPOSED
LOT LINE (TYP.)

200' OUTER
RIPARIAN ZONE

FEMA FLOODPLAIN NOTE:
FEMA 100-YEAR FLOOD ELEVATION
(ZONE AE) IS 38, AS SHOWN ON
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ENTIRELY WITHIN THE FEMA 10-YEAR
FLOOD ZONE.

MAP 36 LOT 91
16 BALMORAL STREET
THE BALMORAL
CONDOMINIUM COMPLEX

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WARNING SIGNS INDICATING THE RISK OF
RISING FLOOD WATER IS PROPOSED
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THREE (3) ALONG THE WESTERN EDGE OF
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ONE (1) AT REAR GARAGE ENTRY, ONE (1)
ALONG SOUTH BUILDING FACE AT 3
SPACES, ONE (1) IN THE LANDSCAPE
AREA SOUTH OF THE FRONT BUILDING
ENTRY; AND ONE (1) IN THE
GROUND-LEVEL LOBBY AREA (INSIDE THE
BUILDING). THE SIGNS SHALL BE AS
DEPICTED ON DETAIL SHEET 1.

NOTES:
1. DEPTHS AND EXACT LOCATION OF ALL
EXISTING UNDERGROUND UTILITIES UNKNOWN.
TO BE CONFIRMED PRIOR TO CONSTRUCTION
AND CONFLICTS DISCUSSED WITH DESIGN
ENGINEER.
2. CONTRACTOR TO COORDINATE DISCONNECTION
OF EXISTING WATER LINE WITH SEWER, WATER
DEPARTMENT, FIRE DEPARTMENT AND
ENGINEERING.

MAP 35 LOT 29
56 YORK STREET
NEW BRICKSTONE OFFICE, LLC
BOOK 13994 PAGE 71

CONNECT TO EXIST.
GAS SERVICE
COORDINATE WITH
UTILITY COMPANY

LIMIT OF FEMA
FLOODWAY

BACKFLOW PREVENTER &
CLEANOUT W/ CAST IRON COVER

APPROX. LOCATION
EXISTING SPECIAL
SEWER STRUCTURE

APPROX. LOCATION
EXISTING 36"
INTERCEPTOR SEWER

DEPTHS OF EXISTING UTILITIES
UNKNOWN, TO BE CONFIRMED PRIOR
TO CONSTRUCTION AND CONFLICTS
DISCUSSED W/ DESIGN ENGINEER

CONNECT TO EXIST.
UTILITY POLE
COORDINATE WITH
UTILITY COMPANY

EXISTING SEWER INVERTS WERE
ESTIMATED AND ASSUMED.
CONTRACTOR TO VERIFY INVERTS
PRIOR TO CONSTRUCTION AND
VERIFY ENGINEER IF THERE IS A
SIGNIFICANT VARIATION TO ASSUMED
INVERTS.

APPROX. LOCATION
EXISTING 2-24"
SEWER INTERCEPTORS

EXISTING SEWER LINE
TO BE CAMERA INSPECTED
TO DETERMINE CURRENT CONDITION
& FEASIBILITY OF USABILITY PRIOR TO
CONSTRUCTION IN CONSULTATION
W/ ANDOVER SEWER DEPARTMENT &
ENGINEER OF RECORD. ANY INEFFICIENCIES
IN EXISTING SERVICE ENCOUNTERED WITHIN
THE PROPERTY BOUNDARIES DURING
INSPECTION SHALL BE FIXED.

MAP 35 LOT 5
12 HAVERHILL STREET
WINDHAM REALTY LLC
BOOK 4168 PAGE 210

EXISTING
BANK BUILDING

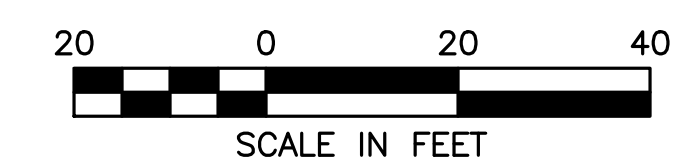
TEMPORARY WATER SERVICE SHALL
BE PROVIDED TO EXIST. BANK BUILDING
DURING REPLACEMENT. CONTRACTOR/UTILITY
TO COORDINATE W/ PROPERTY OWNER,
WATER DEPT. AND FIRE CHIEF.

100' INNER
RIPARIAN ZONE

RECONNECT
EXISTING WATER
SERVICES

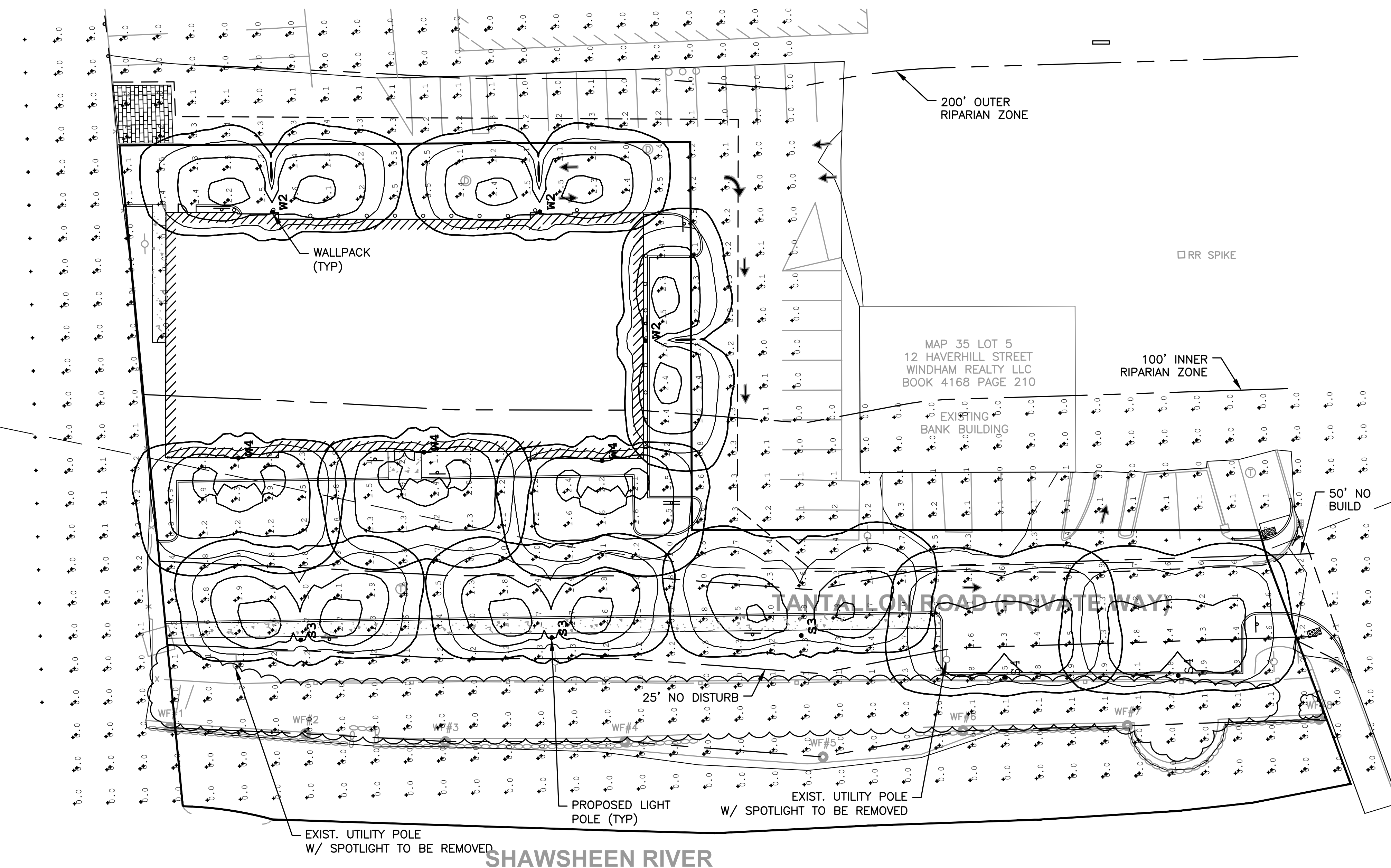
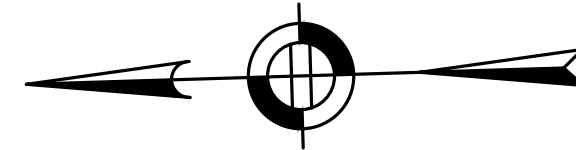
REMOVE EXISTING GATE AND
REPLACE WITH
NEW 10"x8" TEE & GATE VALVE

CONNECT TO EXIST.
UNDERGROUND UTILITIES
COORDINATE WITH
UTILITY COMPANY





NOTE: THIS LIGHTING PLAN SHOWS PROPOSED ILLUMINATION LEVELS CALCULATED BY THE NOTED LIGHTING DESIGNER USING DATA PROVIDED BY THE NOTED LUMINAIRE MANUFACTURER. ACTUAL ILLUMINATION LEVELS IN THE FIELD MAY VARY DUE TO EQUIPMENT MANUFACTURING TOLERANCES, INSTALLATION METHODS, AND OTHER FIELD CONDITIONS. THIS LIGHTING PLAN USES A LIGHT LOSS FACTOR (LLF) OF 0.9 FOR THE PROPOSED LED LUMINAIRES IN AN EFFORT TO MODEL THE MATURE LIGHTING PROFILE OF THE LUMINAIRE. THIS LIGHTING PLAN SHOWS ONLY THE PROPOSED LOCATIONS AND TYPES OF LUMINAIRES; ASSOCIATED REQUIREMENTS SUCH AS POWER, CONDUITS, WIRING, OTHER ELECTRICAL FEATURES, AND FOUNDATIONS ARE THE RESPONSIBILITY OF OTHERS.



Symbol	Qty	Label	Arrangement	Description
⊙	3	S3	Single	SIG2-III-48VLED-NW-350-HS-PT / RNTS124-11-PT27
⊙	2	S4	Single	SIG2-IV-48VLED-NW-350-HS-PT / RNTS124-11-PT27
⊙	3	W2	Single	SIG2-II-48VLED-NW-350-HS-WM / WALL MTD 10' AFG
⊙	3	W4	Single	SIG2-IV-48VLED-NW-350-HS-WM / WALL MTD 10' AFG

StatArea 1
SOUTHERN PARKING LOT
Illuminance (Fc)
Average = 1.00
Maximum = 1.8
Minimum = 0.3
Avg/Min Ratio = 3.33
Max/Min Ratio = 6.00

StatArea 2
PARKING AREA WEST OF BUILDING
Illuminance (Fc)
Average = 1.36
Maximum = 2.4
Minimum = 0.5
Avg/Min Ratio = 2.72
Max/Min Ratio = 4.80



SOLID STATE AREA LIGHTING

SIGMA SERIES-LED

SPECIFICATIONS

HOUSING
Heavy cast low copper aluminum assembly (A356 alloy, <0.2% copper). Minimum wall thickness is .188". Traditional styling of the housing provided with cast aluminum housing top hinges for easy access.

LED OPTICAL MODULE
Low copper A356 alloy (<0.2% copper) cast aluminum housing, integrated clear tempered 3/16" glass lens sealed with a continuous silicone gasket protects emitters (LED's) and emitter Reflector-Prism optics, and seals the module from water intrusion and environmental contaminants. LED's are available in standard Neutral White (4000K), or optional Cool White (5000K) or Warm White (3000K). Each emitter is optically controlled by a Reflector-Prism injection molded from H12 acrylic (3 types per module; one from 0° - 50°; one from 50° - 65°; one from 65° - 72°). Each Reflector-Prism has indexing pins for aiming and is secured to an optical plate made of matte black anodized aluminum. The optical plate locates every Reflector-Prism over an emitter. Reflector-Prisms are secured to the optical plate with a UV curing adhesive. The Reflector-Prisms are arrayed to produce IES type II, III, IV, and V-SQ distributions. The entire Optical Module is field rotatable in 90° increments. Both module and drivers are factory wired using water resistant, insulated cord. Lens, module and drivers are field replaceable.

LED EMITTERS
High Output LED's are driven at 350mA for nominal 1 Watt output each. LED's are available in standard Neutral White (4000K), or optional Cool White (5000K) or Warm White (3000K). Consult Factory for 347-480VAC. Driver is mechanically fastened to a retaining bracket. Main power quick disconnect provided. Driver has a minimum 4KV of internal surge protection, 10KV & 20KV Surge Protector optional. Dimming and High-Low Driver options available.

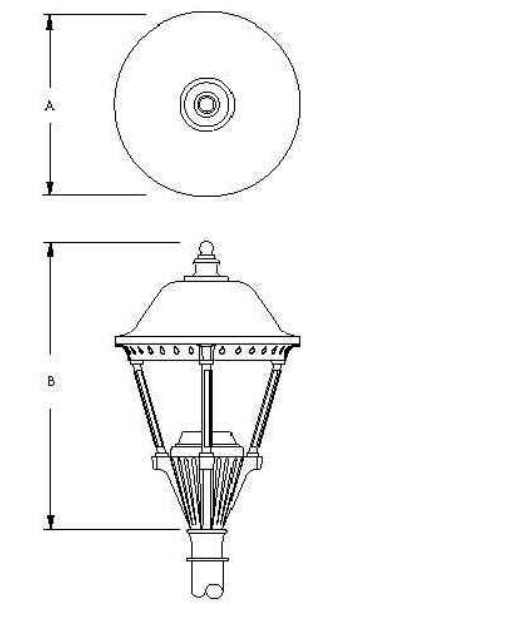
LED DRIVER
UL and CUL recognized High Power Factor, Constant Current LED drivers operate on input voltages from 120-277VAC, 50/60Hz. Consult Factory for 347-480VAC. Driver is mechanically fastened to a retaining bracket. Main power quick disconnect provided. Driver has a minimum 4KV of internal surge protection, 10KV & 20KV Surge Protector optional. Dimming and High-Low Driver options available.

FINISH
Electrostatically applied TGIC Polyester Powder Coat on substrate prepared with 20 PSI power wash at 140°F. Four step iron phosphate pretreatment for protection and paint adhesion. 400°F bake for maximum hardness and durability. Texture finish is standard.

PROJECT NAME: _____
FUTURE TYPE: _____



SIGMA



FIXTURE	A	B
SIG1	24"	37"
	450mm	940mm
SIG2	18.5"	28"
	469mm	711mm



SIGMA SERIES - LED

SPECIFICATIONS

MOUNTING STYLES

XAC: 16" (406mm) height, 3" I.D. mounting arm.

XAZ: 18" (457mm) height, 3" I.D. mounting arm.

XAT: 18" (457mm) height, 3" I.D. mounting arm.

WALL MOUNT

ARM BRACKET EXTRUDED AND CAST ALUMINUM CONSTRUCTION.

WALL PLATE: 16" (406mm) height, 13.75" (349mm) width, 5.75" (146mm) depth.

LED MODULES

100 LED Module

64 LED Module

LUMINAIRE	OPTICS	LED	MOUNTING	FINISH	OPTIONS
<input type="checkbox"/> SIG1	<input type="checkbox"/> VLED-II (Type II)	<input type="checkbox"/> SIG1 <input type="checkbox"/> NW (4000K)* <input type="checkbox"/> CW (5000K) <input type="checkbox"/> WW (3000K) <input type="checkbox"/> OTHER LED COLORS AVAILABLE CONSULT FACTORY	<input type="checkbox"/> PT <input type="checkbox"/> 2-180 <input type="checkbox"/> 2-90 <input type="checkbox"/> 3-120 <input type="checkbox"/> 4-90	<input type="checkbox"/> BLACK RAL-9005-T <input type="checkbox"/> WHITE RAL-9003-T <input type="checkbox"/> GREY RAL-7004-T <input type="checkbox"/> DARK BRONZE RAL-8019-T <input type="checkbox"/> GREEN RAL-6005-T	<input type="checkbox"/> INTERNAL HOUSE SIDE SHIELD - IH <input type="checkbox"/> EXTERNAL HOUSE SIDE SHIELD - EH <input type="checkbox"/> DIMMABLE DRIVERS (DIM) <input type="checkbox"/> HIGH COW DRIVING FOR HAZARDOUS SWITCHING OR NON-INCANDESCENT MOTOR SENSORS <input type="checkbox"/> PHOTO CELL VOLTAGE (EXAMPLE: PCS30) - PC-V <input type="checkbox"/> 10KV SURGE PROTECTOR <input type="checkbox"/> 20KV SURGE PROTECTOR (20KV & 48V ONLY) - 20SP

Sun Valley Lighting | 400 West Avenue | Redwood, CA 95561 | Phone: (415) 233-2000 | Fax: (415) 233-2001 | www.svl.com

HOWARD STEIN HUDSON
114 Turnpike Road, Suite 2C
Chelmsford, MA 01824
www.hshassoc.com

PREPARED FOR:
Neil Rosenberg
7 Tantaloon Road
Andover, MA 01810

THE TANTALLOON
PROPOSED MULTIFAMILY
REDEVELOPMENT PROJECT
7 TANTALLOON ROAD
ANDOVER, MA, 01810

NO	BY	DATE	DESCRIPTION
7	SM	3/27/19	ADJ. DATUM & ELEVATIONS
8	SM	6/04/19	PER REVIEW COMMENTS
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11	KE	4/20/20	REV LANDSCAPE PLAN
12	MB	9/08/20	REV LANDSCAPE PLAN
13	PB	7/27/21	NOI SUBMISSION
14	MB	08/31/22	NOI SUBMISSION

SITE PLAN

LIGHTING PLAN

DATE: 10-24-2017
PROJECT NUMBER: 17024
DESIGNED BY: TM
DRAWN BY: TM
CHECKED BY: KE

8/30/2022, L:\17024\CURRENT\17024_Site Plan.dwg
Matthew Baker

PREPARED FOR:
 Neil Rosenberg
 7 Tantalum Road
 Andover, MA 01810

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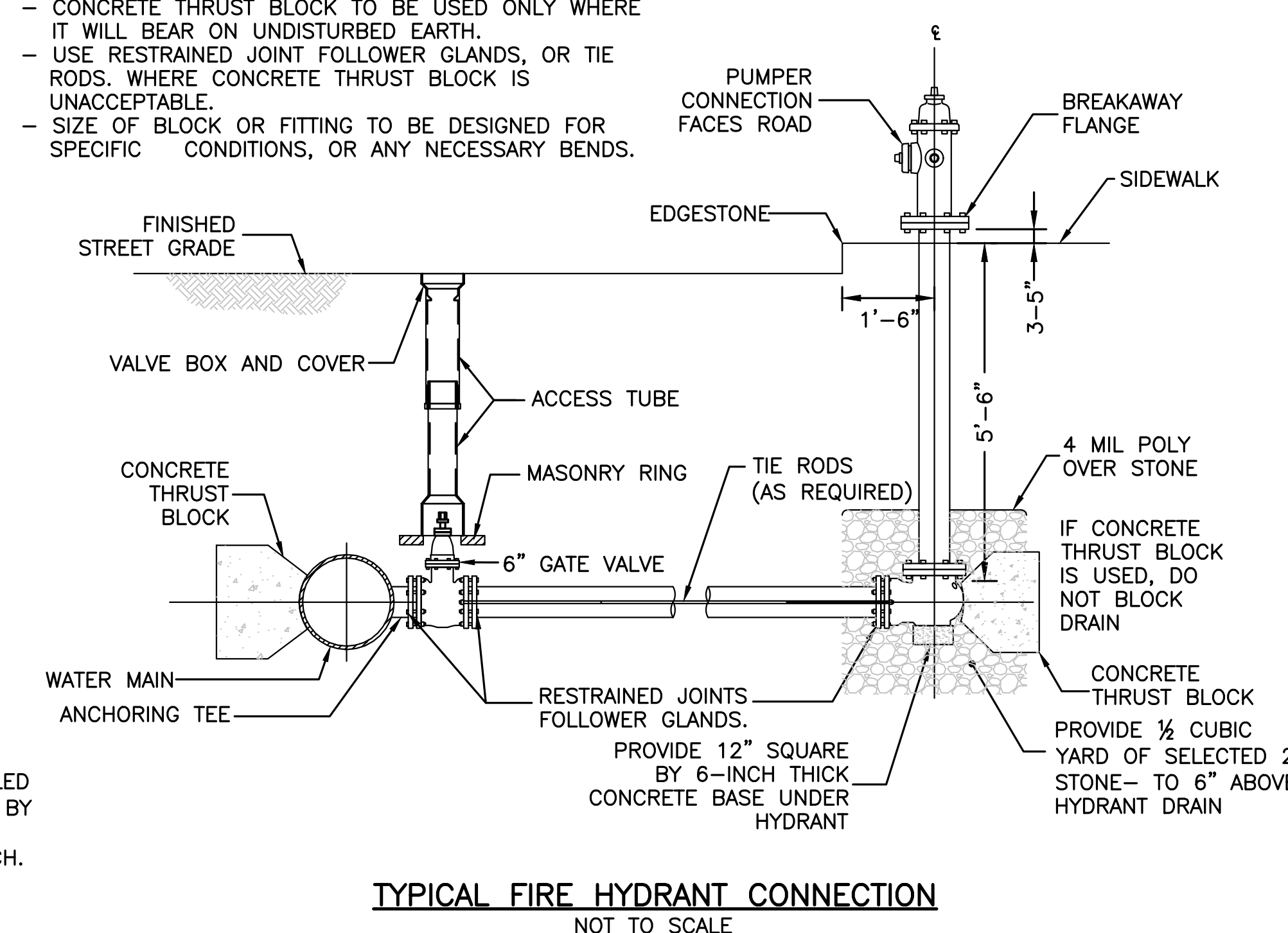


SITE PLAN

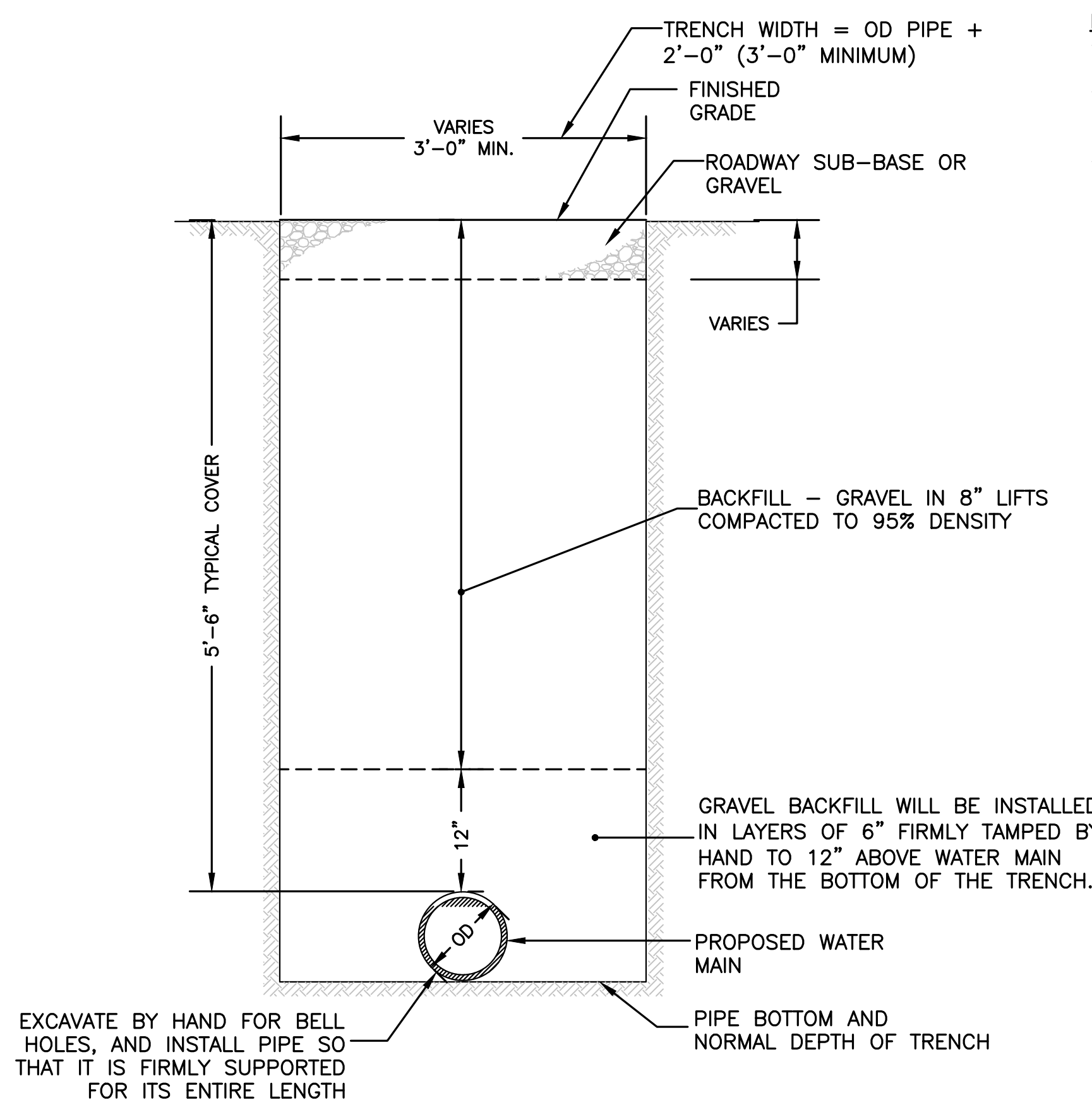
DETAIL SHEET
 2 OF 4

DATE:	10-24-2017
PROJECT NUMBER:	17024
DESIGNED BY:	TM
DRAWN BY:	TM
CHECKED BY:	KE

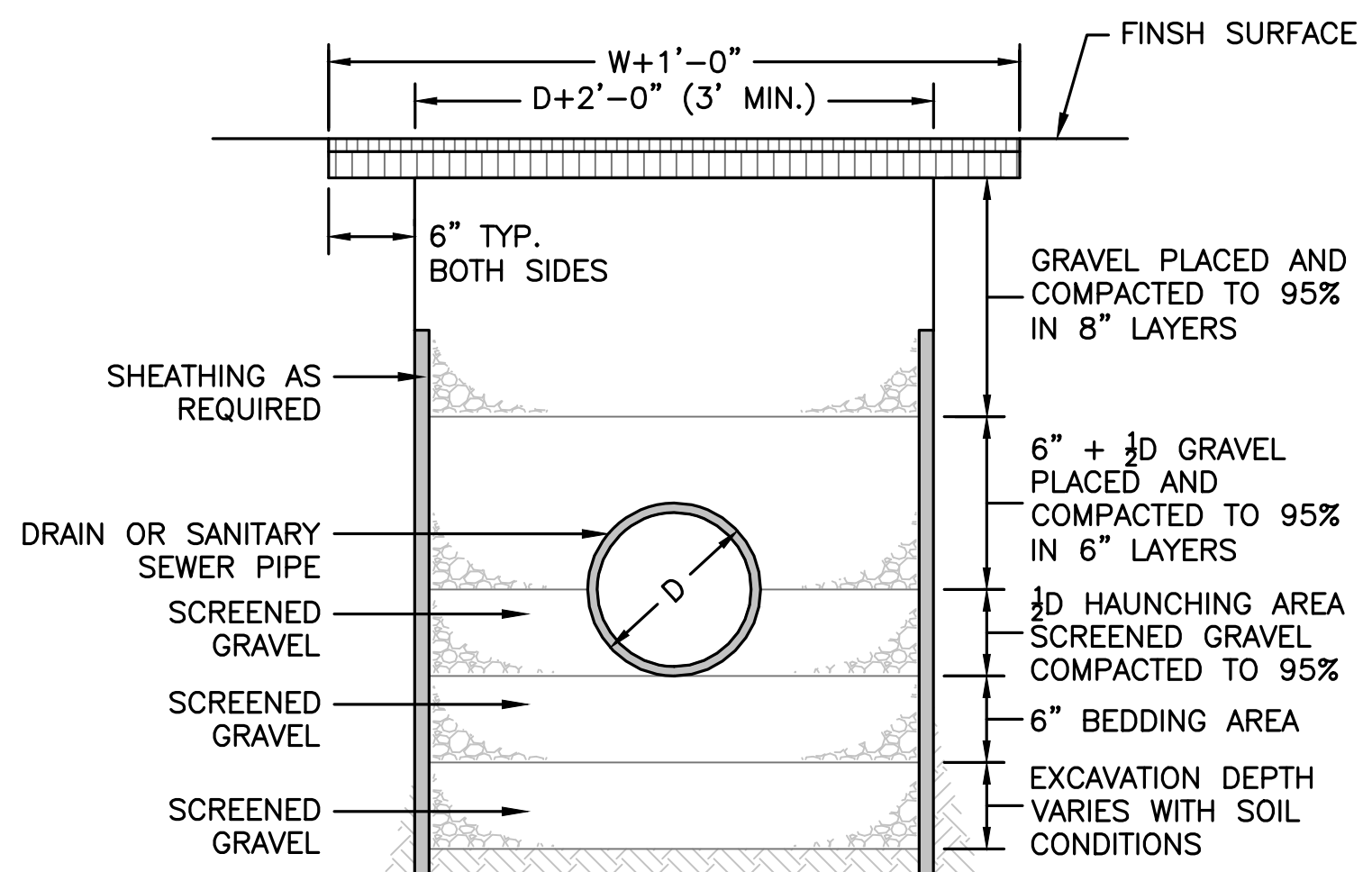
- NOTES:
 - CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH.
 - USE RESTRAINED JOINT FOLLOWER GLANDS, OR TIE RODS, WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE.
 - SIZE OF BLOCK OR FITTING TO BE DESIGNED FOR SPECIFIC CONDITIONS, OR ANY NECESSARY BENDS.



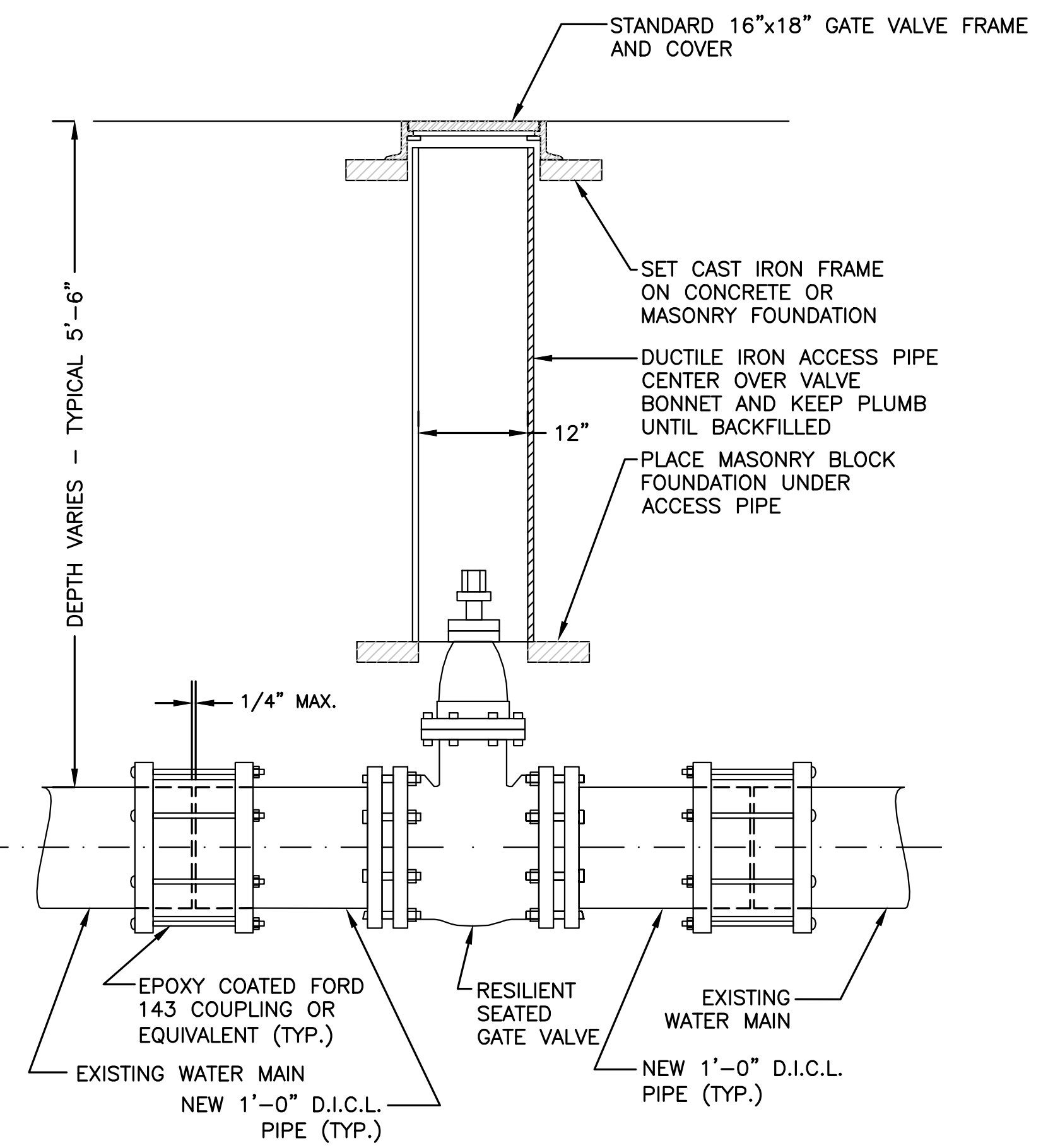
TYPICAL FIRE HYDRANT CONNECTION
 NOT TO SCALE



TRENCH DETAIL - WATER MAIN
 NOT TO SCALE

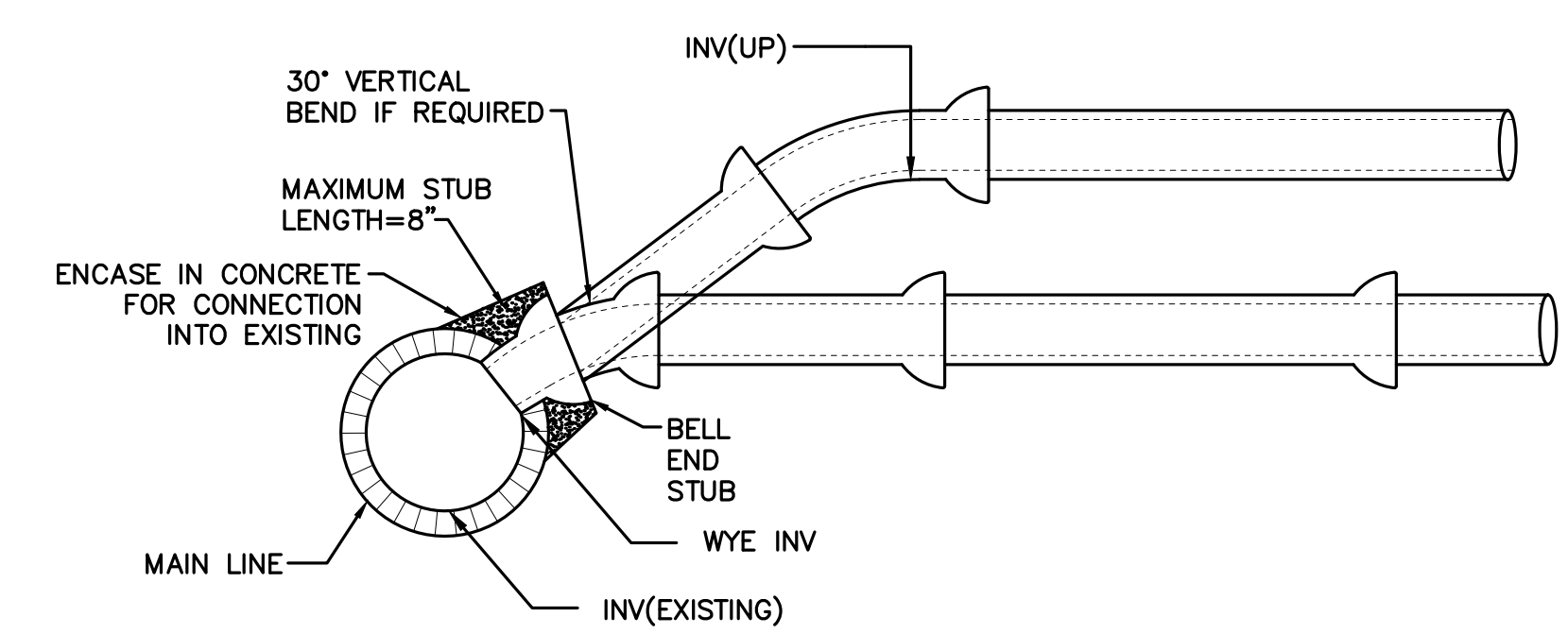


TRENCH DETAIL - DRAIN & SANITARY SEWER
 NOT TO SCALE

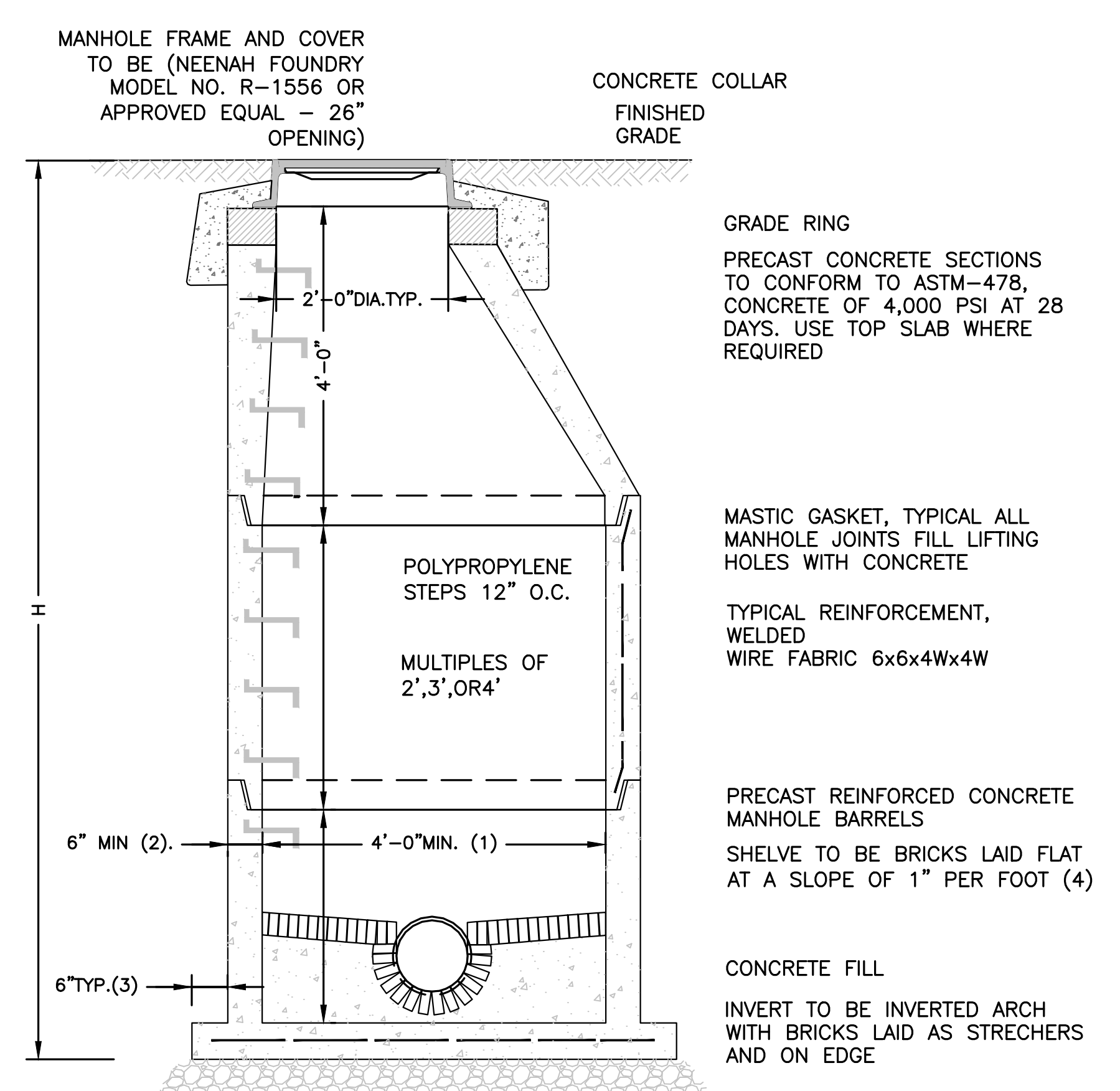


- NOTE:
 1. ALL EXCAVATION AND BACKFILLING AND PAVING SHALL BE IN ACCORDANCE WITH THE CITY OF BOSTON REQUIREMENTS.

TYPICAL GATE VALVE INSTALLATION
 NOT TO SCALE

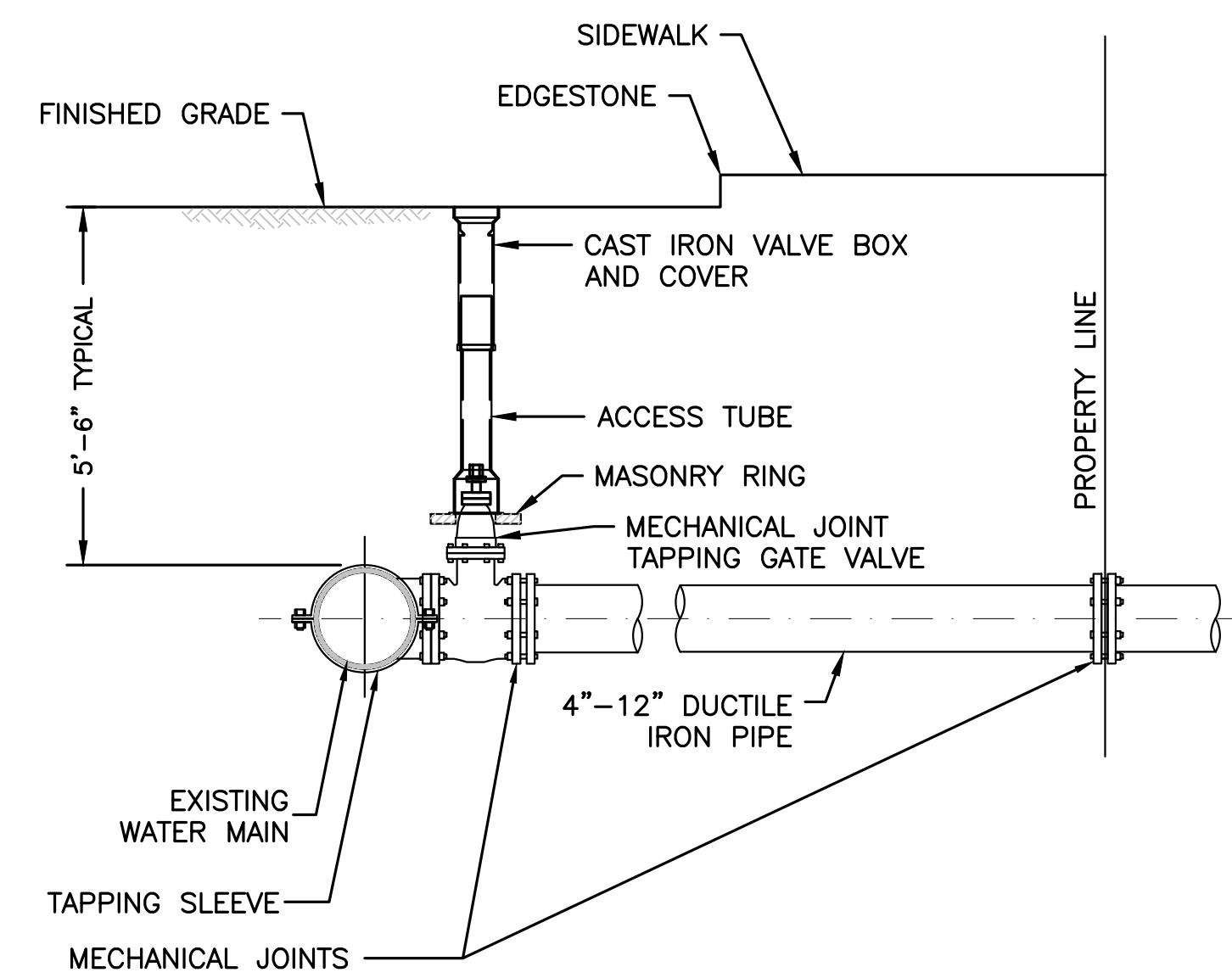


WYE CONNECTION
 NOT TO SCALE



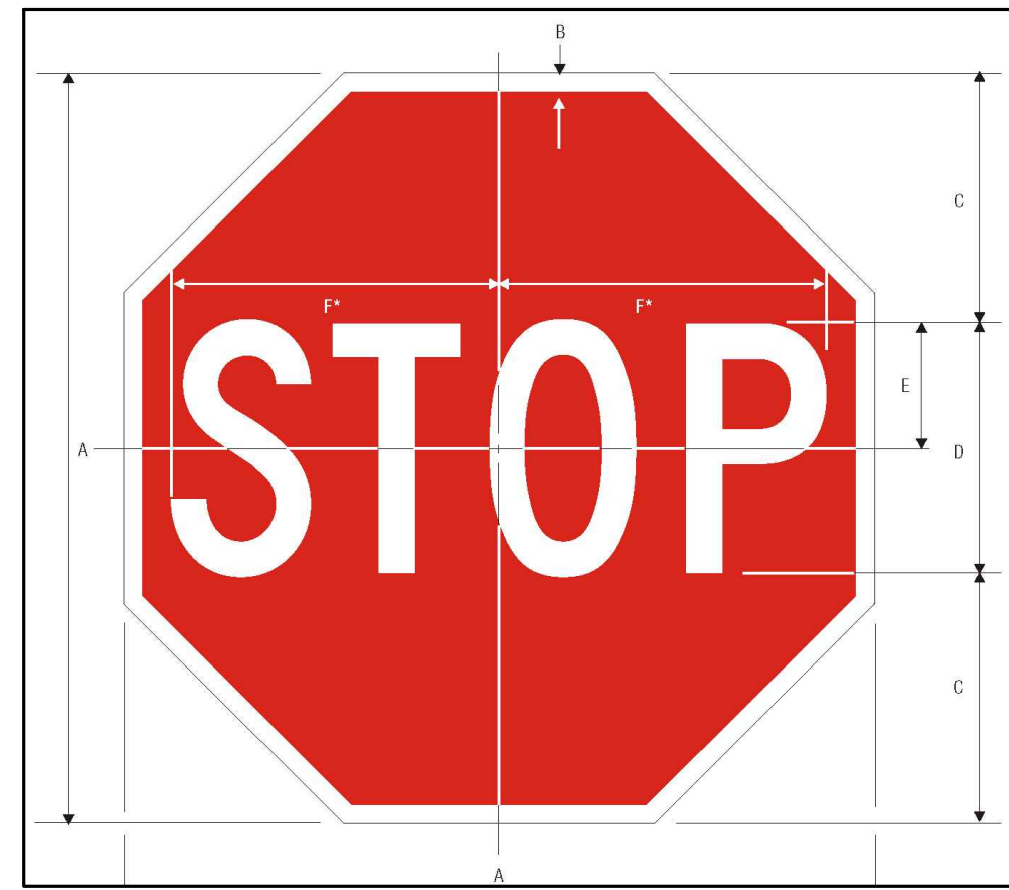
- NOTES:
 1. 5'-0" DIAMETER FOR ALL MANHOLE DEPTHS GREATER THAN 20 FEET OR WHEN ORDERED BY THE ENGINEER.
 2. 6 INCH MIN. WALL THICKNESS AND 7 INCH MIN. BASE THICKNESS WITH 5'-0" DIAMETER MANHOLES.
 3. 6 INCH LIP OPTIONAL UNLESS OTHERWISE NOTED. CONCRETE INVERT AND SHELF MAY BE SUBSTITUTED IN STORM DRAIN MANHOLES AS DIRECTED BY THE ENGINEER.

PRECAST CONCRETE MANHOLE
 NOT TO SCALE



- NOTES:
 1. CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH.
 2. USE RESTRAINED JOINT FITTINGS OR TIE RODS WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE.
 3. SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS.

TAPPING SLEEVE & VALVE
 NOT TO SCALE



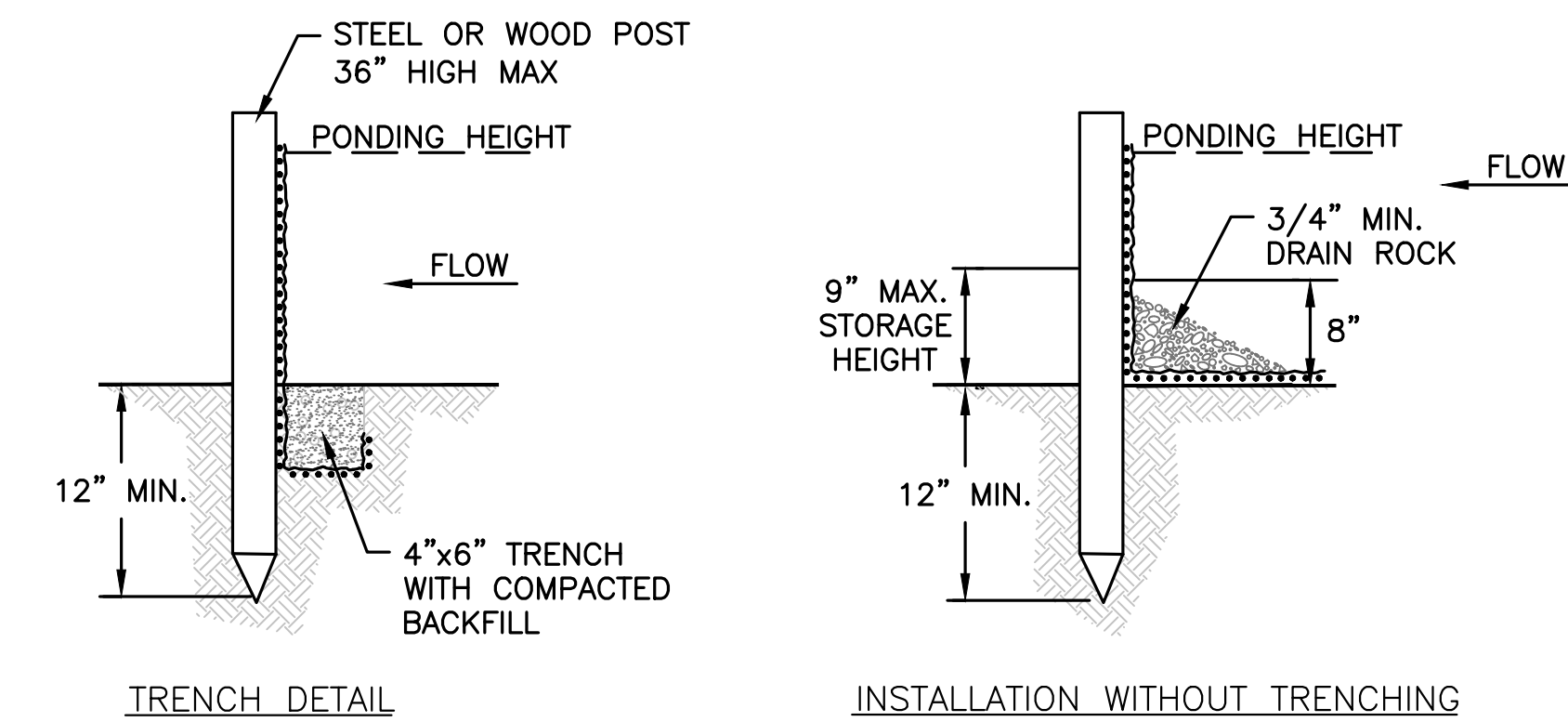
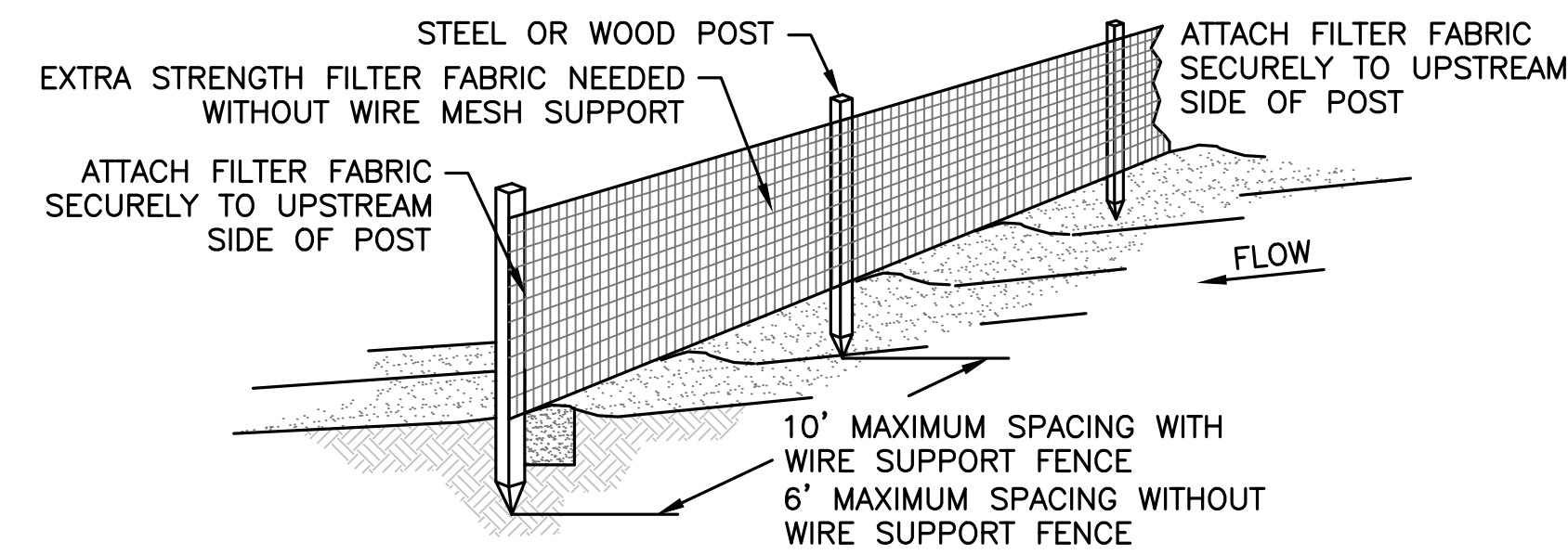
STOP SIGN R1-1 DETAIL
NOT TO SCALE



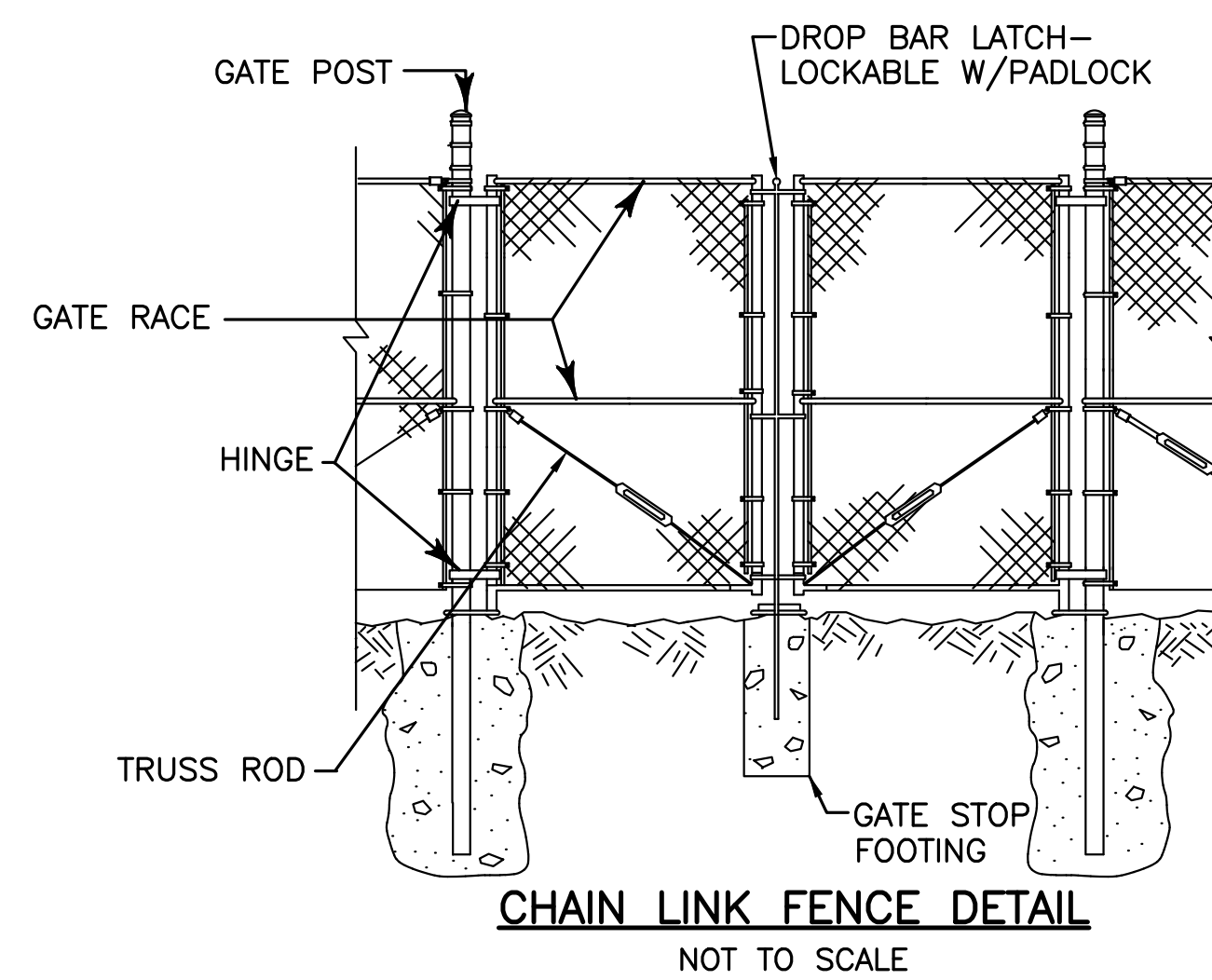
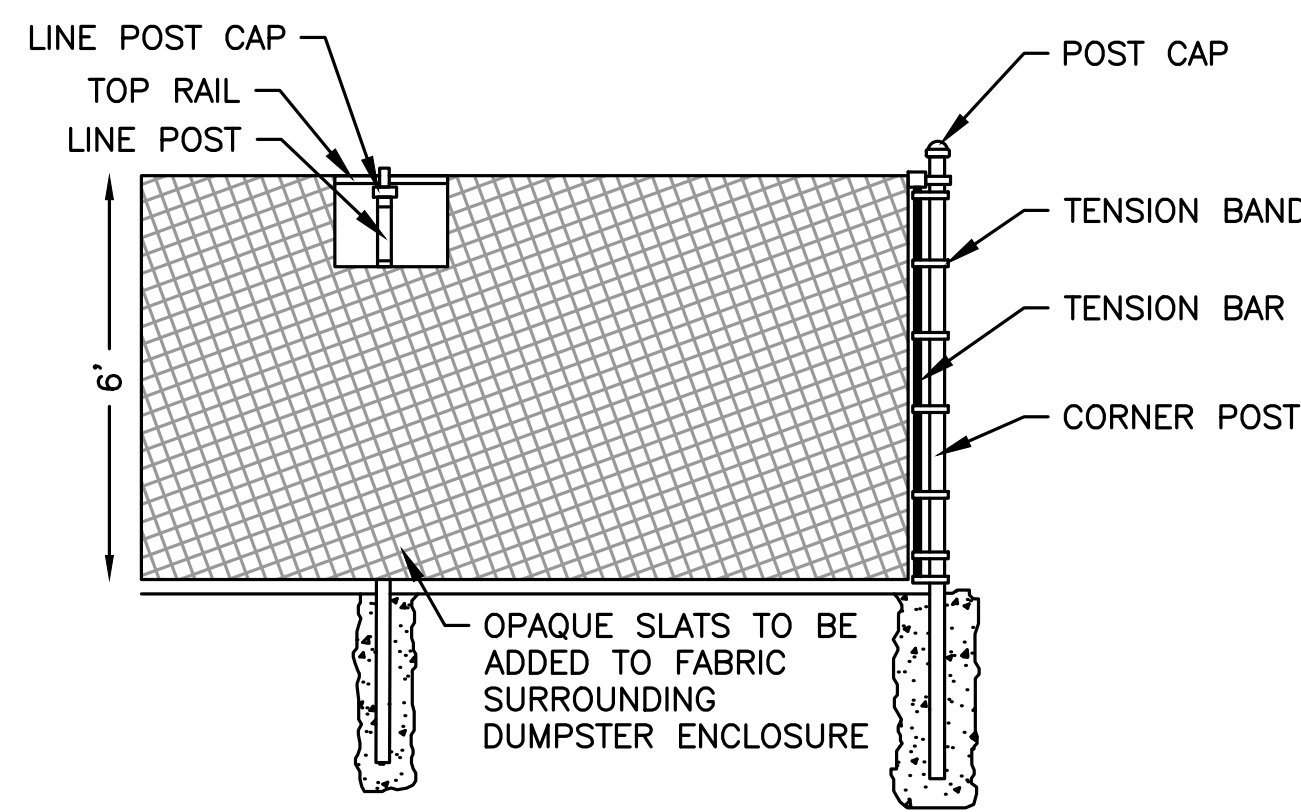
HANDICAP & VAN ACCESSIBLE SIGNS DETAIL
NOT TO SCALE



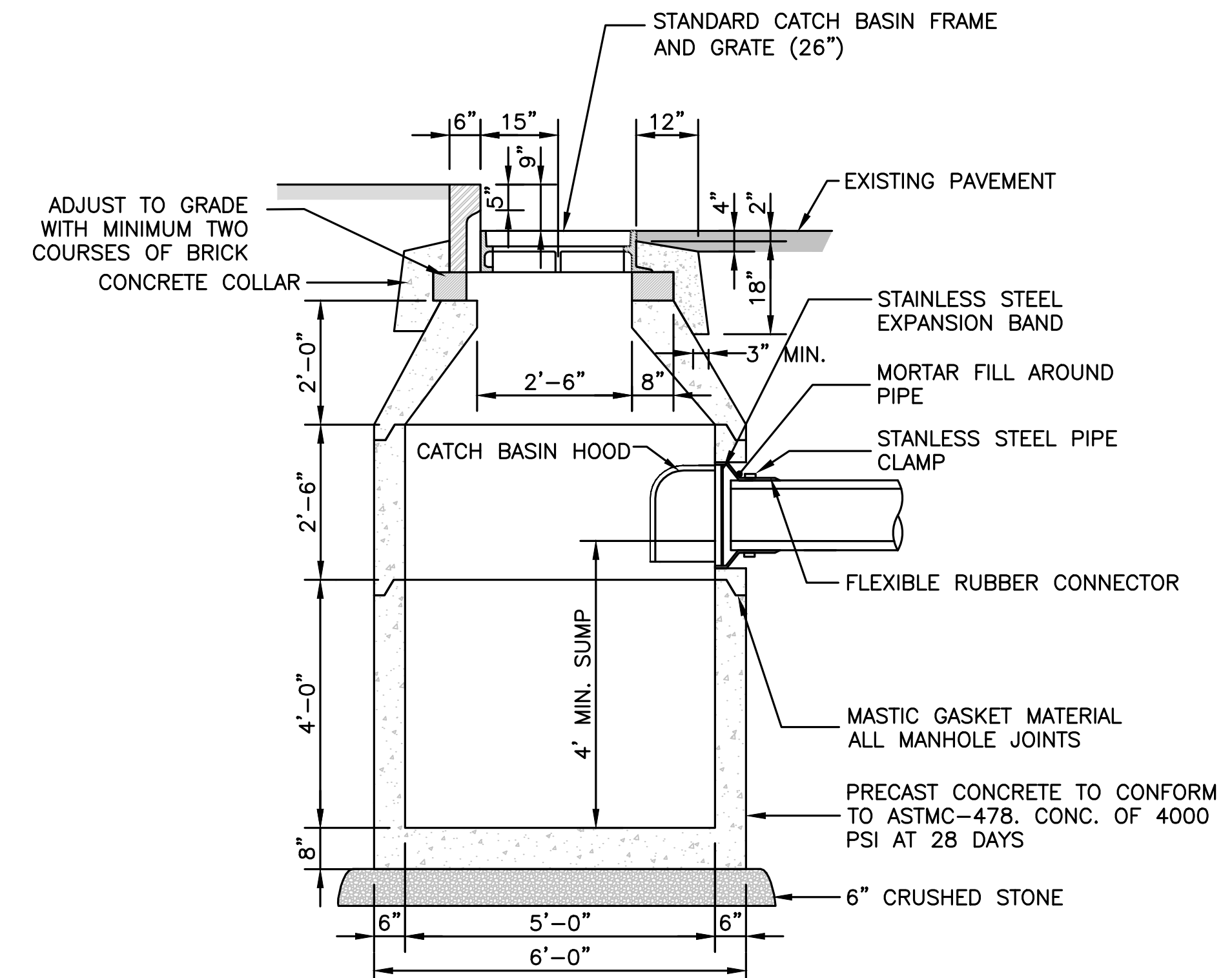
FLOOD SIGNAGE
NOT TO SCALE



SILT FENCE BARRIER
NOT TO SCALE

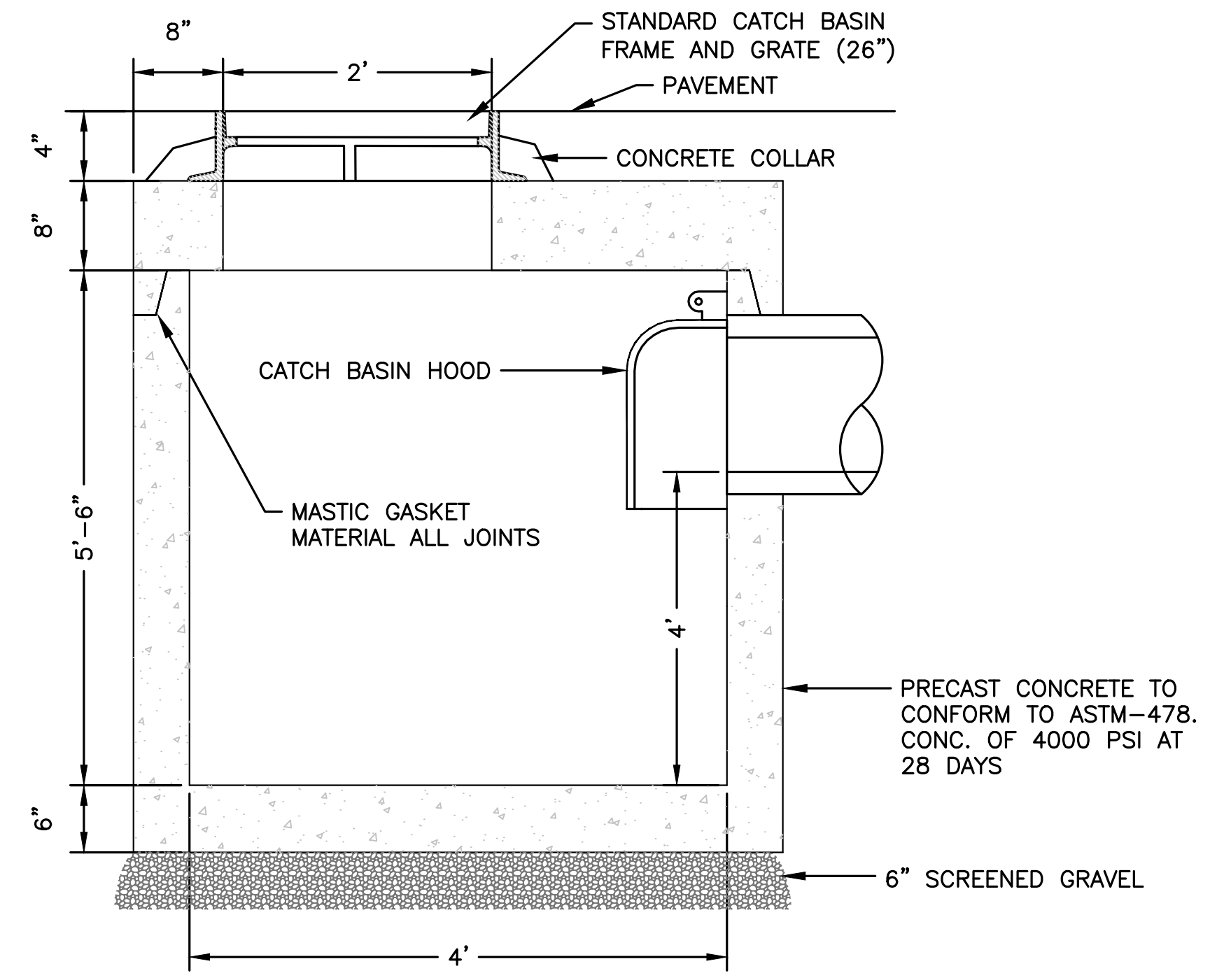


CHAIN LINK FENCE DETAIL
NOT TO SCALE



NOTES:
1. ADEQUATE FOR H-20 MINIMUM LOADING.

CATCH BASIN
NOT TO SCALE



SHALLOW CATCH BASIN DETAIL
NOT TO SCALE

PREPARED FOR:
Neil Rosenberg
7 Tantalum Road
Andover, MA 01810

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ANDOVER, MA, 01810**

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SITE PLAN

DETAIL SHEET
3 OF 4

DATE:	10-24-2017
PROJECT NUMBER:	17024
DESIGNED BY:	TM
DRAWN BY:	TM
CHECKED BY:	KE



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SITE
 PLAN

DETAIL
 SHEET
 4 OF 4

DATE: 10-24-2017

PROJECT NUMBER: 17024

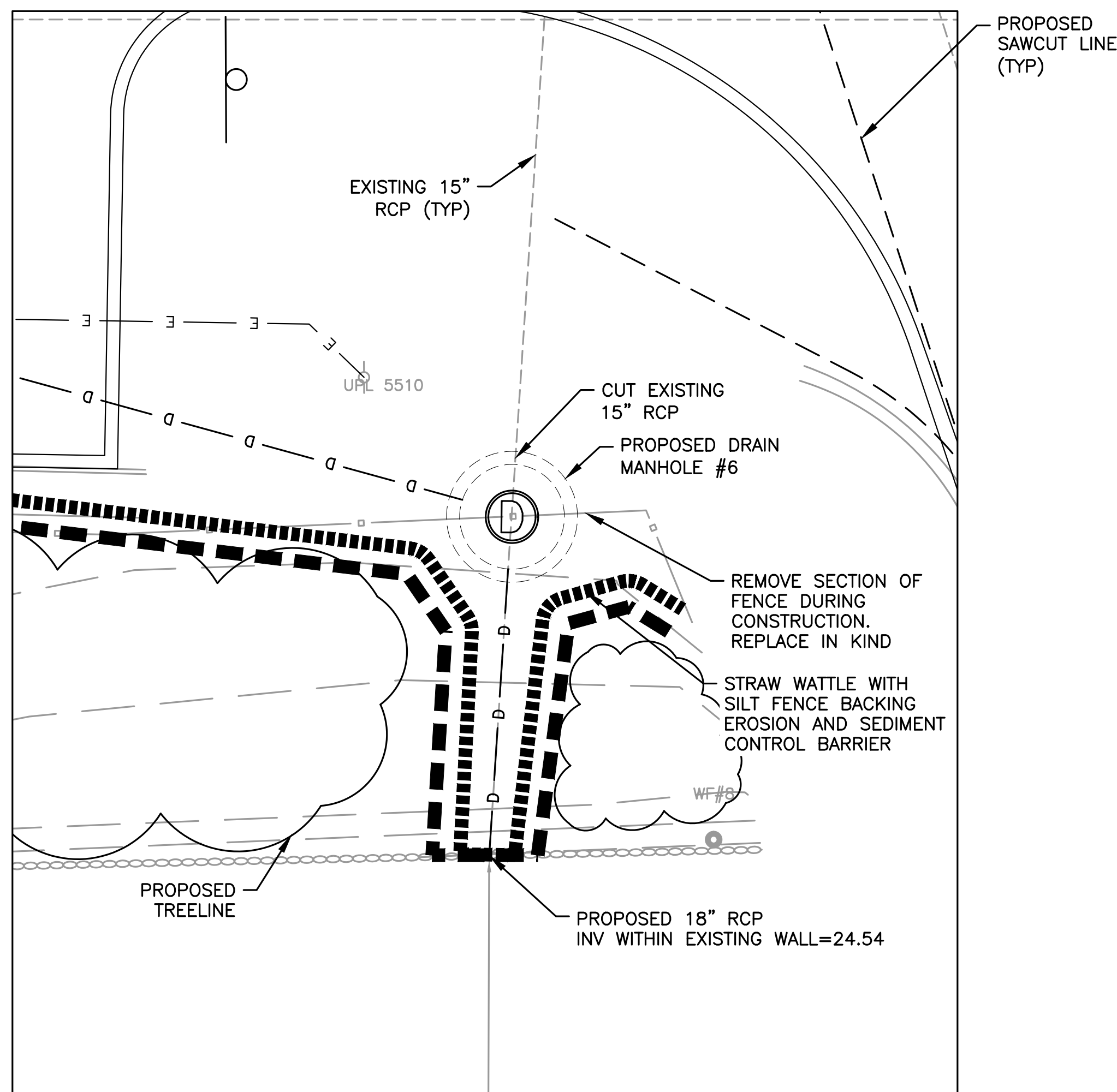
DESIGNED BY: TM

DRAWN BY: TM

CHECKED BY: KE

11

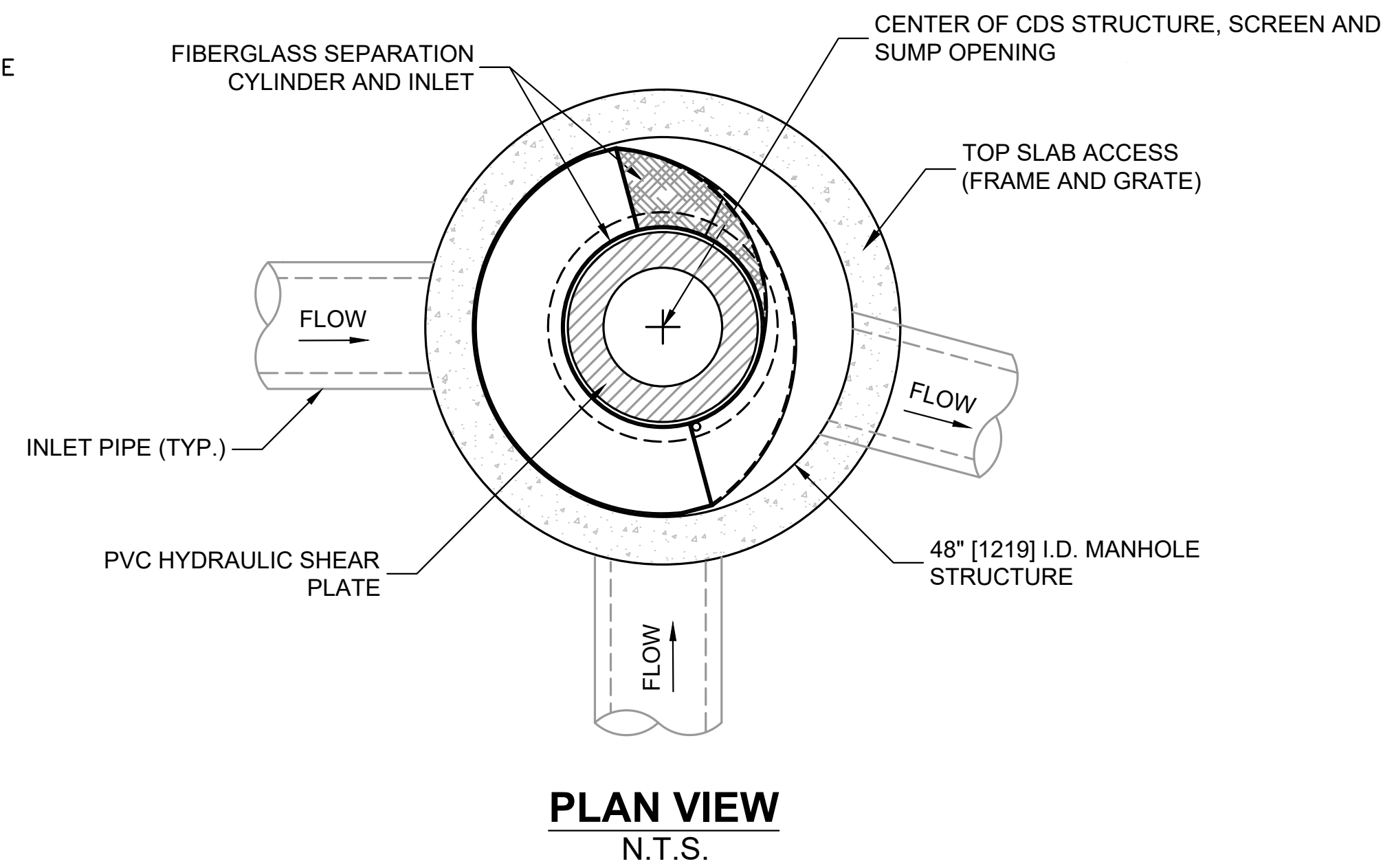
SHEET 11 OF 11



OUTLET REPLACEMENT DETAIL
 SCALE 1"=4'

INSTALLATION NOTES

1. PLACE EROSION CONTROLS, BOTH STRAW WATTLE AND SILT FENCE AT LIMIT OF WORK.
2. REMOVE STONES PLACED AT OUTLET BY HAND. PLACE STONES ADJACENT TO PIPE INSTALLATION FOR REUSE.
3. EXCAVATE PIPE AND CUT TO INSTALL NEW DRAINAGE MANHOLE.
4. INSTALL NEW DRAINAGE MANHOLE #6.
5. INSTALL NEW 18" RCP MAINTAINING THE SAME INVERT ELEVATION.
6. PLACE STONES AND ROCKS AROUND PIPE AND CAP IN KIND TO EXISTING WALL.
7. TO SECURE SLOPE LOAM AND SEED EXPOSED SOILS, INSTALL BIODEGRADABLE EROSION CONTROL BLANKET, PLANT SHRUBS PER LANDSCAPE PLAN.
8. LEAVE EROSION CONTROLS IN PLACE UNTIL ALL VEGETATION IS STABILIZED.

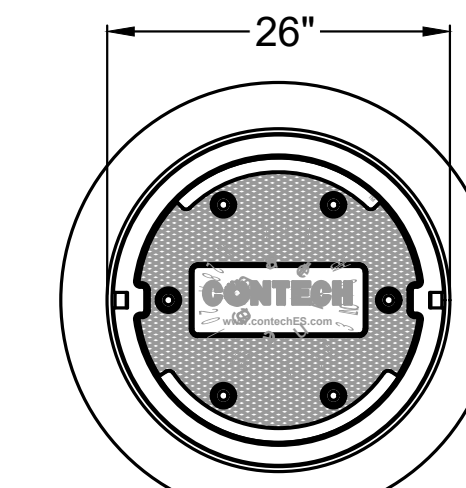
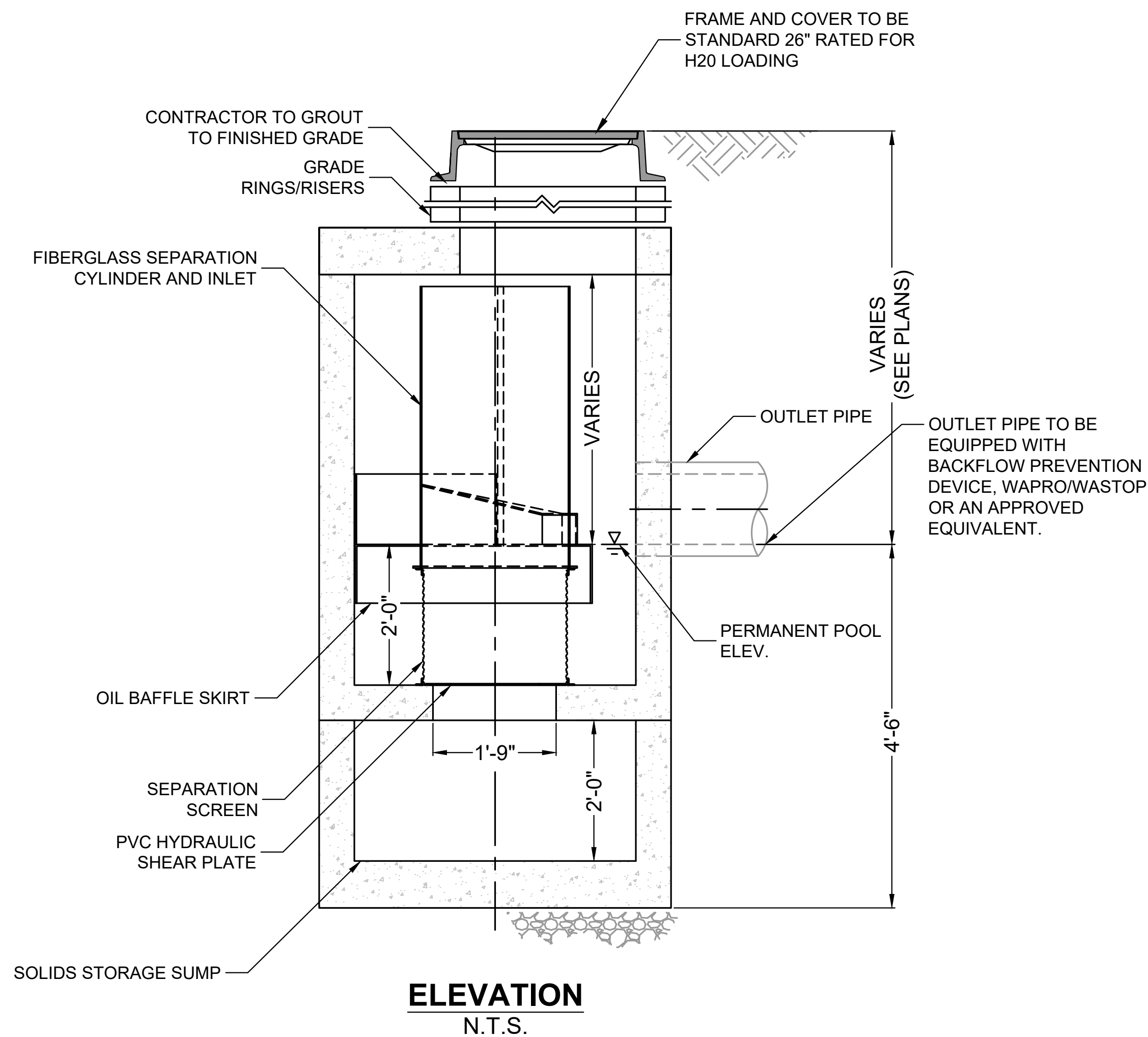


GENERAL NOTES

1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ContechES.com
3. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
4. STRUCTURE SHALL MEET AASHTO H520 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2', AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
5. IF REQUIRED, PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
6. CDS STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES

- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
- C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
- E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



FRAME AND COVER
 N.T.S.
 (PROVIDED BY CONTECH)

DRAIN MANHOLE #6
CONTECH CDS 2015-4 WATER QUALITY UNIT
 NOT TO SCALE
 *DETAIL PROVIDED BY CONTECH