

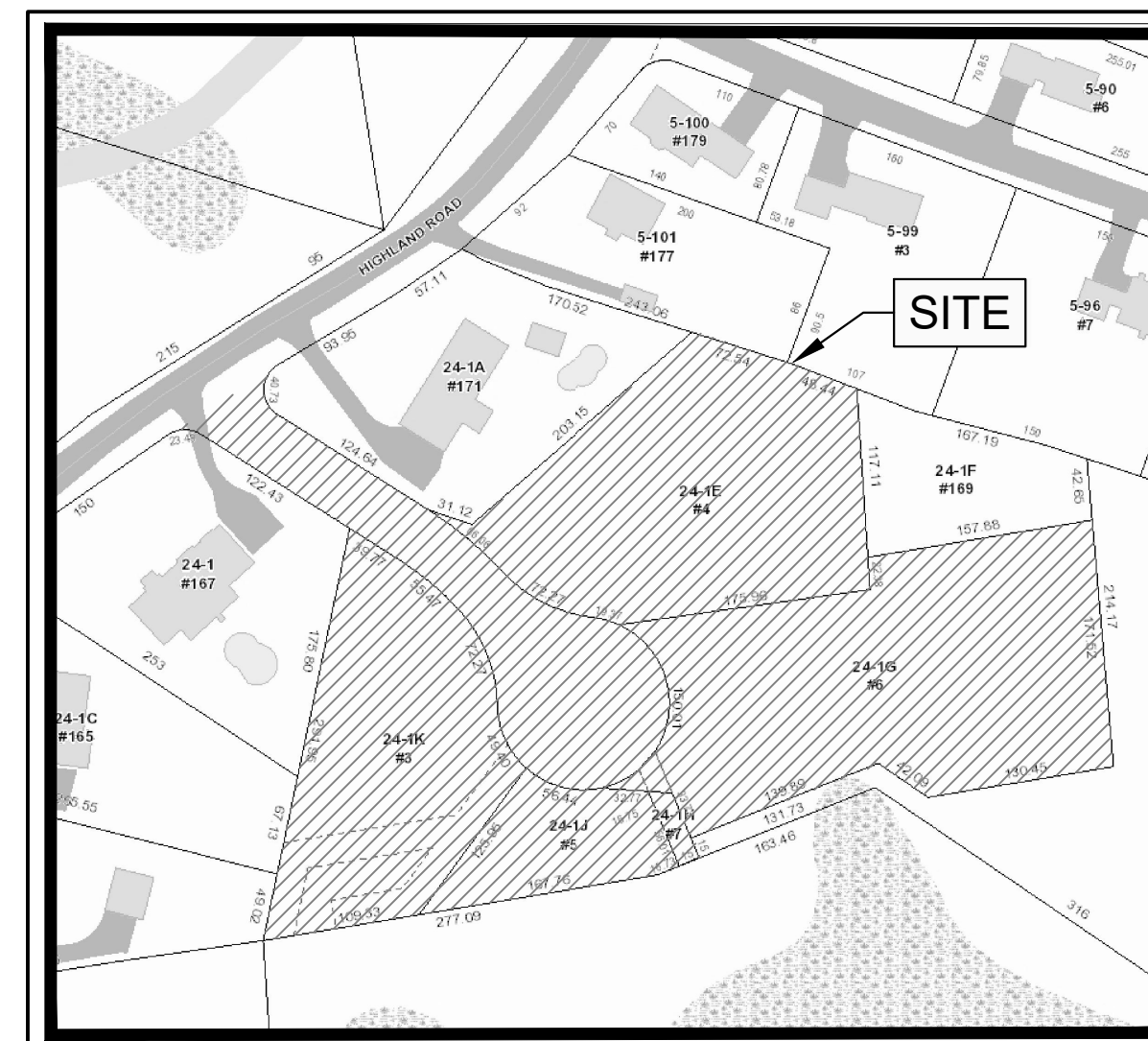
MODIFIED DEFINITIVE SUBDIVISION PLAN FOR SELLERS FARM ESTATES

ANDOVER, MA 01810
DATE: FEBRUARY 25, 2022
REVISED: SEPTEMBER 13, 2022

PREPARED FOR:
LRC BUILDERS, LLC
475 BOSTON ROAD
BILLERICA, MA 01821

INDEX OF DRAWINGS

| SHEET NO. | DWG NO. | DRAWING TITLE |
|-----------|---------|--|
| 1. | CS0001 | COVER SHEET |
| 2. | CS0002 | NOTES AND LEGEND |
| 3. | CS0200 | LOT PLAN |
| 4. | CS0201 | EXISTING CONDITIONS PLAN |
| 5. | CS1001 | LAYOUT AND MATERIALS PLAN |
| 6. | CS1501 | GRADING AND DRAINAGE PLAN |
| 7. | CS3501 | UTILITY PLAN AND PROFILE |
| 8. | CS3502 | ROADWAY |
| 9. | CS6001 | SITE DETAILS |
| 10. | CS6002 | UTILITY DETAILS |
| 11. | CS6021 | DRAINAGE DETAILS |
| 12. | CS6022 | DRAINAGE DETAILS & WATER DETAILS |
| 13. | CS8001 | EROSION AND SEDIMENT CONTROL PLAN |
| 14. | CS8501 | EROSION AND SEDIMENT CONTROL NOTES & DETAILS |



LOCUS MAP
N.T.S.

PREPARED BY:

RANGER ENGINEERING GROUP, INC



Ranger Engineering Group, Inc.

13 Red Roof Lane, Suite 203

Salem NH, 03079

Tel: 978-208-1762

rangereng.com

THE PURPOSE OF THIS PLAN IS TO MODIFY THE ROADWAY CONSTRUCTION OF THE ORIGINAL APPROVED DEFINITIVE PLAN FOR SELLERS FARM ESTATES.

WAIVERS REQUIRED:

SECTION 6C4(e): ALLOW FIRST TWO DRIVEWAYS TO BE 350' AND 375' FROM THE INTERSECTION OF HIGHLAND AVE IN LIEU OF 150' REQUIRED.

CURRENT PROPERTY OWNER

JOHN SAN CARTIER
5406 TYBEE ISLAND DR
APOLLO BEACH, FL 33572

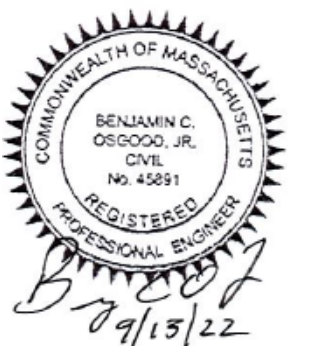
CLERKS CERTIFICATION ON THE PLAN
I, THE CLERK OF THE TOWN OF ANDOVER DO HEREBY CERTIFY THAT THE NOTICE OF THE APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE

DATE

TOWN OF ANDOVER PLANNING BOARD

NAME DATE

Ranger Engineering Group, Inc.
13 Red Roof Lane, Suite 203
Salem NH, 03079
Tel: 978-208-1762
rangereng.com



MODIFIED DEFINITIVE SUBDIVISION
SELLERS FARM ROAD
ANDOVER, MASSACHUSETTS
COVER SHEET
PREPARED FOR
LRC BUILDERS LLC
475 BOSTON ROAD
BILLERICA, MASSACHUSETTS 01821

| NO. | DATE | REVISIONS | BY |
|-----|------------|----------------------|-----|
| 2 | 08-13-2022 | PEER REVIEW COMMENTS | BCO |
| 1 | 07-06-2022 | PEER REVIEW COMMENTS | BCO |

| | |
|---------------|------------|
| PROJECT | 21-194 |
| DATE | 2022-03-04 |
| DRAWING SCALE | AS NOTED |
| DRAWN BY | DJO |
| APPROVED BY | BCO |

CS0001
SHEET 1 OF 14

Z:\PROJECTS\LDC-Bldg\14-SELLERS FARM RD, ANDOVER, MA\DC\PC - PROJECT STATUS - PLOTTED: 01/20/2021 11:51 AM BY: GMP/PC F:\STYLE\TITEN\KCS-08

| EXISTING | PROPOSED |
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FLOOD ZONE INFORMATION

NO PORTION OF BUILDING IS LOCATED IN A FLOOD HAZARD ZONE AS MAPPED BY FEMA. (ESSEX COUNTY, MASSACHUSETTS, FIRM MAP NO. 25090C0238F, EFFECTIVE DATE JULY 3, 2012). NO FIELD ELEVATION SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION.

SURVEYOR NOTES

1. PLOT PLAN FROM A FIELD SURVEY DONE BY RANGER ENGINEERING GROUP, INC. ON NOVEMBER 17 & 24, 2021.
2. DEED REFERENCE: BOOK 11492 PAGE 119 ESSEX NORTH REGISTRY OF DEEDS
3. PLAN REFERENCE: PL-15034 ESSEX NORTH REGISTRY OF DEEDS
4. THE BASIS OF ELEVATION FOR THIS PLAN IS NGVD 1929.

REFERENCE DEEDS:

1. BOOK 365 PAGE 48 ESSEX NORTH REGISTRY OF DEEDS
2. BOOK 7562 PAGE 257 ESSEX NORTH REGISTRY OF DEEDS
3. BOOK 7562 PAGE 268 ESSEX NORTH REGISTRY OF DEEDS
4. BOOK 11486 PAGE 140 ESSEX NORTH REGISTRY OF DEEDS
5. BOOK 11492 PAGE 119 ESSEX NORTH REGISTRY OF DEEDS

REFERENCE PLANS:

1. PL-257
2. PL-14459
3. PL-15034
4. PL-16056
5. PL-16057

CONSTRUCTION NOTES:

1. **CONSTRUCTION**
 - A. **TOPSOIL:**
EXISTING TOPSOIL AND SUBSOIL SHALL BE REMOVED FROM ROADWAY AND BUILDING AREAS AND STOCKPILED.
 - B. **TREES AND STUMPS:**
TREES AND STUMPS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN AN APPROVED MANNER. STUMPS SHALL NOT BE BURIED ON SITE.
2. **MATERIALS**
 - A. **BITUMINOUS CONCRETE PAVEMENT:**
PARKING AREAS:
SURFACE COURSE: 1-1/2 INCHES CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE I-1 WEARING COURSE
BINDER COURSE: 2-1/2 INCHES CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE I-1 BINDER COURSE
GRAVEL BASE COURSE: 12 INCHES COMPACTED SUB-BASE, M1.030 TYPE B
 - B. **LANDSCAPE AREAS:**
DISTURBED AREAS NOT COVERED BY STRUCTURES OR PAVEMENT AND NOT OTHERWISE SPECIFIED ON THE LANDSCAPE PLAN SHALL RECEIVE 6 INCHES OF TOPSOIL. THESE AREAS ARE TO BE SEEDED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
 - C. **TRAFFIC CONTROLS:**
ALL SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)
3. **UTILITIES**
 - A. **EXISTING UTILITIES:**
THE LOCATION AND ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON THE SURVEY NOTED ABOVE AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION AND PRIOR TO ORDERING STRUCTURES.
 - B. **PRIVATE UTILITIES:**
THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE OR ELECTRIC). FINAL DESIGN AND LOCATIONS AT THE BUILDING WILL BE PROVIDED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE UTILITY CONNECTIONS WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO ANY UTILITY CONSTRUCTION OR DEMOLITION.
 - C. **STORM DRAINAGE:**
STORM DRAIN PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH CORRUGATED EXTERIOR, SMOOTH LINED (n=0.013) WITH SOIL TIGHT JOINTS UNLESS OTHERWISE NOTED ON THE GRADING & DRAINAGE PLAN.
 - D. **PROPOSED STRUCTURES:**
RIM ELEVATIONS OF PROPOSED DRAINAGE MANHOLES AND ASSOCIATED STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLAN. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE WITHIN LIMITS OF WORK.

| TP1 | | | | |
|-------------------------|---------|---------|----------|-------------|
| DEPTH | HORIZON | TEXTURE | COLOR | MOTTLING |
| 0-8" | A | SL | 10YR 3/2 | |
| 8-22" | B | SL | 10YR 4/6 | |
| 22-72" | C | LS | 2.5Y 5/6 | REDOX @ 48" |
| NO WATER, REFUSAL @ 72" | | | | |

| TP2 | | | | |
|---------------|---------|---------|----------|-------------|
| DEPTH | HORIZON | TEXTURE | COLOR | MOTTLING |
| 0-16" | A | SL | 10YR 3/2 | |
| 16-36" | B | SL | 10YR 4/6 | |
| 36-47" | C | LS | 2.5Y 5/6 | REDOX @ 40" |
| REFUSAL @ 47" | | | | |

| TP3 | | | | |
|-------------------------|---------|---------|----------|-------------|
| DEPTH | HORIZON | TEXTURE | COLOR | MOTTLING |
| 0-20" | A | SL | 10YR 3/2 | |
| 20-36" | BW | SL | 10YR 4/6 | |
| 36-67" | C | SL | 2.5Y 4/4 | REDOX @ 36" |
| NO WATER, REFUSAL @ 67" | | | | |

| TP4 | | | | |
|-------------------------------------|---------|---------|----------|-------------|
| DEPTH | HORIZON | TEXTURE | COLOR | MOTTLING |
| 0-24" | A | SL | 10YR 3/2 | |
| 24-36" | BW | SL | 10YR 4/6 | |
| 36-57" | C | SL | 2.5Y 4/4 | REDOX @ 36" |
| NO WATER, REFUSAL @ 32" - 36" - 57" | | | | |

| TP5 | | | | |
|-------------------------|---------|---------|----------|-------------|
| DEPTH | HORIZON | TEXTURE | COLOR | MOTTLING |
| 0-8" | A | SL | 10YR 2/2 | |
| 8-20" | BW | SL | 10YR 4/6 | |
| 20-48" | C | LS | 2.5Y 4/4 | REDOX @ 33" |
| NO WATER, REFUSAL @ 48" | | | | |

| TP6 | | | | |
|----------------------|---------|---------|----------|-------------|
| DEPTH | HORIZON | TEXTURE | COLOR | MOTTLING |
| 0-10" | A | SL | 10YR 2/2 | |
| 10-21" | BW | SL | 10YR 4/6 | |
| 21-57" | C | LS | 2.5Y 5/6 | REDOX @ 21" |
| WATER, REFUSAL @ 57" | | | | |

| TP7 | | | | |
|---------------------------|---------|---------|----------|-------------|
| DEPTH | HORIZON | TEXTURE | COLOR | MOTTLING |
| 0-10" | A | SL | 10YR 2/2 | |
| 10-30" | B | SL | 10YR 4/6 | |
| 30-76" | C | SL | 2.5Y 5/6 | REDOX @ 17" |
| WEEPING @ 30", NO REFUSAL | | | | |

| TP8 | | | | |
|----------------------|---------|---------|----------|-------------|
| DEPTH | HORIZON | TEXTURE | COLOR | MOTTLING |
| 0-8" | A | SL | 10YR 3/2 | |
| 8-26" | B | SL | 10YR 4/6 | |
| 26-72" | C | LS | 2.5Y 4/4 | REDOX @ 36" |
| NO WATER, NO REFUSAL | | | | |

| TP9 | | | | |
|--------------------------|---------|---------|----------|-------------|
| DEPTH | HORIZON | TEXTURE | COLOR | MOTTLING |
| 0-17" | A | SL | 10YR 3/2 | |
| 17-34" | B | SL | 10YR 4/6 | |
| 34-80" | C | LS | 2.5Y 4/4 | REDOX @ 42" |
| NO WATER, REFUSAL AT 80" | | | | |

| TP10 | | | | |
|----------------|---------|---------|----------|-------------|
| DEPTH | HORIZON | TEXTURE | COLOR | MOTTLING |
| 0-12" | A | SL | 10YR 3/2 | |
| 12-24" | B | SL | 10YR 4/6 | |
| 24-56" | C | LS | 2.5Y 4/4 | REDOX @ 16" |
| WEEPING AT 24" | | | | |

| TP11 | | | | |
|---------------|---------|---------|----------|----------|
| DEPTH | HORIZON | TEXTURE | COLOR | MOTTLING |
| 0-18" | A-FILL | SL | 10YR 3/2 | |
| 18-32" | B | SL | 10YR 4/6 | |
| 32-60" | C | LS | 2.5Y 5/6 | |
| REFUSAL @ 60" | | | | |

| TP12 | | | | |
|----------------------|---------|---------|----------|----------|
| DEPTH | HORIZON | TEXTURE | COLOR | MOTTLING |
| 0-18" | A | SL | 10YR 3/2 | |
| 17-34" | B | SL | 10YR 4/6 | |
| 34-80" | C | LS | 2.5Y 5/6 | |
| ROCK @ 48", TOP SIDE | | | | |

| TP13 | | | | |
|---------------|---------|---------|----------|----------|
| DEPTH | HORIZON | TEXTURE | COLOR | MOTTLING |
| 0-12" | A | SL | 10YR 3/2 | |
| 12-21" | B | SL | 10YR 4/6 | |
| 21-39" | C | LS | 2.5Y 5/6 | |
| REFUSAL @ 39" | | | | |

| TP14 | | | | |
|------------------------|---------|---------|----------|---------------|
| DEPTH | HORIZON | TEXTURE | COLOR | MOTTLING |
| 0-12" | A | SL | 10YR 3/2 | |
| 12-32" | BW | SL | 10YR 4/6 | |
| 32-60" | C | LS | 2.5Y 5/4 | @40" 10YR 5/8 |
| NO REFUSAL, NO WEEPING | | | | |

| TP15 | | | | |
|---------------|---------|---------|----------|---------------|
| DEPTH | HORIZON | TEXTURE | COLOR | MOTTLING |
| 0-6" | A | SL | 10YR 3/3 | |
| 6-20" | BW | SL | 10YR 4/6 | |
| 20-45" | C | LS | 2.5Y 5/6 | @30" 10YR 5/8 |
| REFUSAL @ 45" | | | | |

| TP16 | | | | |
|-----------------------------------|---------|---------|----------|----------|
| DEPTH | HORIZON | TEXTURE | COLOR | MOTTLING |
| 0-10" | A | SL | 10YR 3/3 | |
| 10-24" | BW | SL | 10YR 4/6 | |
| 24-60" | C | LS | 2.5Y 5/6 | |
| NO REFUSAL, NO WATER, REDOX @ 40" | | | | |

| TP17 | | | | |
|----------------------|---------|---------|----------|---------------|
| DEPTH | HORIZON | TEXTURE | COLOR | MOTTLING |
| 0-12" | A | SL | 10YR 3/2 | |
| 12-28" | BW | SL | 10YR 4/6 | |
| 28-60" | C | LS | 2.5Y 5/4 | @40" 10YR 5/8 |
| NO REFUSAL, NO WATER | | | | |

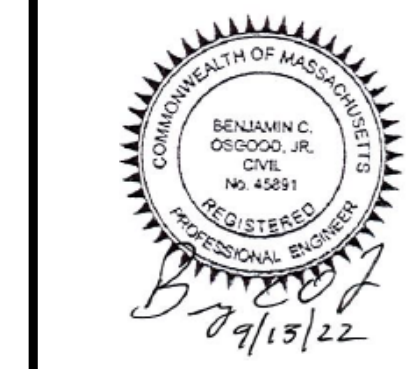
| TP18 | | | | |
|----------------------|---------|---------|----------|---------------|
| DEPTH | HORIZON | TEXTURE | COLOR | MOTTLING |
| 0-12" | A | SL | 10YR 3/2 | |
| 12-24" | BW | SL | 10YR 4/6 | |
| 24-60" | C | LS | 2.5Y 5/4 | @40" 10YR 5/8 |
| NO REFUSAL, NO WATER | | | | |

CLERKS CERTIFICATION ON THE PLAN
I, THE CLERK OF THE TOWN OF ANDOVER DO HEREBY CERTIFY THAT THE NOTICE OF THE APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE

DATE _____

TOWN OF ANDOVER PLANNING BOARD

NAME _____ DATE _____



MODIFIED DEFINITIVE SUBDIVISION
SELLERS FARM ROAD
ANDOVER, MASSACHUSETTS
NOTES & LEGEND
PREPARED FOR
LRC BUILDERS LLC
975 BOSTON ROAD
BILLERICA, MASSACHUSETTS 01821

| NO. | DATE | REVISIONS | BY |
|-----|------------|----------------------|-----|
| 2 | 08-13-2022 | PEER REVIEW COMMENTS | BCO |
| 1 | 07-06-2022 | PEER REVIEW COMMENTS | BCO |

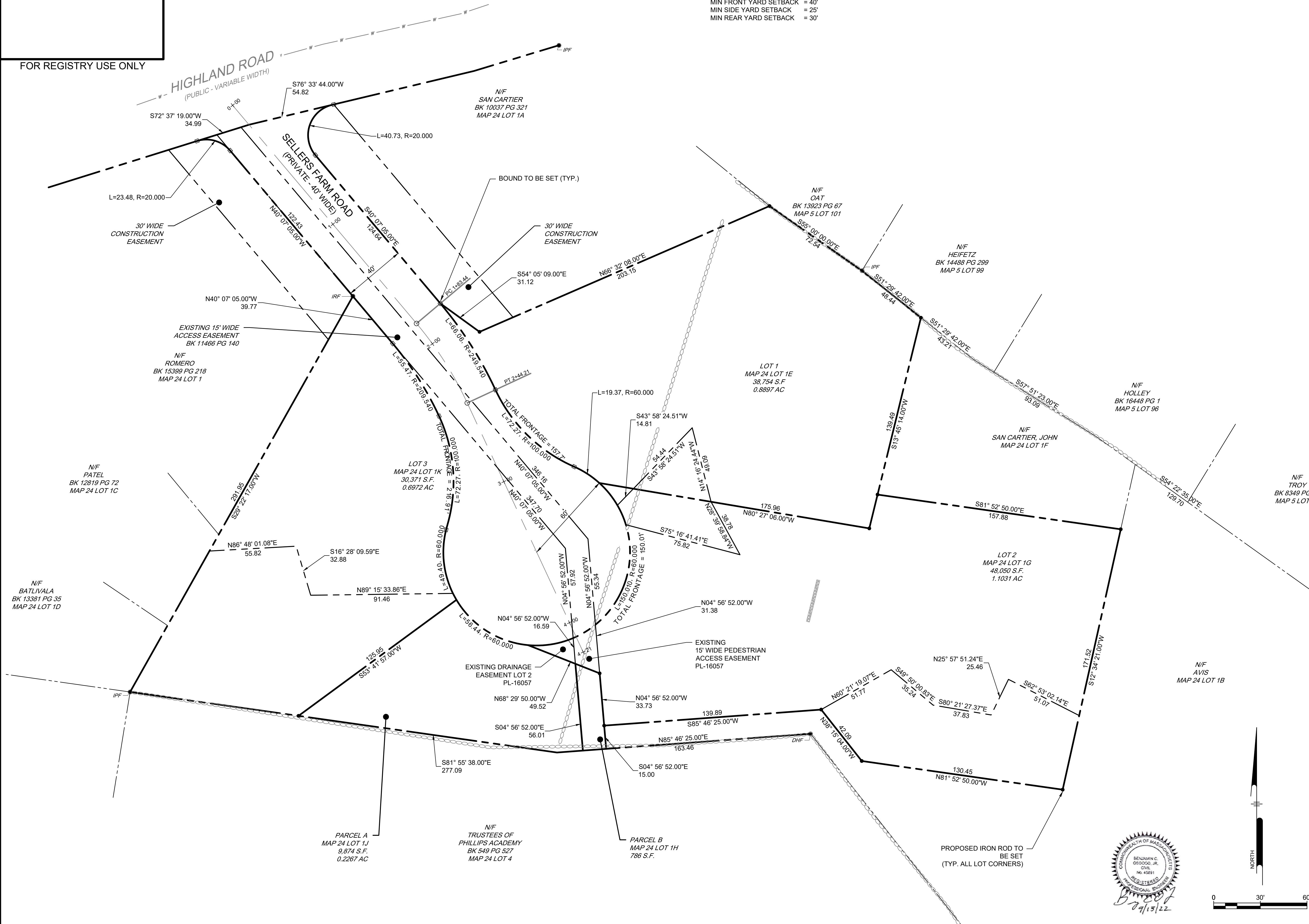
| | |
|---------------|------------|
| PROJECT | 21-194 |
| DATE | 2022-03-04 |
| DRAWING SCALE | AS NOTED |
| DRAWN BY | DJO |
| APPROVED BY | BCO |
| CS0002 | |
| SHEET | 2 OF 14 |

THE PURPOSE OF THIS PLAN IS TO MODIFY THE ROADWAY CONSTRUCTION OF THE ORIGINAL APPROVED DEFINITIVE PLAN FOR SELLERS FARM ESTATES.

THE LOTS ON THIS PLAN ARE AS THEY ARE SHOWN ON THE PLAN ENTITLED DEFINITIVE SUBDIVISION PLAN FOR SELLERS FARM ESTATES IN ANDOVER MASSACHUSETTS DATED MARCH 04, 2005 REVISED TO MARCH 18, 2005 RECORDED AS PLAN #16057 AT THE ESSEX NORTH REGISTRY OF DEEDS

ZONING DISTRICT: SINGLE RESIDENCE B
 MIN LOT AREA = 30,000 SF
 MIN LOT FRONTAGE = 150 FT
 MIN FRONT YARD SETBACK = 40'
 MIN SIDE YARD SETBACK = 25'
 MIN REAR YARD SETBACK = 30'

FOR REGISTRY USE ONLY



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| | |
|--------------------------------|------|
| _____ | DATE |
| TOWN OF ANDOVER PLANNING BOARD | |
| _____ | DATE |
| _____ | DATE |
| _____ | DATE |
| _____ | DATE |
| NAME | DATE |

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THE FOLLOWING:

1. THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

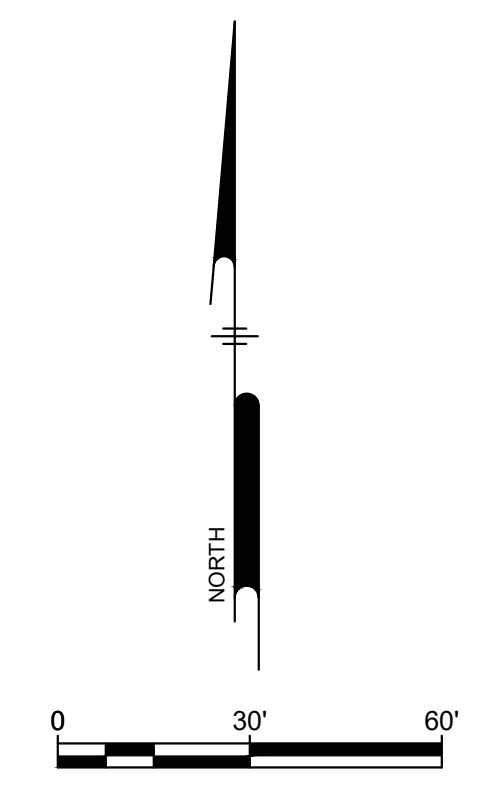
TIMOTHY J. WININGS _____ DATE

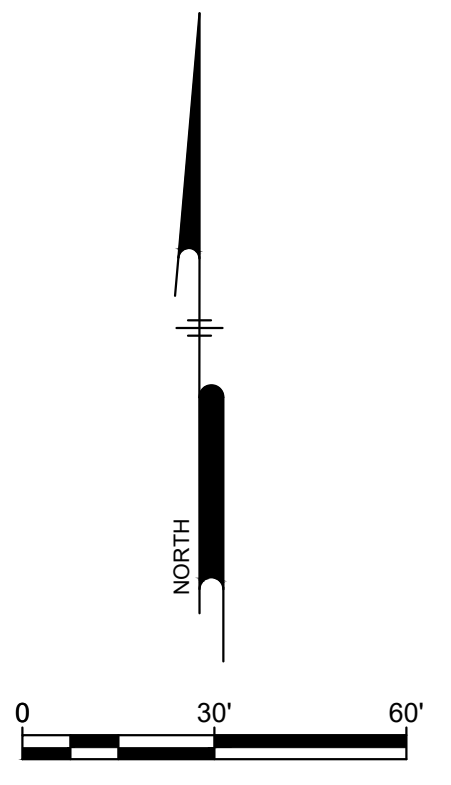
**MODIFIED DEFINITIVE SUBDIVISION
 LOT PLAN
 SELLERS FARM ROAD, ANDOVER, MA**

CS0200

PREPARED FOR:
 LRC BUILDERS, LLC
 475 BOSOTN ROAD
 BILLERICA, MASSACHUSETTS 01821

Ranger Engineering Group, Inc.
 13 Red Roof Lane, Suite 203
 Salem NH, 03079
 Tel: 978-208-1762
 rangereng.com





BENCHMARK: HEX BOLT
IN U-POLE #132
ELEV = 265.08' (NGVD)

SMH
RIM = 264.61'
INV IN = 257.19'
INV OUT = 257.16'

HIGHLAND ROAD
(PUBLIC - VARIABLE WIDTH)

30' WIDE
CONSTRUCTION
EASEMENT

EXISTING 15' WIDE
ACCESS EASEMENT
BK 11466 PG 140

N/F
ROMERO
BK 15399 PG 218
MAP 24 LOT 1

N/F
PATEL
BK 12819 PG 72
MAP 24 LOT 1C

N/F
BATLIVALA
BK 13381 PG 35
MAP 24 LOT 1D

N/F
SAN CARTIER
BK 10037 PG 321
MAP 24 LOT 1A

SEVEN
12" HEMLOCKS

EIGHT
12" HEMLOCKS

12" BIRCH

PARCEL A
MAP 24 LOT 1J
9,874 S.F.
0.2267 AC

N/F
TRUSTEES OF
PHILLIPS ACADEMY
BK 549 PG 527
MAP 24 LOT 4

PARCEL B
MAP 24 LOT 1H
786 S.F.

LOT 1
MAP 24 LOT 1E
38,754 S.F.
0.8897 AC

N/F
OAT
BK 13923 PG 67
MAP 5 LOT 101

N/F
HEIFETZ
BK 14488 PG 299
MAP 5 LOT 99

N/F
HOLLEY
BK 16448 PG 1
MAP 5 LOT 96

N/F
SAN CARTIER, JOHN
MAP 24 LOT 1F

N/F
TROY
BK 8349 PG 42
MAP 5 LOT 95

LOT 2
MAP 24 LOT 1G
48,050 S.F.
1.1031 AC

WOODS ROAD

WOODED
AREA

N/F
AVIS
MAP 24 LOT 1B

- NOTES:
1. WETLANDS DELINEATED BY NORSE ENVIRONMENTAL IN NOVEMBER 2021
 2. EXISTING CONDITIONS FROM A SURVEY PERFORMED BY RANGER ENGINEERING GROUP IN NOVEMBER AND DECEMBER OF 2021

CLERKS CERTIFICATION ON THE PLAN
I, THE CLERK OF THE TOWN OF ANDOVER DO HEREBY CERTIFY THAT THE
NOTICE OF THE APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS
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TOWN OF ANDOVER PLANNING BOARD

NAME _____ DATE _____

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13 Red Roof Lane, Suite 203
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Tel: 978-208-1762
rangereng.com



MODIFIED DEFINITIVE SUBDIVISION
SELLERS FARM ROAD
ANDOVER, MASSACHUSETTS
EXISTING CONDITIONS PLAN
PREPARED FOR
LRC BUILDERS LLC
475 BOSTON ROAD
BILLERICA, MASSACHUSETTS 01821

| DATE | NO. | REVISIONS | BY |
|------------|-----|----------------------|------|
| 09-13-2022 | 2 | PEER REVIEW COMMENTS | BICO |
| 07-06-2022 | 1 | PEER REVIEW COMMENTS | BICO |

| | |
|---------------|------------|
| PROJECT | 21-194 |
| DATE | 2022-03-04 |
| DRAWING SCALE | AS NOTED |
| DRAWN BY | DJO |
| APPROVED BY | BICO |

Z:\PROJECTS\21-194 - SELLERS FARM RD - ANDOVER - MA\CS0201.dwg PLOTTED: 9/13/2022 1:51 PM BY: CUI/PC PROJECT STATUS: -

BENCHMARK: HEX BOLT
IN U-POLE #232
ELEV = 265.08' (NGVD)

CLERKS CERTIFICATION ON THE PLAN
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TOWN OF ANDOVER PLANNING BOARD

NAME _____ DATE _____

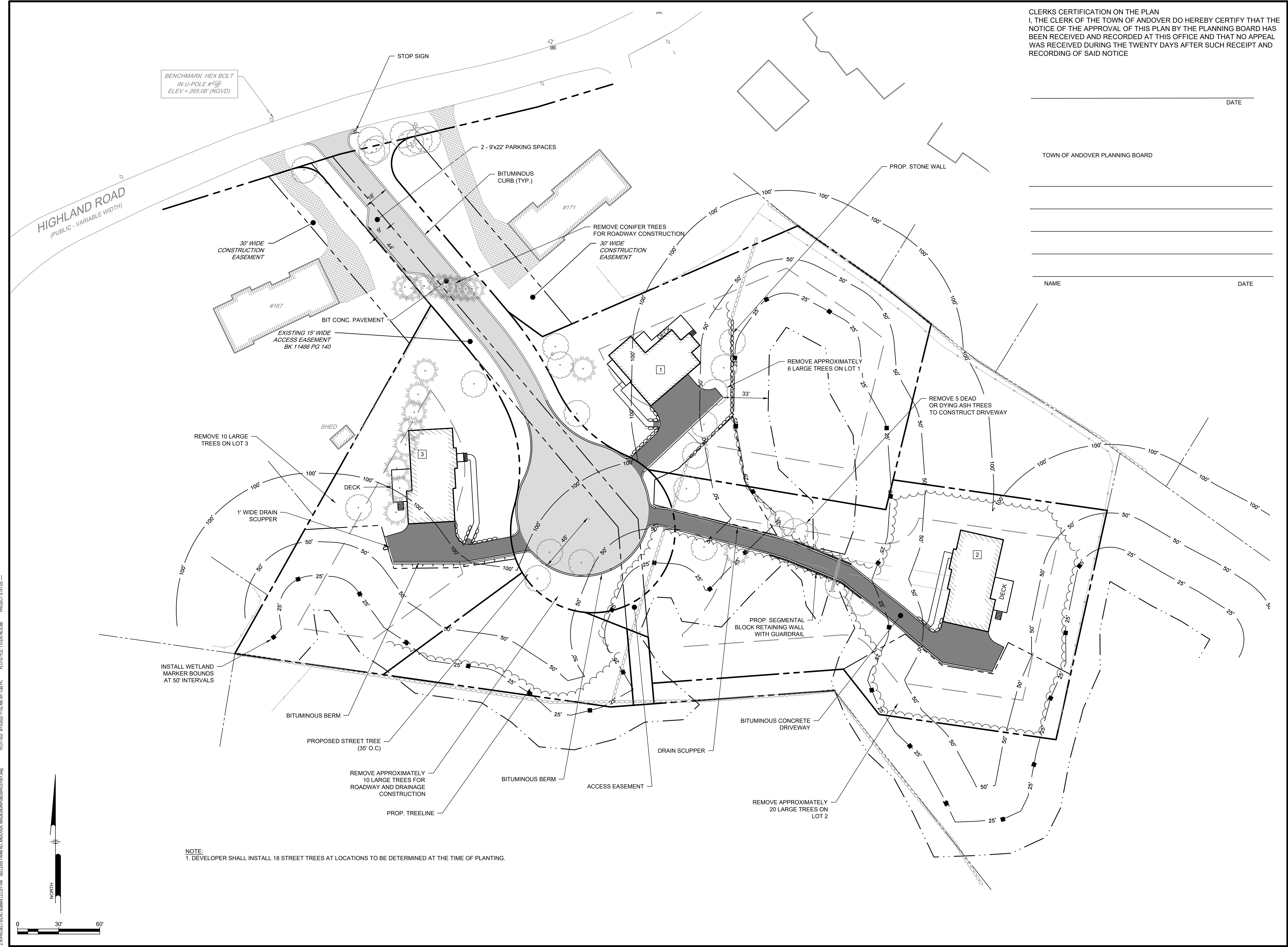
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MODIFIED DEFINITIVE SUBDIVISION
SELLERS FARM ROAD
ANDOVER, MASSACHUSETTS
LAYOUT AND MATERIALS PLAN
PREPARED FOR
LRC BUILDERS LLC
475 BOSTON ROAD
BILLERICA, MASSACHUSETTS 01821

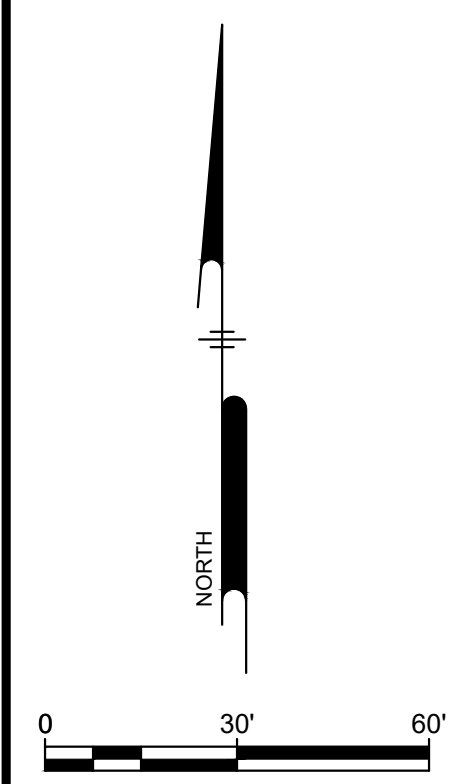
| DATE | NO. | REVISIONS | BY |
|------------|-----|----------------------|-----|
| 09-13-2022 | 2 | PEER REVIEW COMMENTS | BCO |
| 07-06-2022 | 1 | PEER REVIEW COMMENTS | BCO |

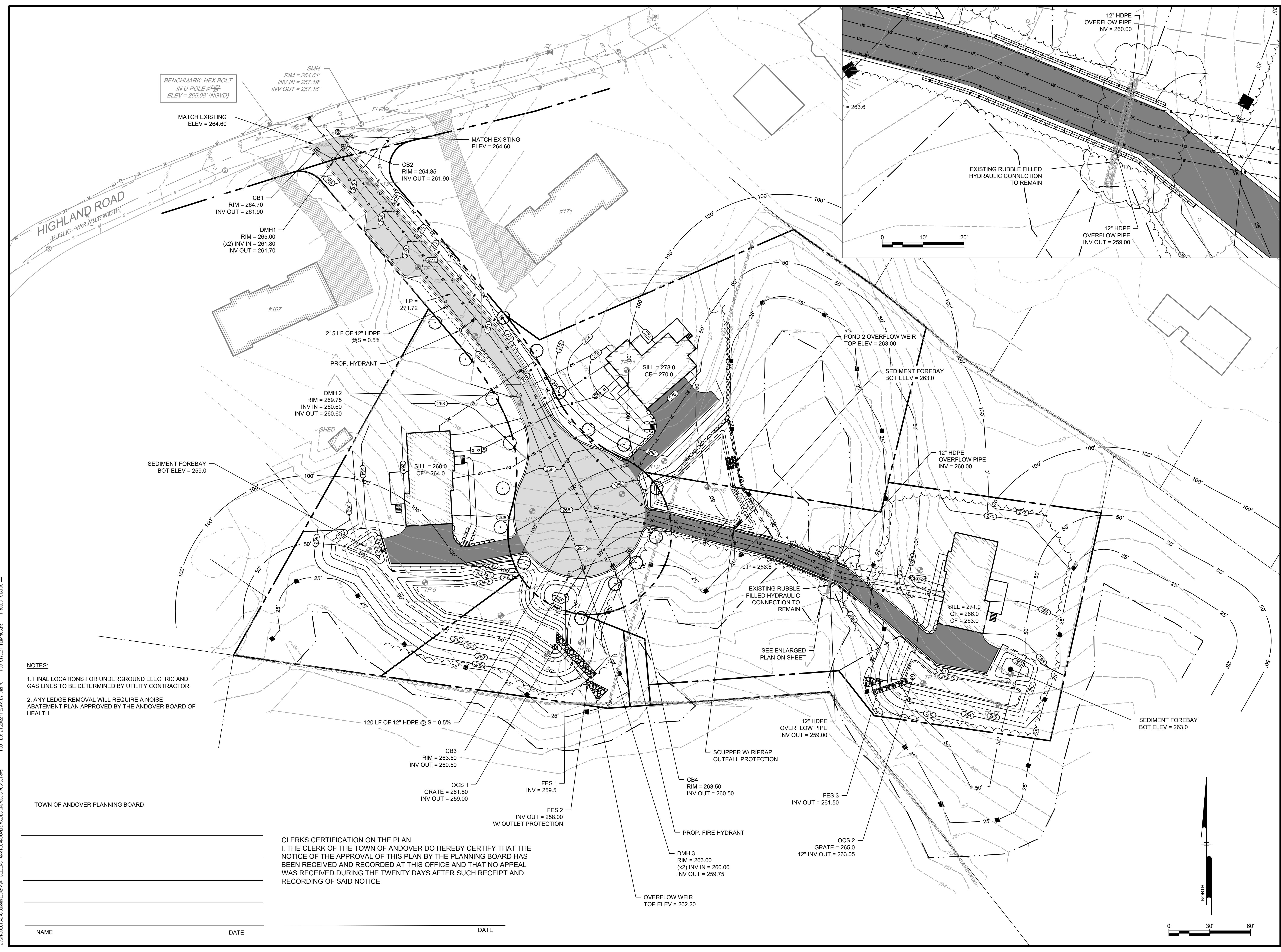
| | |
|---------------|------------|
| PROJECT | 21-194 |
| DATE | 2022-03-04 |
| DRAWING SCALE | AS NOTED |
| DRAWN BY | DJO |
| APPROVED BY | BCO |



NOTE:
1. DEVELOPER SHALL INSTALL 18 STREET TREES AT LOCATIONS TO BE DETERMINED AT THE TIME OF PLANTING.

Z:\PROJECTS\CS1001\21-194 - SELLERS FARM RD. ANDOVER, MASS\SUBPUB\CS1001.dwg PLOTTED: 9/13/2022 1:52 PM BY: CDR/PC PROJECT STATUS: -





BENCHMARK: HEX BOLT
IN U-POLE #171
ELEV = 265.08' (NGVD)

MATCH EXISTING
ELEV = 264.60

SMH
RIM = 264.61'
INV IN = 257.19'
INV OUT = 257.16'

CB1
RIM = 264.70
INV OUT = 261.90

DMH1
RIM = 265.00
(x2) INV IN = 261.80
INV OUT = 261.70

MATCH EXISTING
ELEV = 264.60

CB2
RIM = 264.85
INV OUT = 261.90

215 LF OF 12" HDPE
@S = 0.5%

PROP. HYDRANT

DMH 2
RIM = 269.75
INV IN = 260.60
INV OUT = 260.60

SEDIMENT FOREBAY
BOT ELEV = 259.0

SILL = 268.0
CF = 264.0

POND 2 OVERFLOW WEIR
TOP ELEV = 263.00

SEDIMENT FOREBAY
BOT ELEV = 263.0

12" HDPE
OVERFLOW PIPE
INV = 260.00

EXISTING RUBBLE
FILLED HYDRAULIC
CONNECTION TO
REMAIN

SEE ENLARGED
PLAN ON SHEET

SILL = 271.0
GF = 266.0
CF = 263.0

SEDIMENT FOREBAY
BOT ELEV = 263.0

120 LF OF 12" HDPE @ S = 0.5%

CB3
RIM = 263.50
INV OUT = 260.50

OCS 1
GRATE = 261.80
INV OUT = 259.00

FES 1
INV = 259.5

FES 2
INV OUT = 258.00
W/ OUTLET PROTECTION

CB4
RIM = 263.50
INV OUT = 260.50

DMH 3
RIM = 263.60
(x2) INV IN = 260.00
INV OUT = 259.75

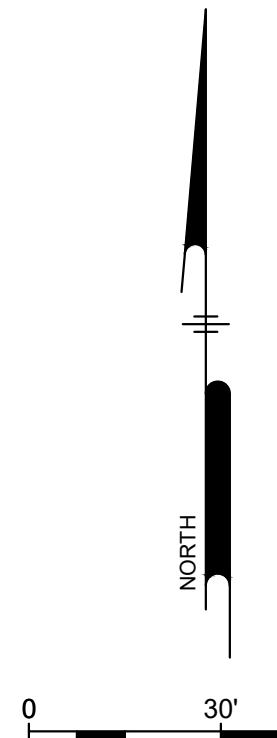
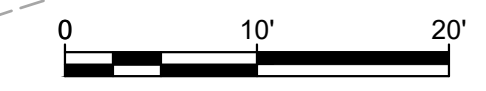
12" HDPE
OVERFLOW PIPE
INV OUT = 259.00

SCUPPER W/ RIPRAP
OUTFALL PROTECTION

FES 3
INV OUT = 261.50

OCS 2
GRATE = 265.0
12" INV OUT = 263.05

OVERFLOW WEIR
TOP ELEV = 262.20



- NOTES:
1. FINAL LOCATIONS FOR UNDERGROUND ELECTRIC AND GAS LINES TO BE DETERMINED BY UTILITY CONTRACTOR.
 2. ANY LEDGE REMOVAL WILL REQUIRE A NOISE ABATEMENT PLAN APPROVED BY THE ANDOVER BOARD OF HEALTH.

TOWN OF ANDOVER PLANNING BOARD

CLERKS CERTIFICATION ON THE PLAN
I, THE CLERK OF THE TOWN OF ANDOVER DO HEREBY CERTIFY THAT THE NOTICE OF THE APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE

NAME _____ DATE _____

Ranger Engineering Group, Inc.
13 Red Roof Lane, Suite 203
Salem NH, 03079
Tel: 978-208-1762
rangereng.com

BENJAMIN C. O'SULLIVAN
NO. 4081
PROFESSIONAL ENGINEER
2/9/13/22

MODIFIED DEFINITIVE SUBDIVISION
SELLERS FARM ROAD
ANDOVER, MASSACHUSETTS

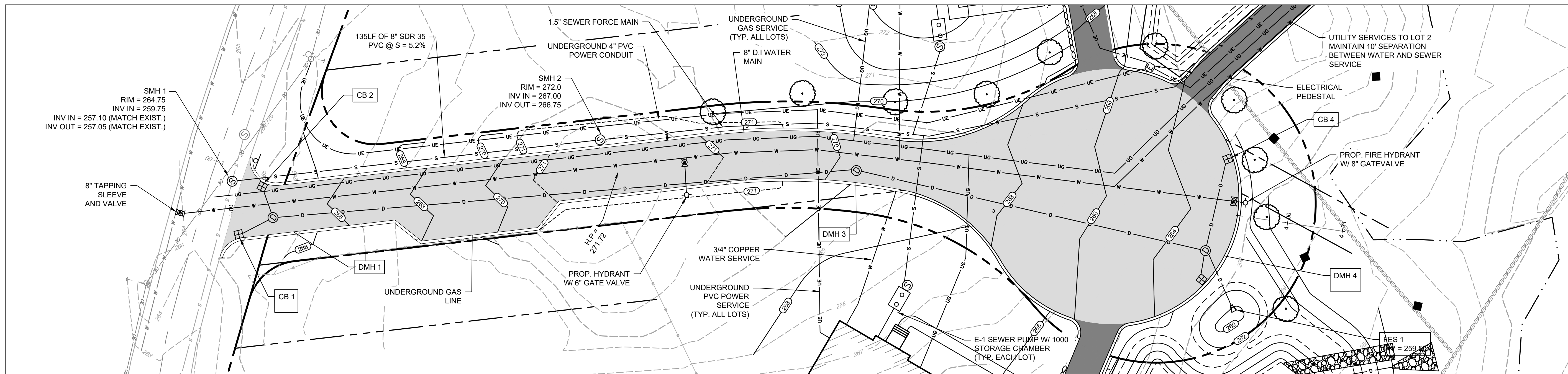
GRADING AND DRAINAGE PLAN

PREPARED FOR
LRC BUILDERS LLC
475 BOSTON ROAD
BILLERICA, MASSACHUSETTS 01821

| DATE | NO. | REVISIONS | BY |
|------------|-----|----------------------|-----|
| 09-13-2022 | 2 | PEER REVIEW COMMENTS | BCO |
| 07-06-2022 | 1 | PEER REVIEW COMMENTS | BCO |

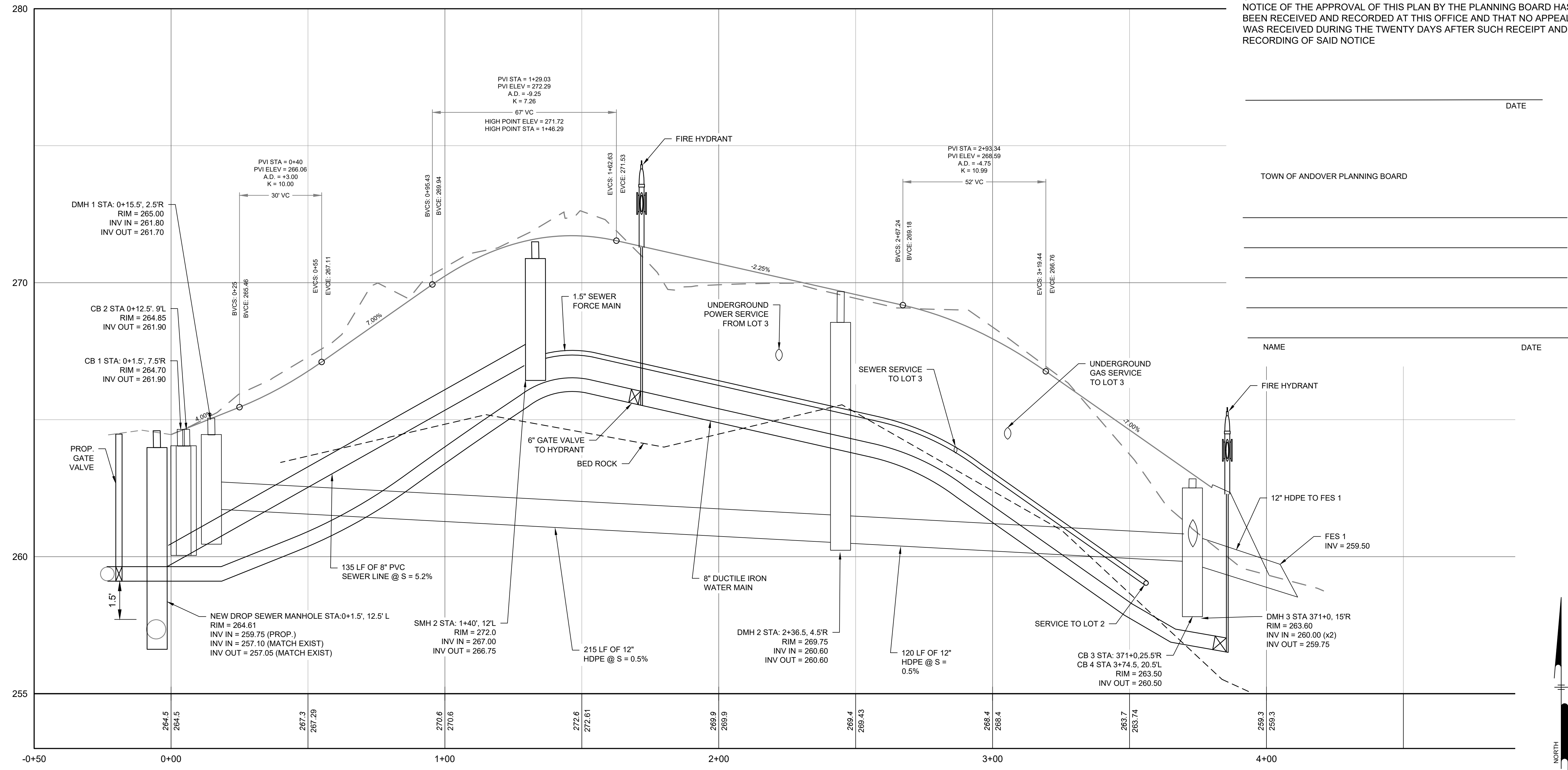
| | |
|---------------|------------|
| PROJECT | 21-194 |
| DATE | 2022-03-04 |
| DRAWING SCALE | AS NOTED |
| DRAWN BY | DJO |
| APPROVED BY | BCO |

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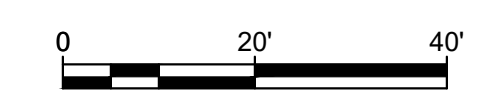


CLERKS CERTIFICATION ON THE PLAN
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DATE _____
 TOWN OF ANDOVER PLANNING BOARD
 NAME _____ DATE _____



ROADWAY CENTERLINE PROFILE
 HORIZONTAL SCALE: 1" = 30'
 VERTICAL SCALE: 1" = 3'

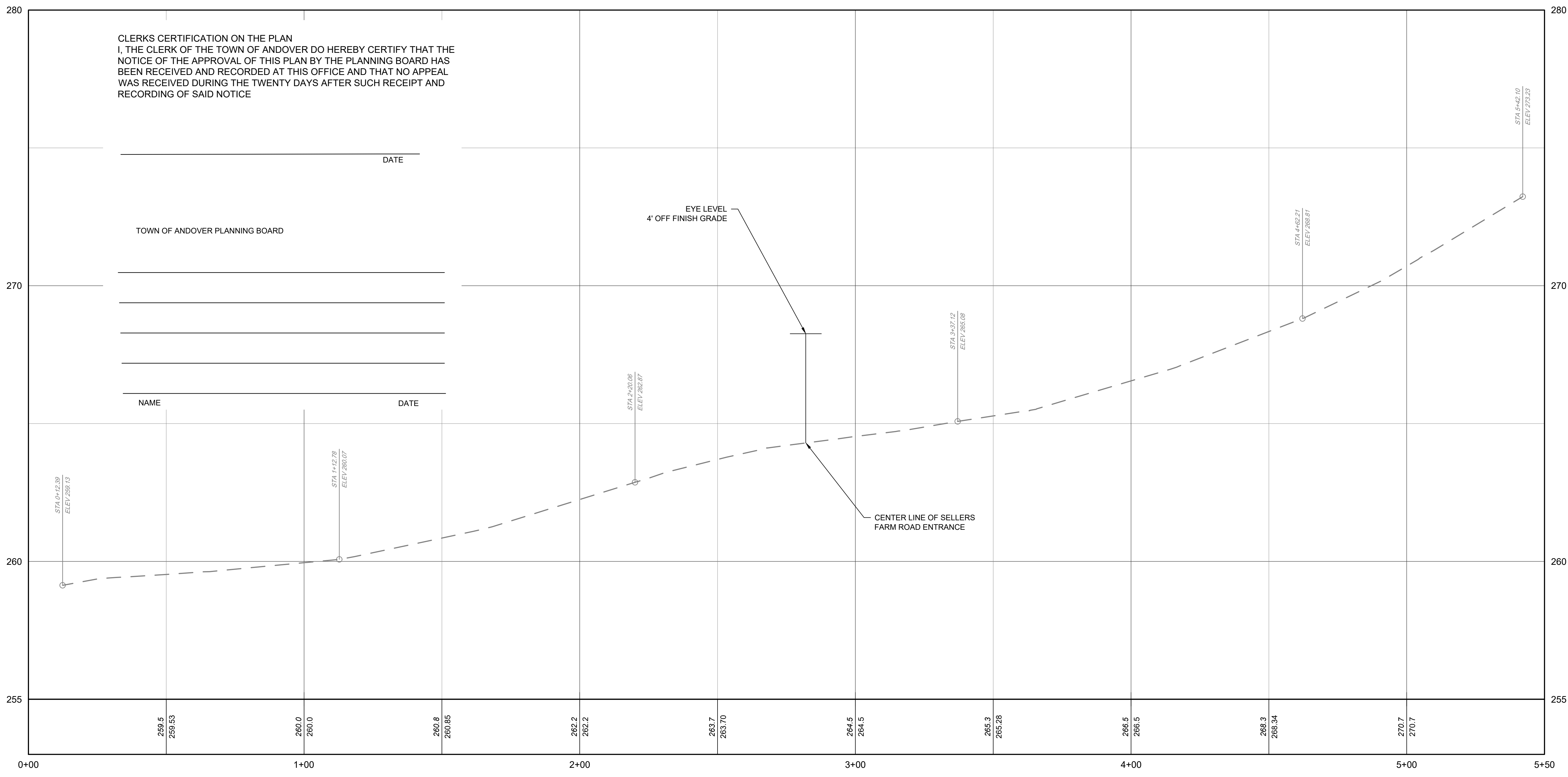
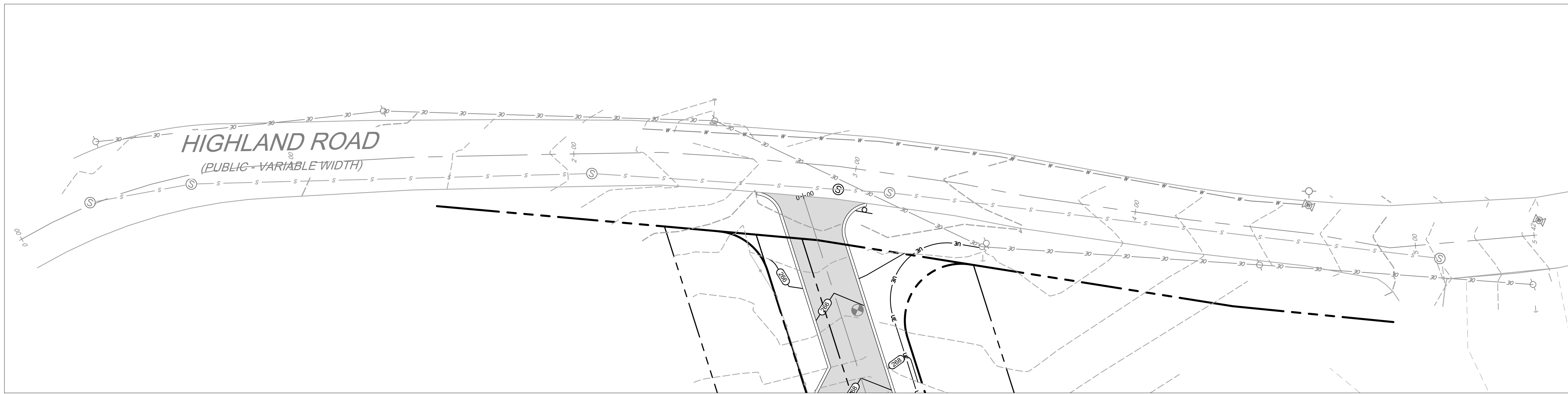


MODIFIED DEFINITIVE SUBDIVISION
 SELLERS FARM ROAD
 ANDOVER, MASSACHUSETTS
UTILITY PLAN AND PROFILE
 PREPARED FOR
 LRC BUILDERS LLC
 475 BOSTON ROAD
 BILLERICA, MASSACHUSETTS 01821

| NO. | DATE | REVISIONS | BY |
|-----|------------|----------------------|------|
| 2 | 09-13-2022 | PEER REVIEW COMMENTS | BICO |
| 1 | 07-06-2022 | PEER REVIEW COMMENTS | BICO |

| | |
|---------------|------------|
| PROJECT | 21-194 |
| DATE | 2022-03-04 |
| DRAWING SCALE | AS NOTED |
| DRAWN BY | DJO |
| APPROVED BY | BICO |

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 PLOTTED: 9/13/2022 1:52 PM BY: CUI PC PROJECT STATUS:



CLERKS CERTIFICATION ON THE PLAN
 I, THE CLERK OF THE TOWN OF ANDOVER DO HEREBY CERTIFY THAT THE
 NOTICE OF THE APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS
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 RECORDING OF SAID NOTICE

| NAME | DATE |
|------|------|
| | |
| | |
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| | |
| | |
| | |

HIGHLAND ROAD PROFILE
 HORIZONTAL SCALE: 1" = 30'
 VERTICAL SCALE: 1" = 3'

Ranger Engineering Group, Inc.
 13 Red Roof Lane, Suite 203
 Salem NH, 03079
 Tel: 978-208-1762
 rangereng.com

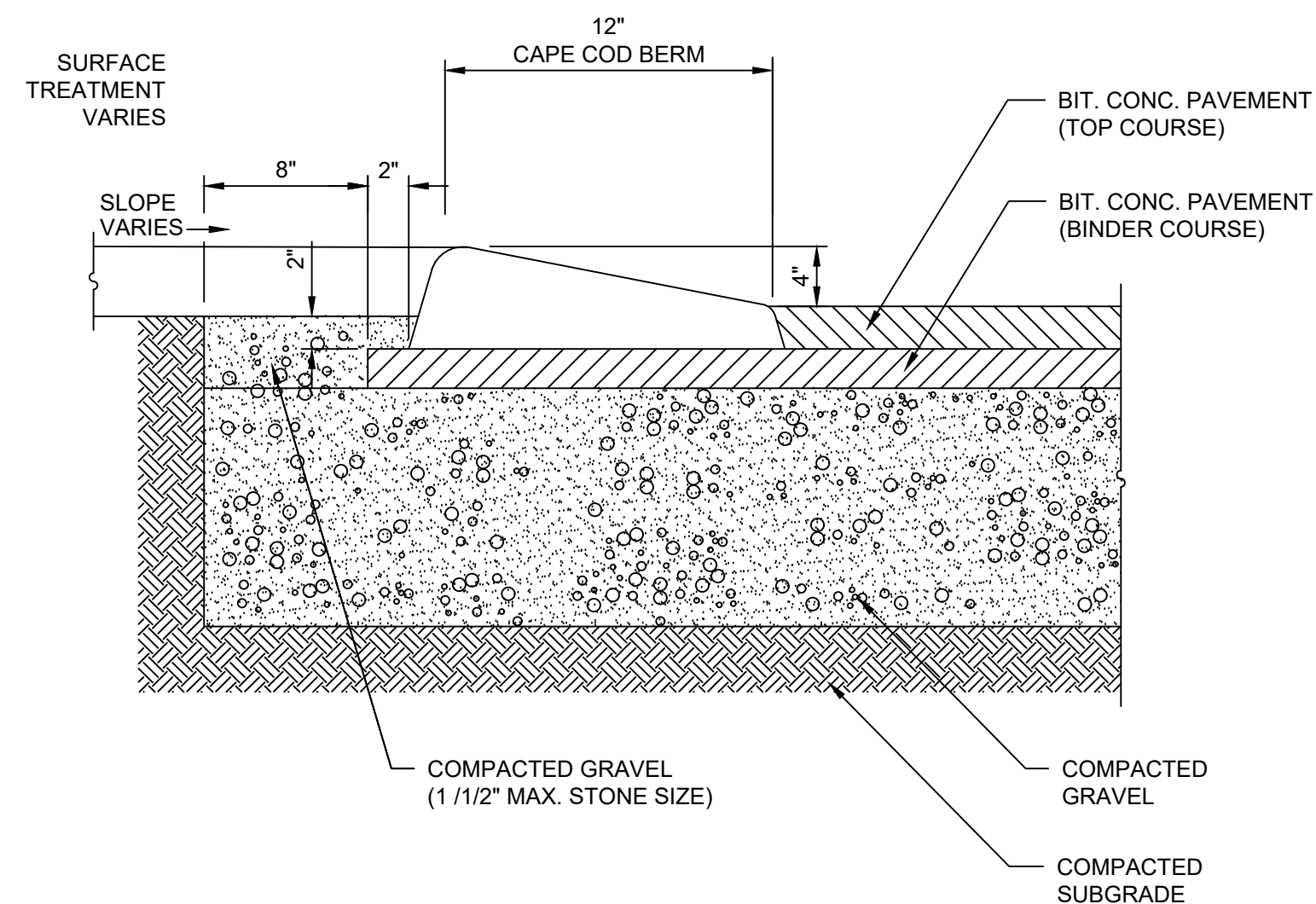


MODIFIED DEFINITIVE SUBDIVISION
 SELLERS FARM ROAD
 ANDOVER, MASSACHUSETTS
HIGHLAND ROAD PROFILE
 PREPARED FOR
 LRC BUILDERS LLC
 475 BOSTON ROAD
 BILLERICA, MASSACHUSETTS 01821

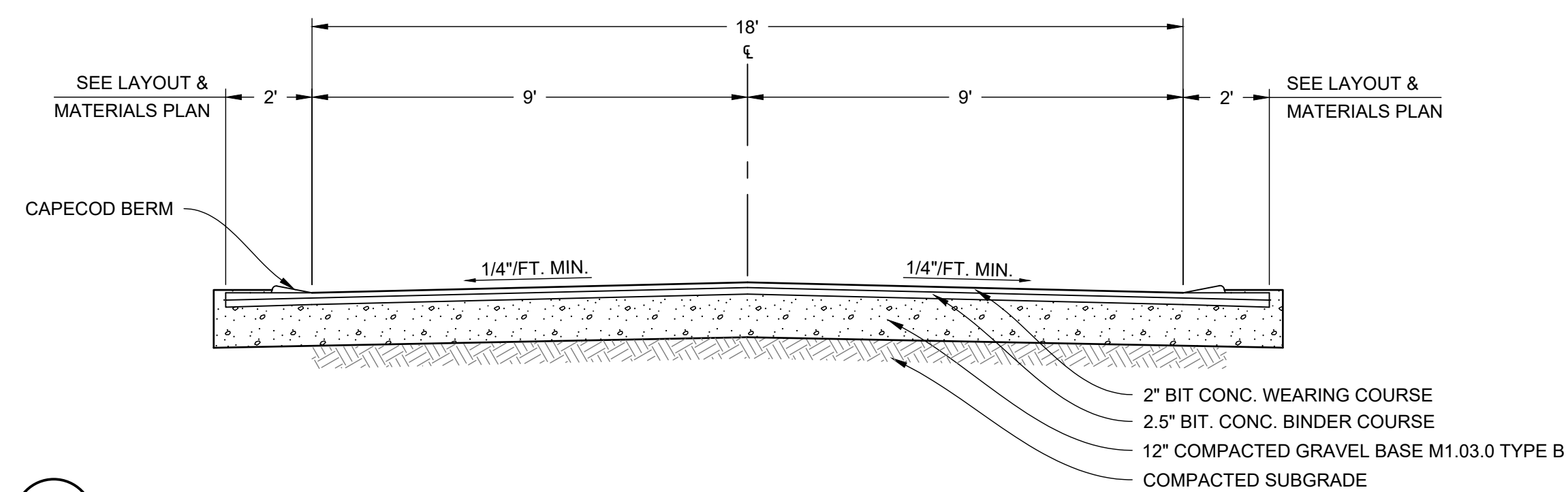
| DATE | NO. | REVISIONS | BY |
|------------|-----|----------------------|------|
| 06-13-2022 | 2 | PEER REVIEW COMMENTS | BICO |
| 07-06-2022 | 1 | PEER REVIEW COMMENTS | BICO |

| | |
|---------------|------------|
| PROJECT | 21-194 |
| DATE | 2022-03-04 |
| DRAWING SCALE | AS NOTED |
| DRAWN BY | DJO |
| APPROVED BY | BICO |

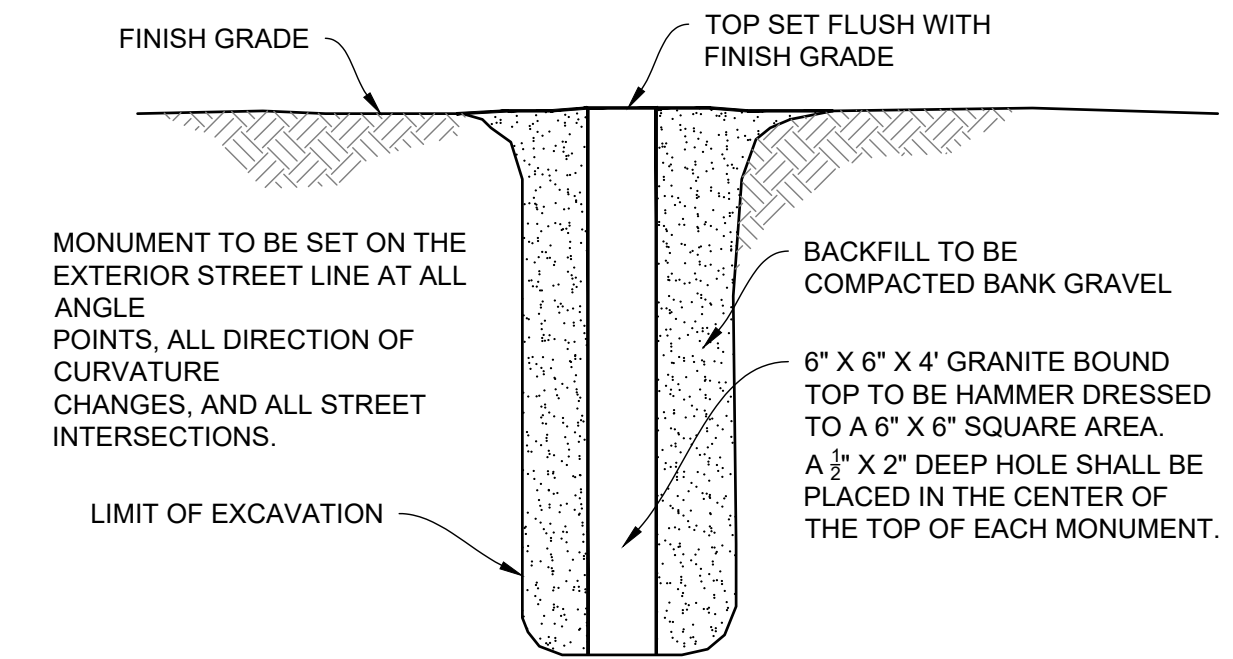
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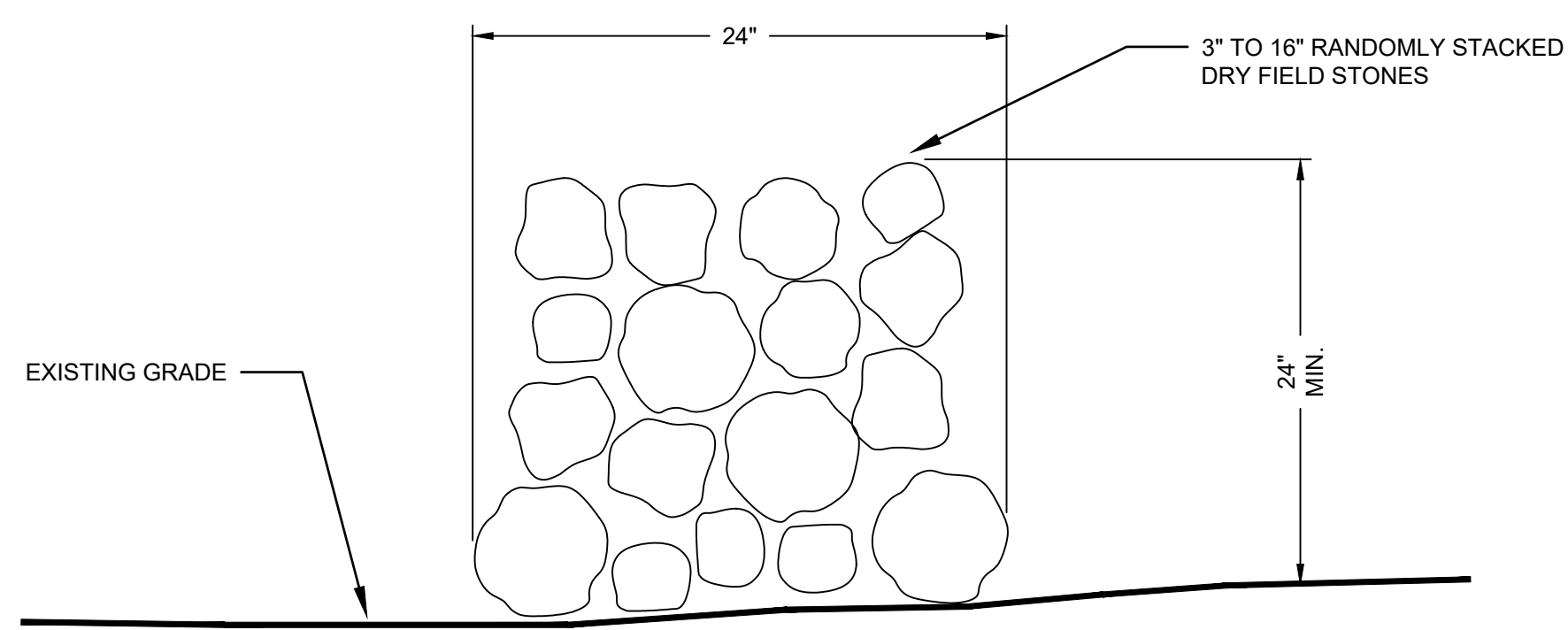
1 CAPE COD BERM DETAIL
NOT TO SCALE



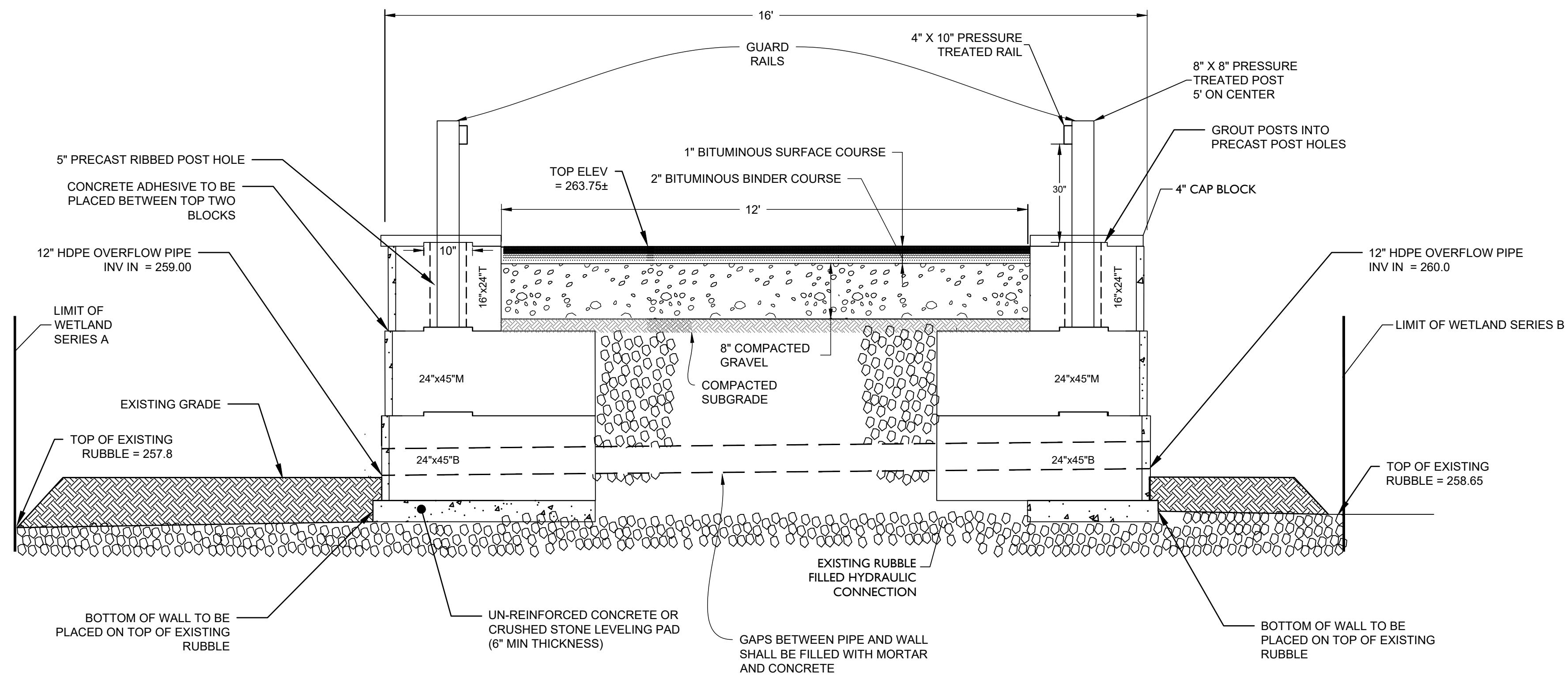
2 TYPICAL ROADWAY CROSS SECTION
NOT TO SCALE



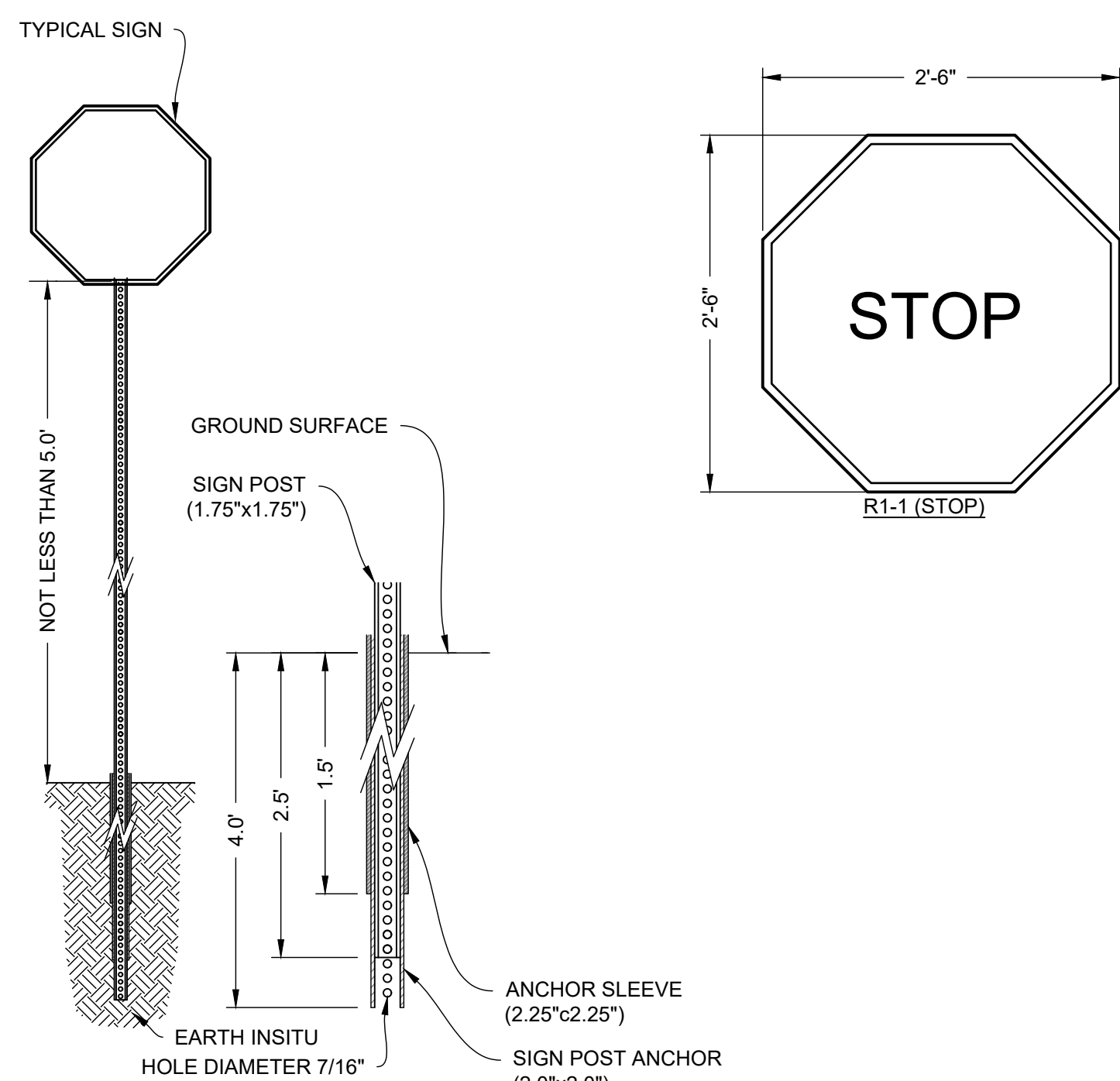
3 STONE BOUND
NOT TO SCALE



4 STONE WALL DETAIL
NOT TO SCALE



5 LOT 3 DRIVEWAY CROSS SECTION
NOT TO SCALE



6 SIGN POST DETAIL
NOT TO SCALE

CLERKS CERTIFICATION ON THE PLAN
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DATE

TOWN OF ANDOVER PLANNING BOARD

NAME

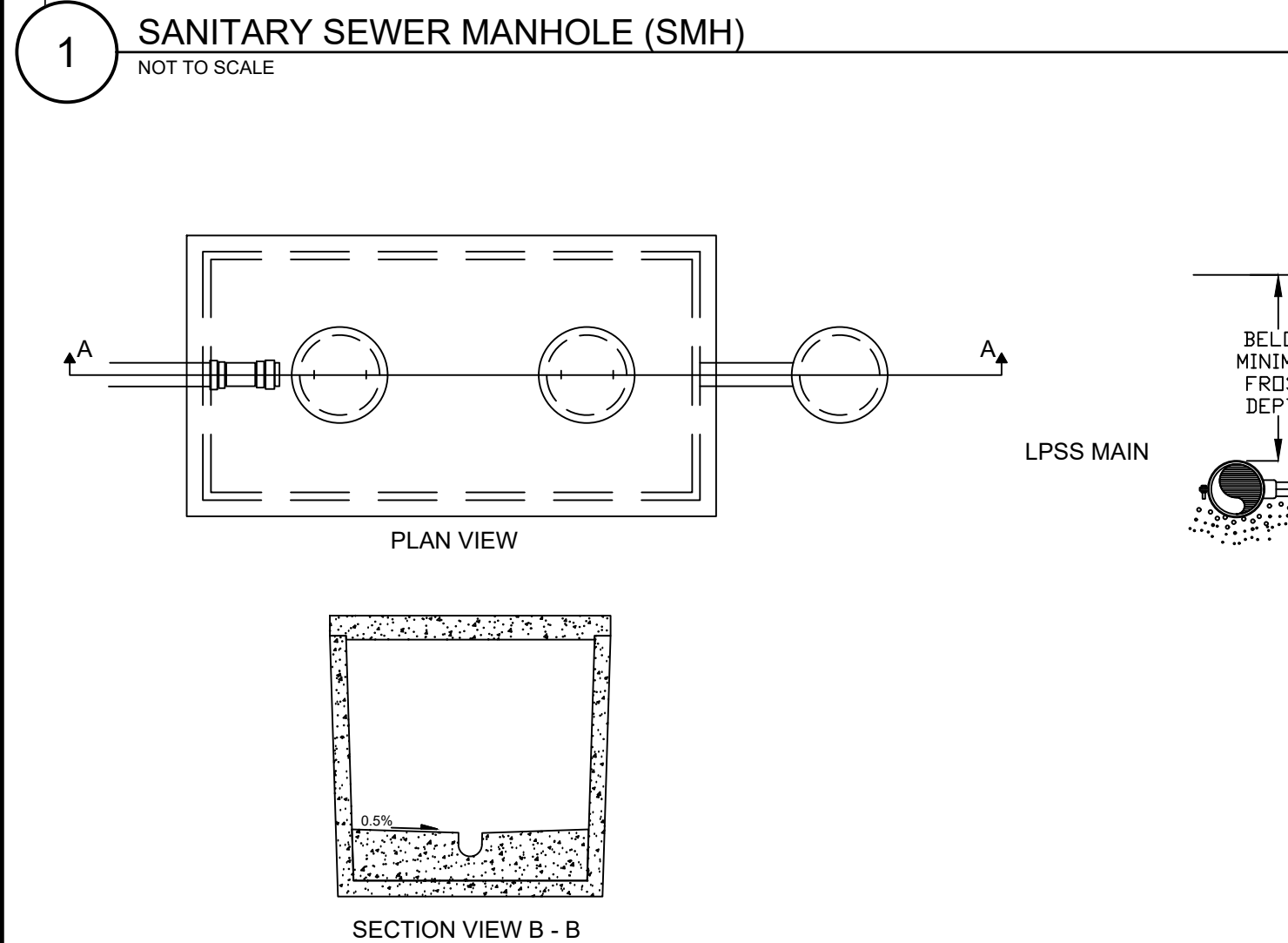
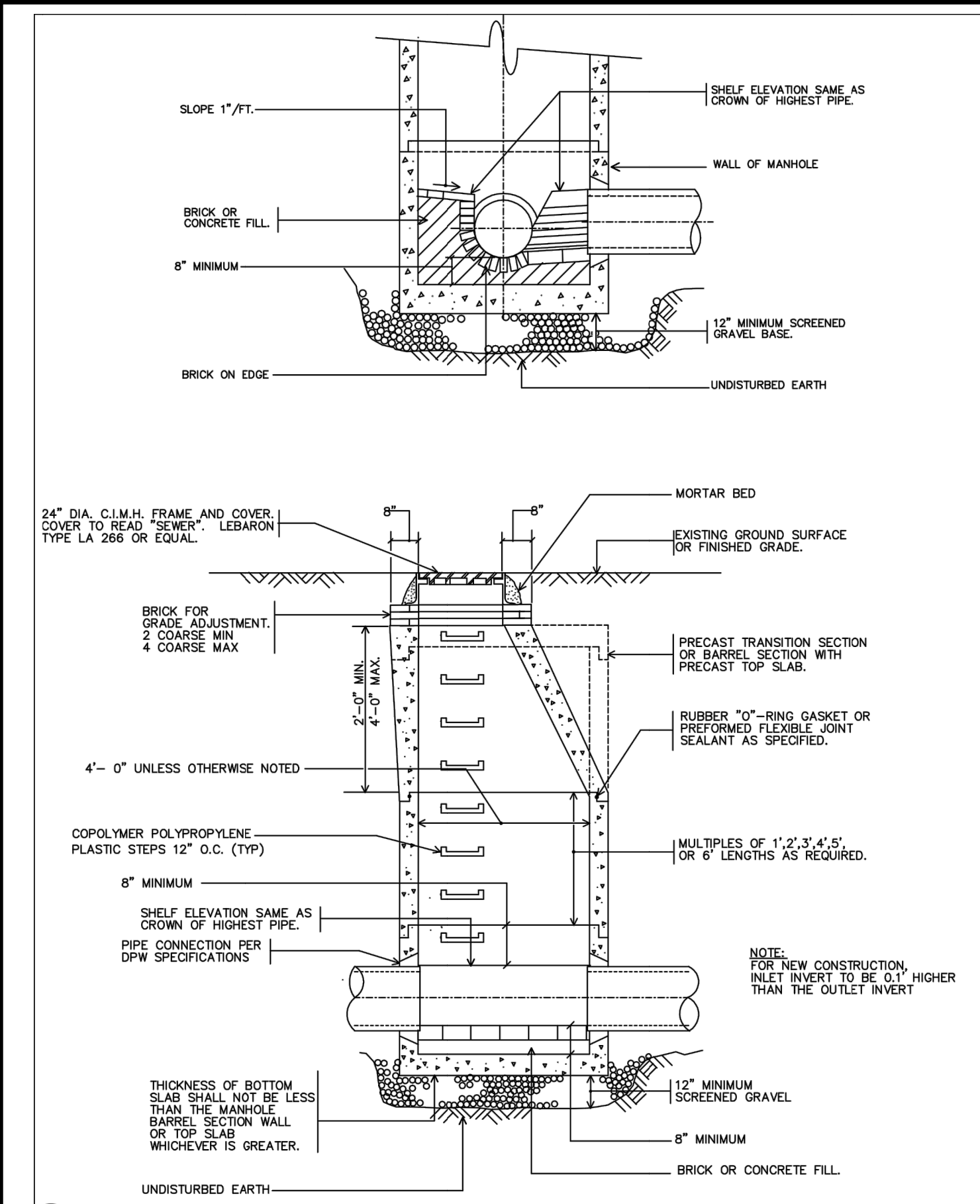
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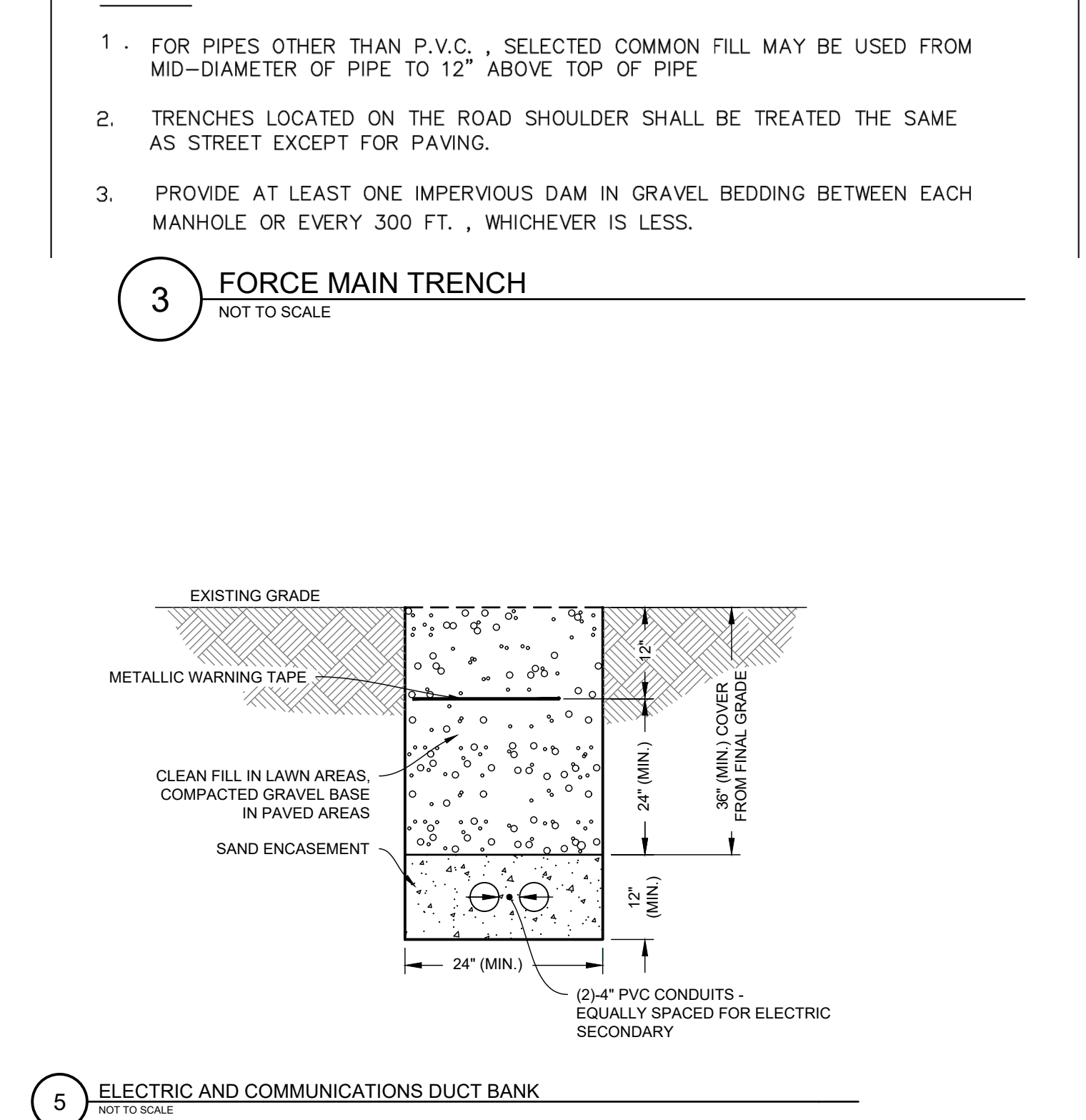
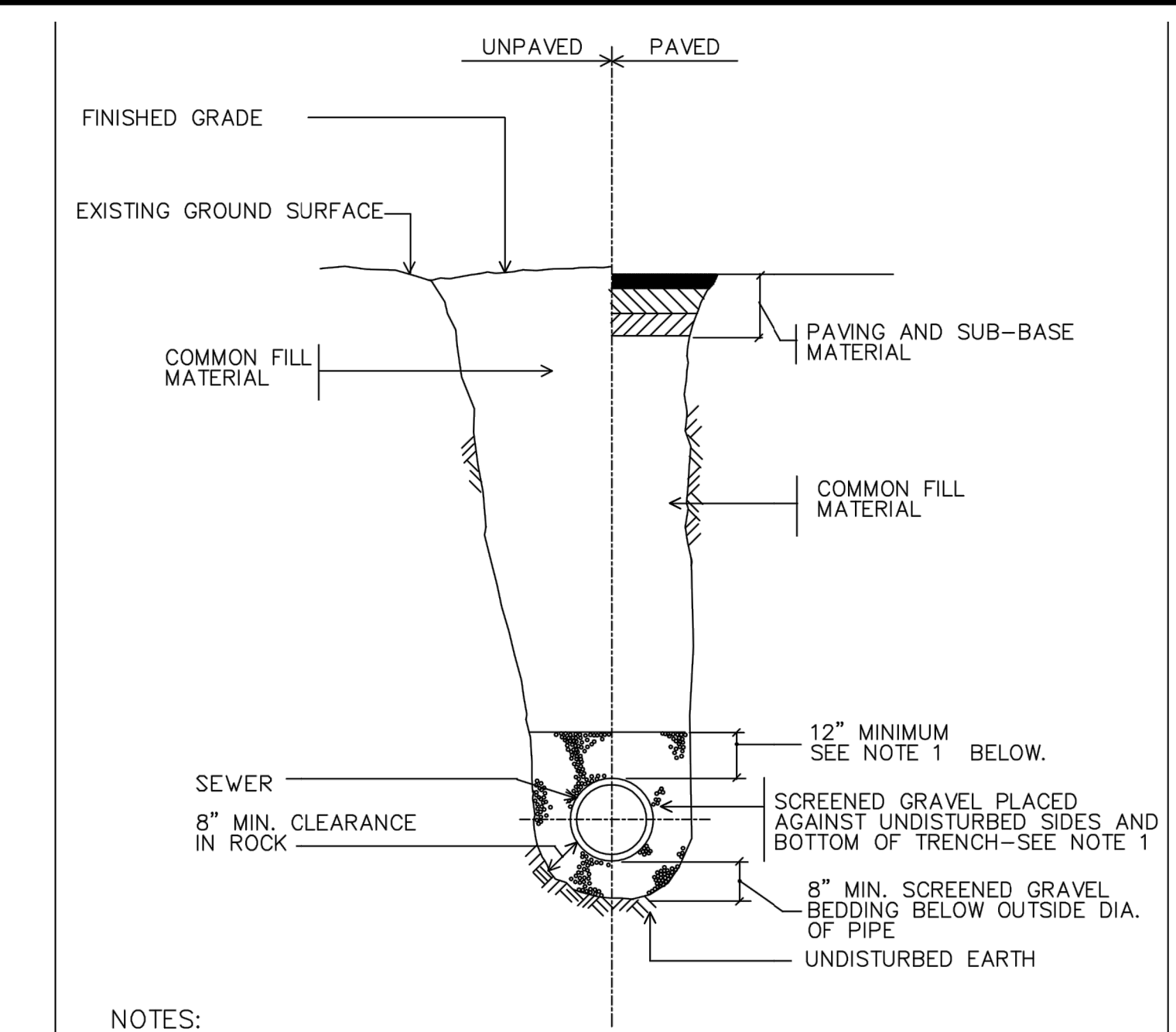
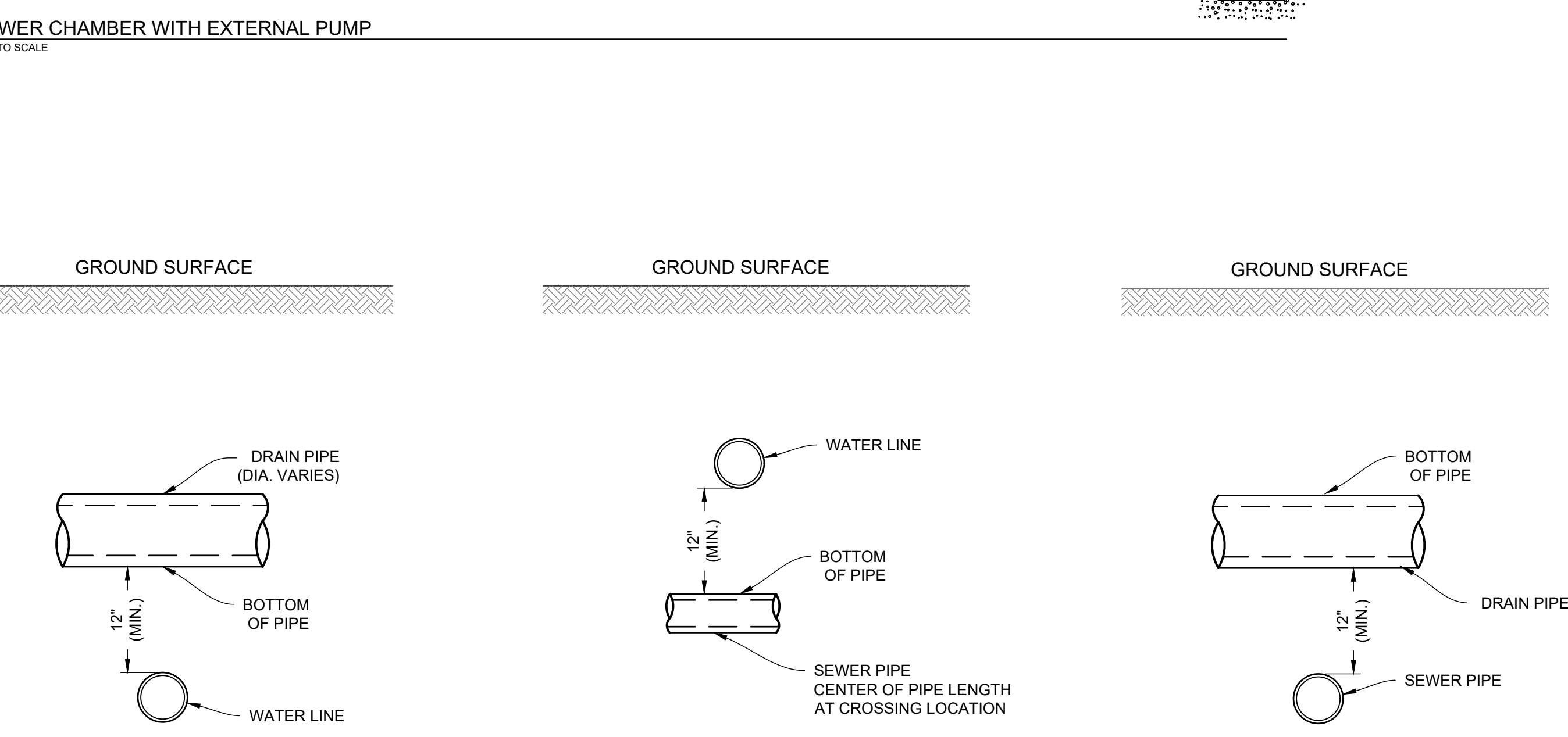
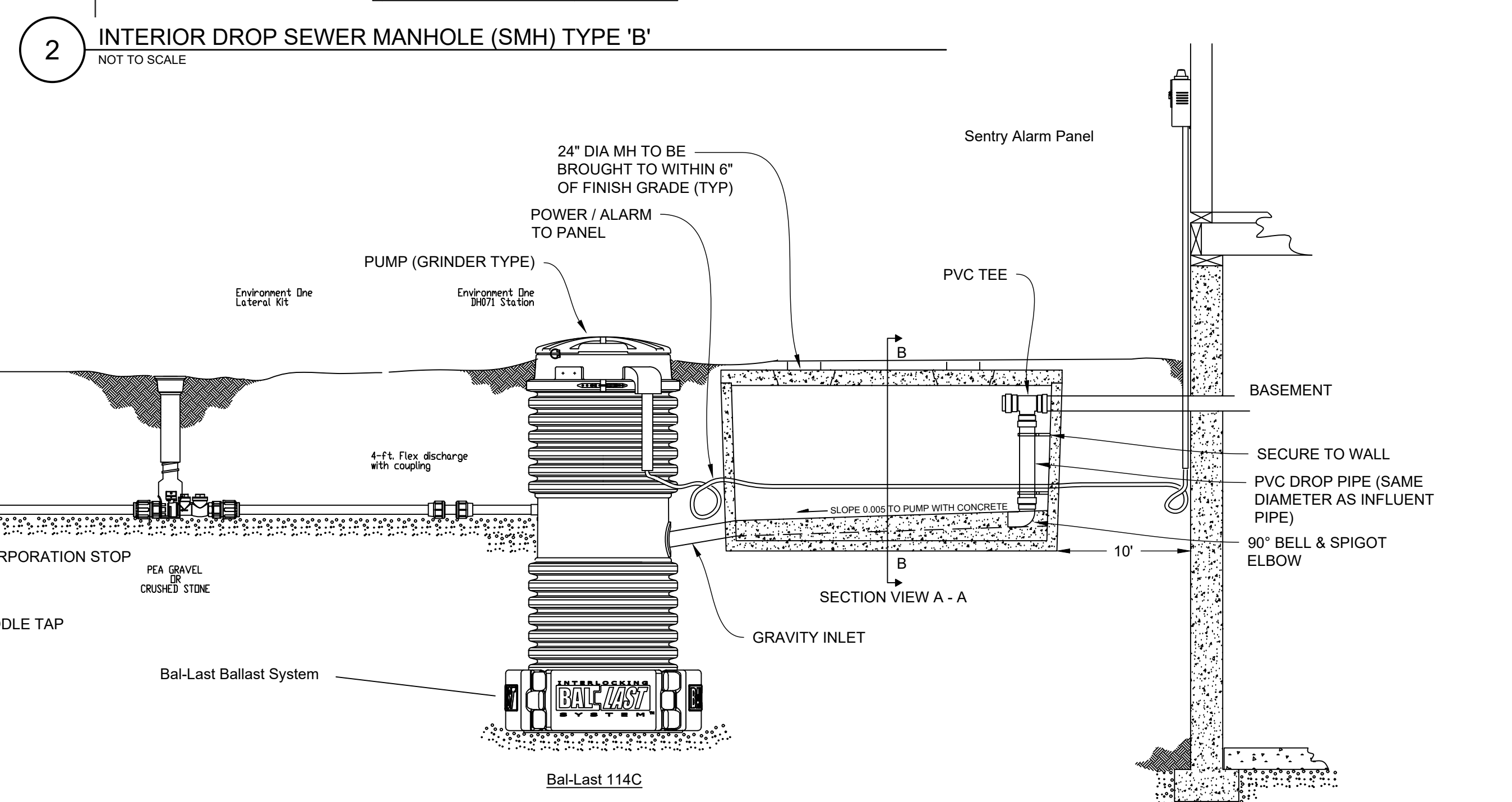
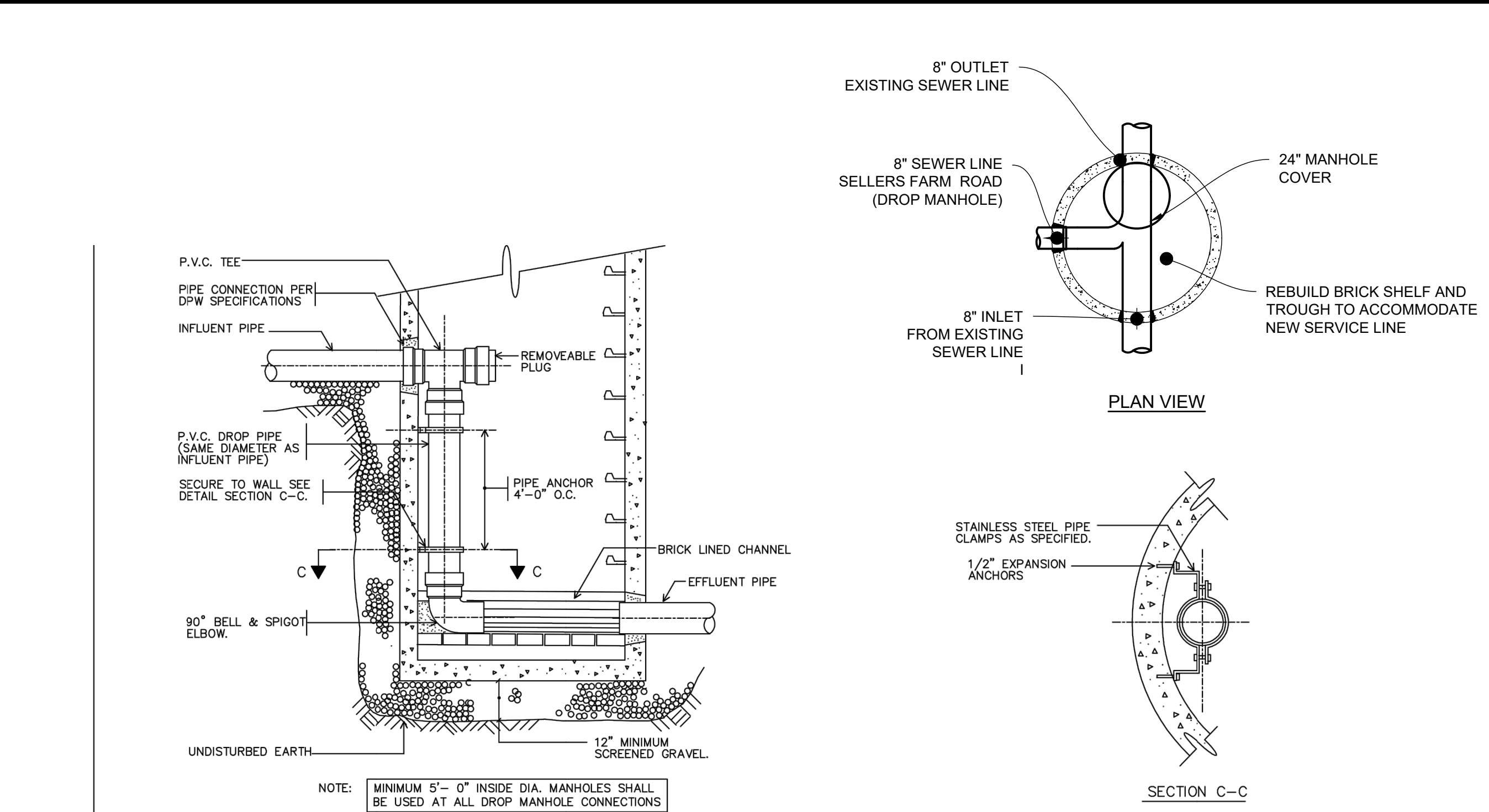
MODIFIED DEFINITIVE SUBDIVISION
SELLERS FARM ROAD
ANDOVER, MASSACHUSETTS
SITE DETAILS
PREPARED FOR
LRC BUILDERS LLC
475 BOSTON ROAD
BILLERICA, MASSACHUSETTS 01821

| NO. | DATE | REVISIONS | BY |
|-----|------------|----------------------|-----|
| 2 | 09-13-2022 | PEER REVIEW COMMENTS | BCO |
| 1 | 07-06-2022 | PEER REVIEW COMMENTS | BCO |

| | |
|---------------|------------|
| PROJECT | 21-194 |
| DATE | 2022-03-04 |
| DRAWING SCALE | AS NOTED |
| DRAWN BY | DJO |
| APPROVED BY | BCO |



- NOTES:**
- STORAGE MUST BE PROVIDED FOR 24 HOURS OF SEWER FLOWS AS DETERMINED BY SECTION 2.23, AS MEASURED FROM THE HEIGHT OF THE ALARM LEVEL.
 - PUMP SHALL BE INSTALLED ACCORDING TO MFG. SPECS & RECOMMENDATIONS.
 - HIGH WATER ALARM & MANUAL OPERATING SWITCH SHALL BE INSTALLED IN ACCESSIBLE LOCATION INSIDE THE DWELLING AND IN COMPLIANCE WITH LOCAL BLDG. CODE.
 - ALARM SHALL BE POWERED BY A CIRCUIT SEPARATE FROM THE PUMP POWER.
 - ALL INLETS & OUTLETS SHALL BE SEALED WITH HYDRAULIC CEMENT.
 - PUMP CHAMBERS SHALL BE SEALED AND SHALL BE WATERTIGHT.
 - THE FLOOR OF THE PUMP TANK SHALL BE SLOPED TOWARDS THE PUMP WITH CAST IN PLACE CONCRETE.
 - PUMP TANK CONSTRUCTION AND INSTALLATION SHALL CONFORM IN EVERY WAY TO 310 CMR 15.231 UNLESS OTHERWISE NOTED.

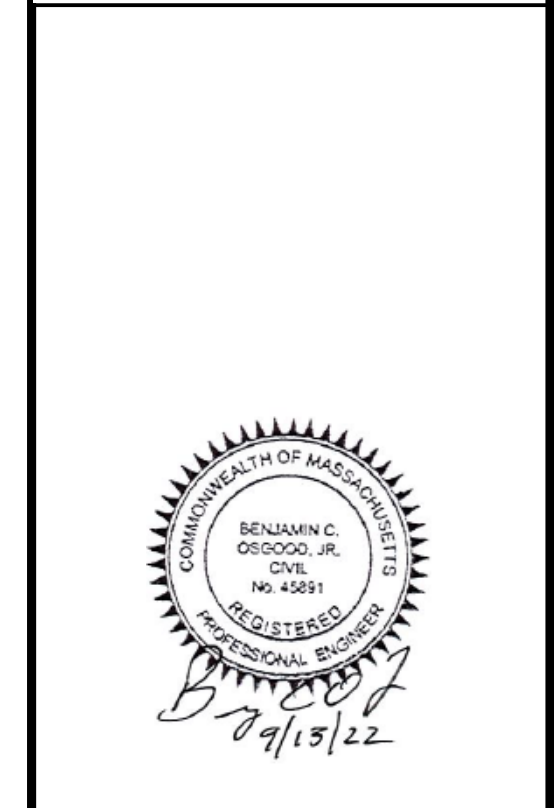


CLERKS CERTIFICATION ON THE PLAN I, THE CLERK OF THE TOWN OF ANDOVER DO HEREBY CERTIFY THAT THE NOTICE OF THE APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE

DATE _____

TOWN OF ANDOVER PLANNING BOARD

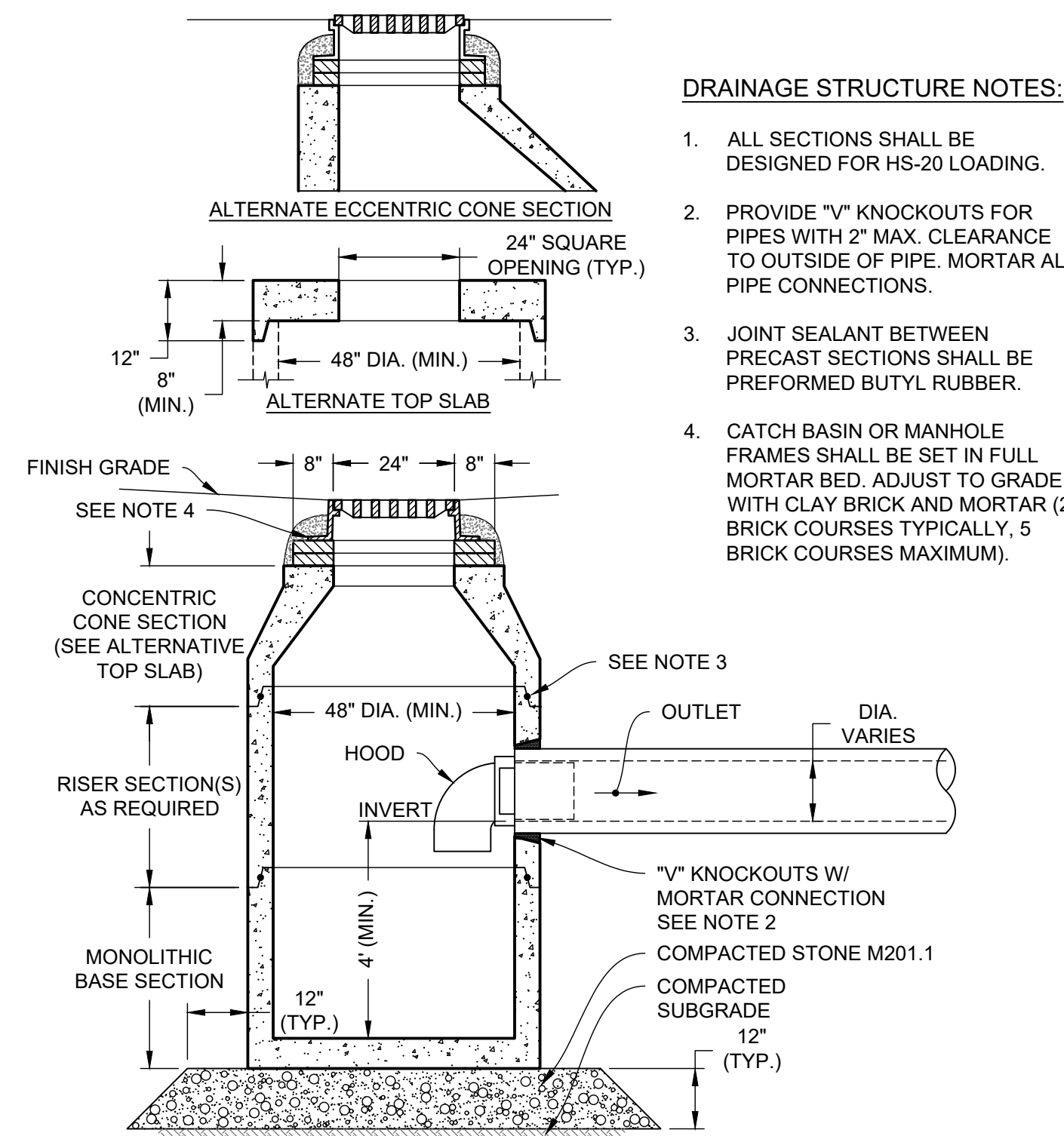
NAME _____ DATE _____



MODIFIED DEFINITIVE SUBDIVISION
 SELLERS FARM ROAD
 ANDOVER, MASSACHUSETTS
UTILITY DETAILS
PREPARED FOR
 LRC BUILDERS LLC
 475 BOSTON ROAD
 BILLERICA, MASSACHUSETTS 01821

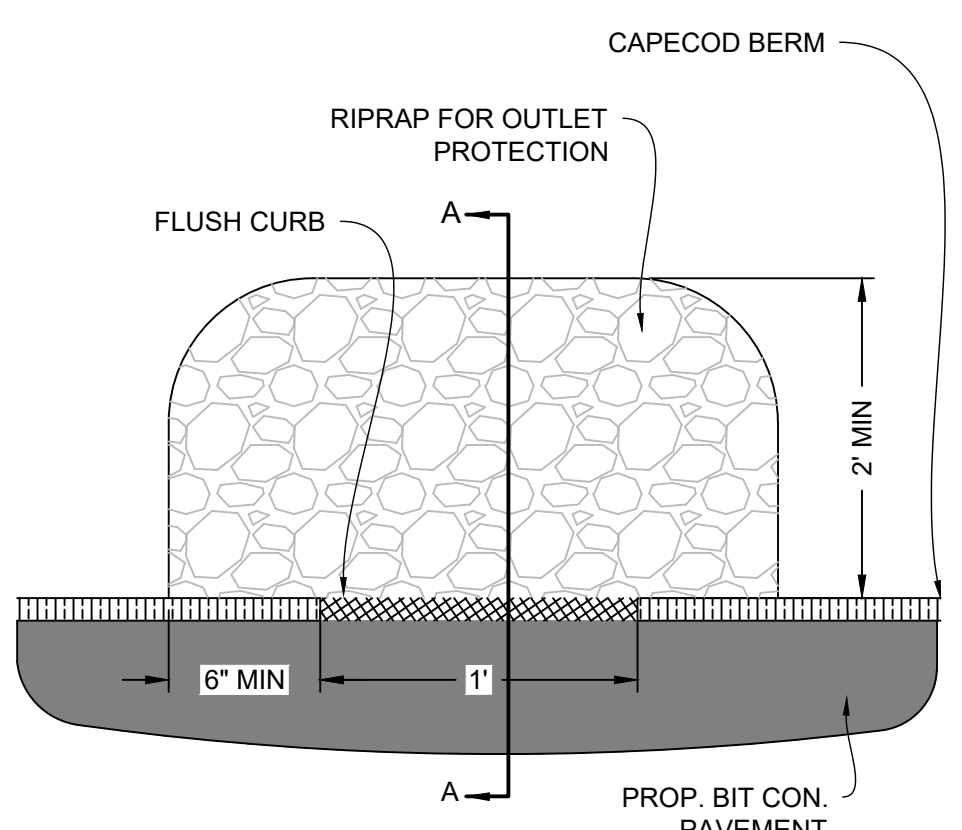
| NO. | DATE | REVISIONS | BY |
|-----|------------|----------------------|-----|
| 2 | 09-13-2022 | PEER REVIEW COMMENTS | BCO |
| 1 | 07-06-2022 | PEER REVIEW COMMENTS | BCO |

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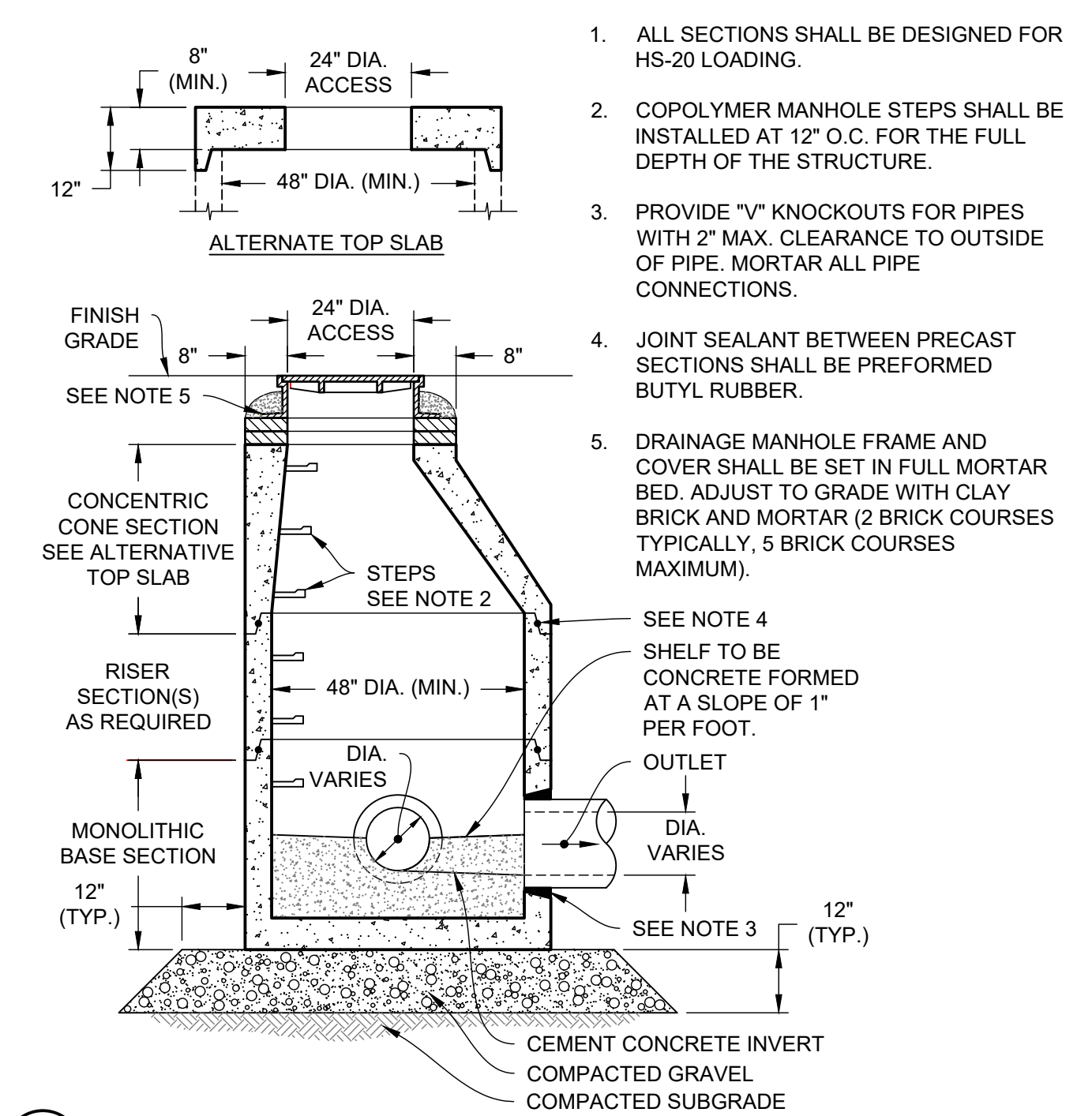


- DRAINAGE STRUCTURE NOTES:**
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
 2. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
 4. CATCH BASIN OR MANHOLE FRAMES SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).

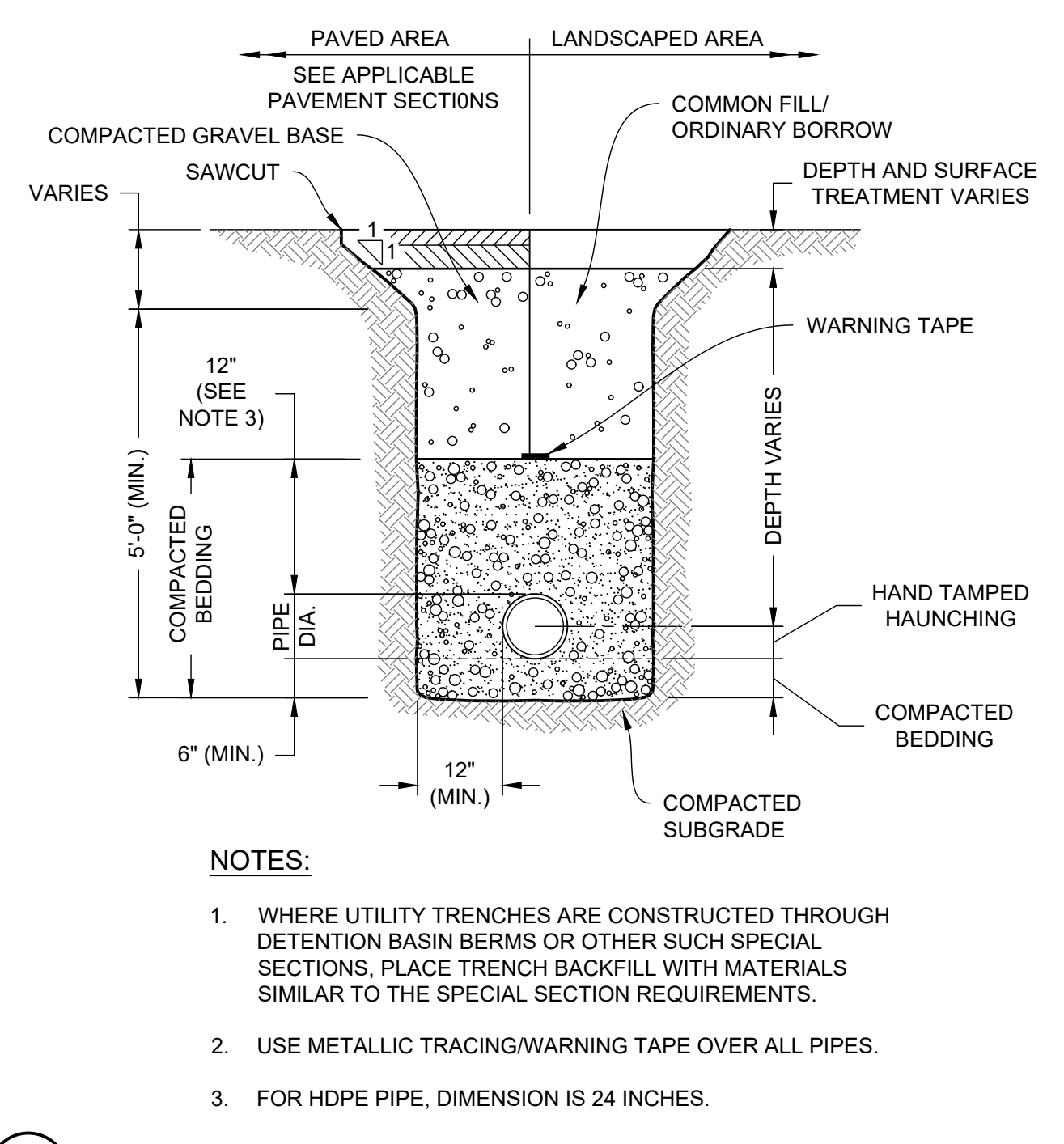
1 CATCH BASIN (CB) WITH HOOD
NOT TO SCALE



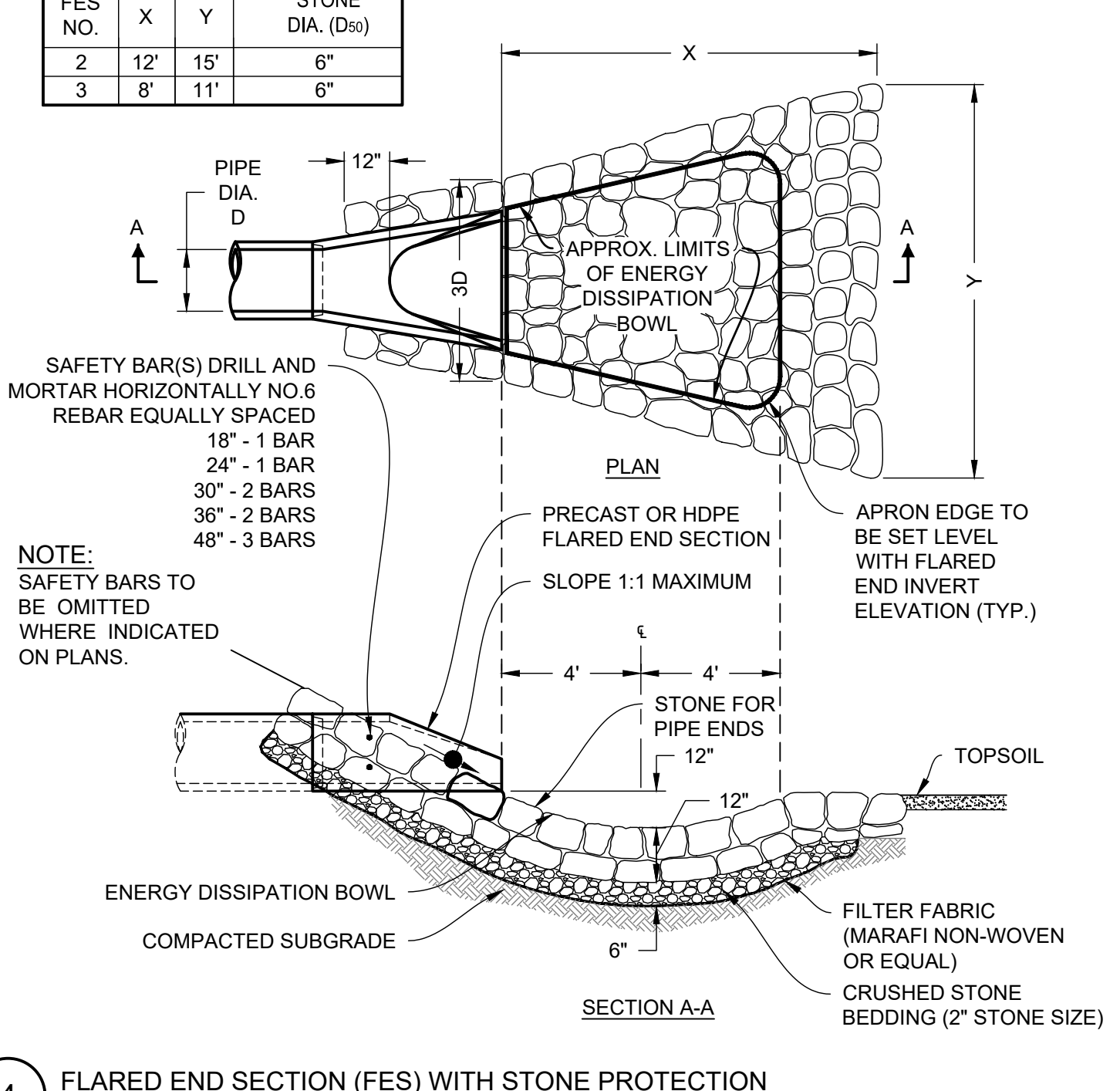
5 DRAIN SCUPPER DETAIL
NOT TO SCALE



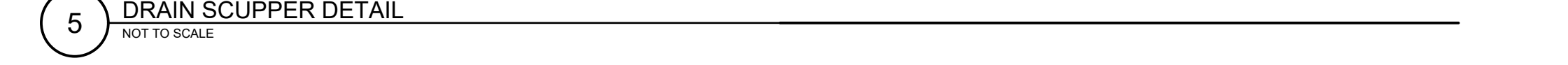
2 DRAINAGE MANHOLE (DMH)
NOT TO SCALE



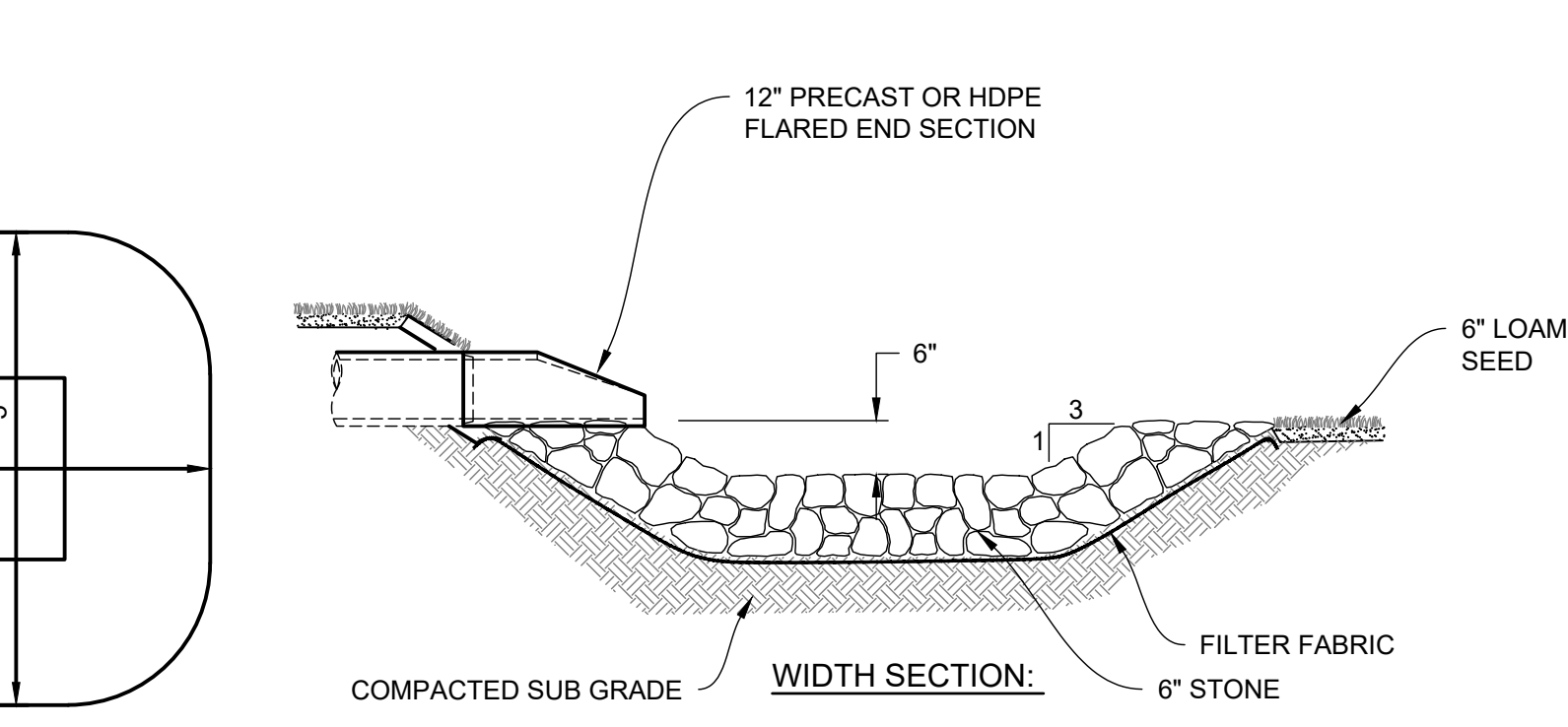
3 DRAINAGE TRENCH
NOT TO SCALE



4 FLARED END SECTION (FES) WITH STONE PROTECTION
NOT TO SCALE



6 PREFORMED SCOUR HOLE
NOT TO SCALE



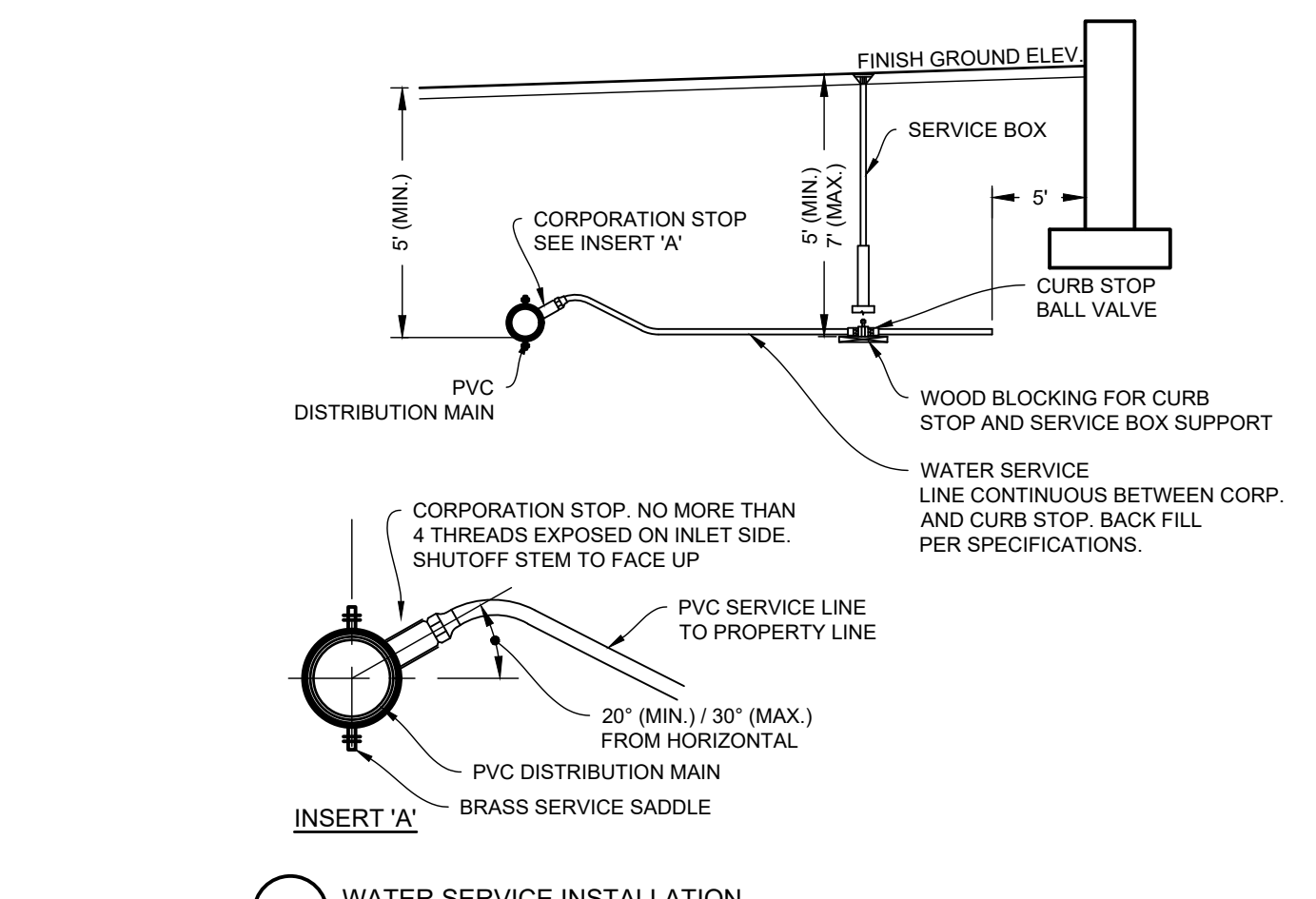
7 WATER TRENCH
NOT TO SCALE

CLERKS CERTIFICATION ON THE PLAN
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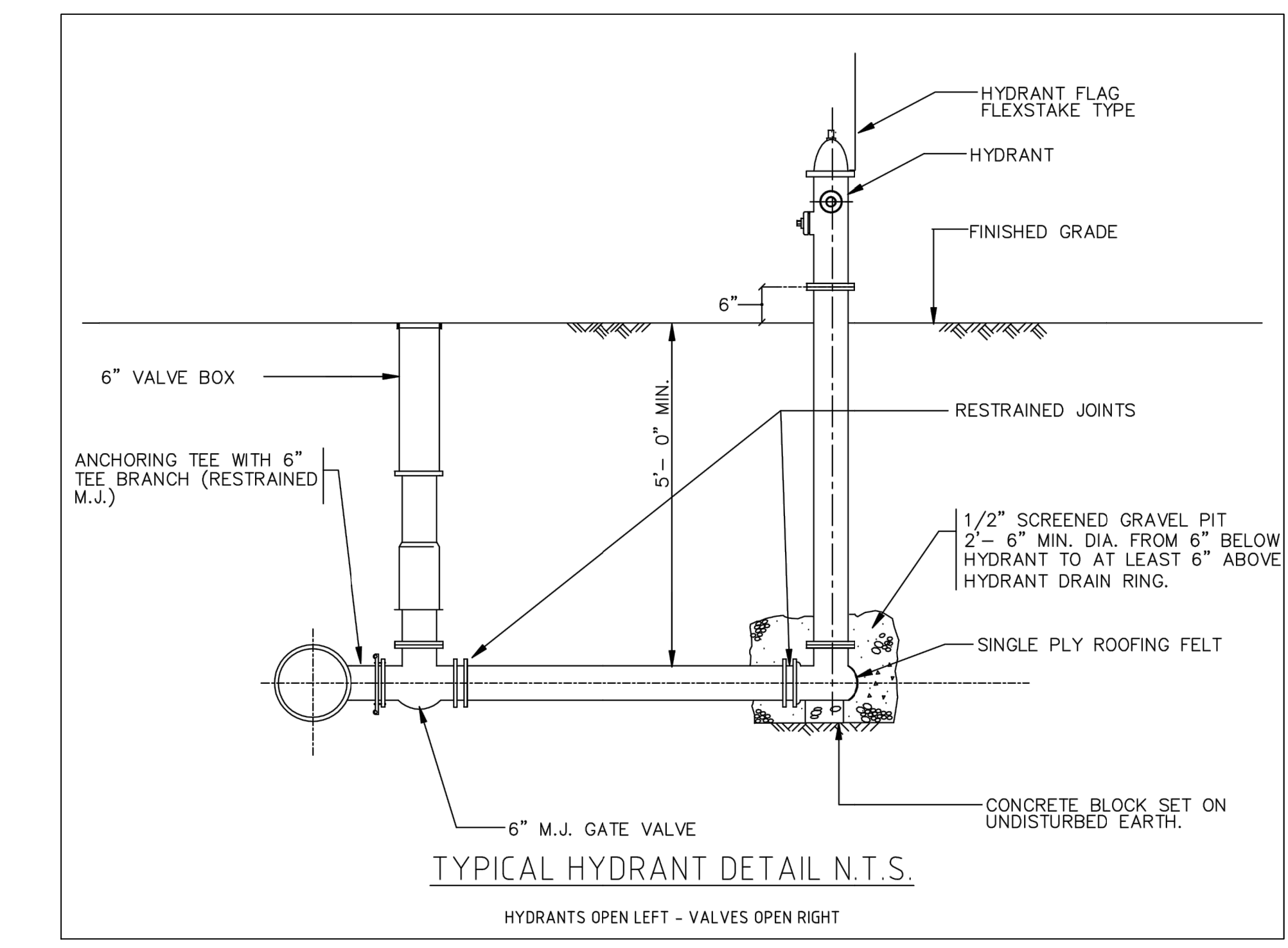
DATE _____

TOWN OF ANDOVER PLANNING BOARD

NAME _____ DATE _____



8 WATER SERVICE INSTALLATION
NOT TO SCALE



TYPICAL HYDRANT DETAIL N.T.S.
HYDRANTS OPEN LEFT - VALVES OPEN RIGHT

| LIMITS OF RESTRAINED JOINTS | |
|-----------------------------|--|
| FITTING | REQUIRED LENGTH OF RESTRAINED JOINT PIPE |
| 6"-1/4 BEND | 21 (EACH SIDE OF FITTING) |
| 6"-1/8 BEND | 9 (EACH SIDE OF FITTING) |
| 6"-1/16 BEND | 4 (EACH SIDE OF FITTING) |
| 6"-1/32 BEND | 2 (EACH SIDE OF FITTING) |
| 8"-1/4 BEND | 27 (EACH SIDE OF FITTING) |
| 8"-1/8 BEND | 11 (EACH SIDE OF FITTING) |
| 8"-1/16 BEND | 6 (EACH SIDE OF FITTING) |
| 8"-1/32 BEND | 3 (EACH SIDE OF FITTING) |
| 8"x6" REDUCER | 32 (EACH SIDE OF FITTING) |
| 8"x6" TEE | 54 (ALONG BRANCH) |
| 8"x8" TEE | 27 (ALONG BRANCH) |
| 12"-1/4 BEND | 38 (EACH SIDE OF FITTING) |
| 12"-1/8 BEND | 16 (EACH SIDE OF FITTING) |
| 12"-1/16 BEND | 8 (EACH SIDE OF FITTING) |
| 12"-1/32 BEND | 4 (EACH SIDE OF FITTING) |
| 12"x6" REDUCER | 75 (EACH SIDE OF FITTING) |
| 12"x8" REDUCER | 62 (EACH SIDE OF FITTING) |
| 12"x12" TEE | 96 (ALONG BRANCH) |
| 12"x6" TEE | 52 (ALONG BRANCH) |
| 12"x8" TEE | 72 (ALONG BRANCH) |
| HYDRANT | ENTIRE BRANCH RESTRAINED |

* NOTE: MINIMUM OF ONE JOINT SHALL BE RESTRAINED ON EACH SIDE OF FITTING & ALONG BRANCH OF TEE.

MODIFIED DEFINITIVE SUBDIVISION
SELLERS FARM ROAD
ANDOVER, MASSACHUSETTS
DRAINAGE & WATER DETAILS
PREPARED FOR
LRC BUILDERS LLC
475 BOSTON ROAD
BILLERICA, MASSACHUSETTS 01821

| PROJECT | 21-194 | | |
|---------------|------------|----------------------|-----|
| DATE | 2022-03-04 | | |
| DRAWING SCALE | AS NOTED | | |
| DRAWN BY | DJO | | |
| APPROVED BY | BCO | | |
| DATE | NO. | REVISIONS | BY |
| 09-13-2022 | 2 | PEER REVIEW COMMENTS | BCO |
| 07-06-2022 | 1 | PEER REVIEW COMMENTS | BCO |

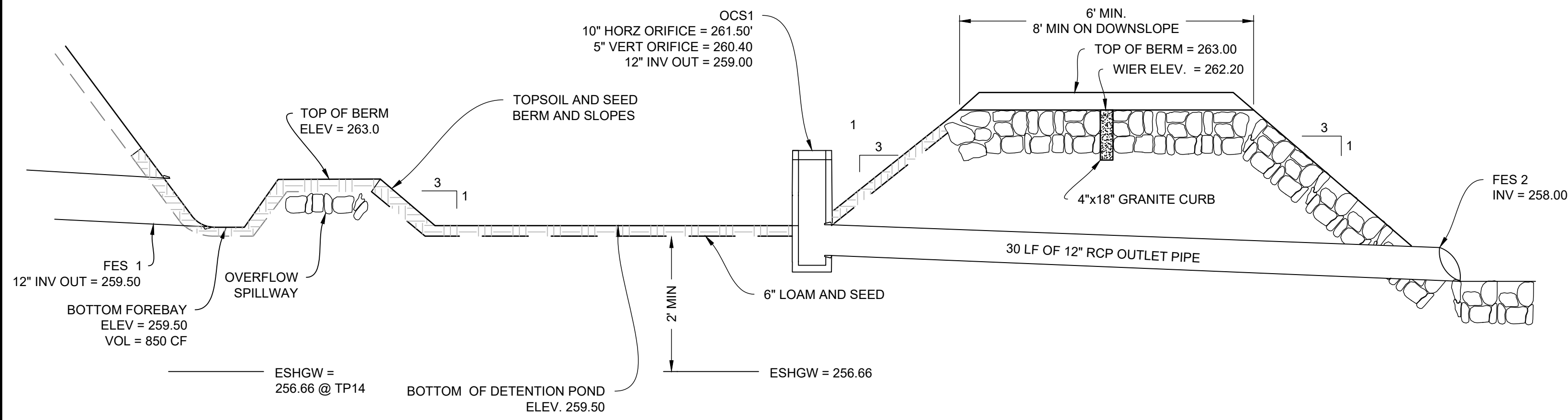
CS6021
SHEET 11 OF 14

Ranger Engineering Group, Inc.
13 Red Roof Lane, Suite 203
Salem NH, 03079
Tel: 978-208-1762
rangereng.com

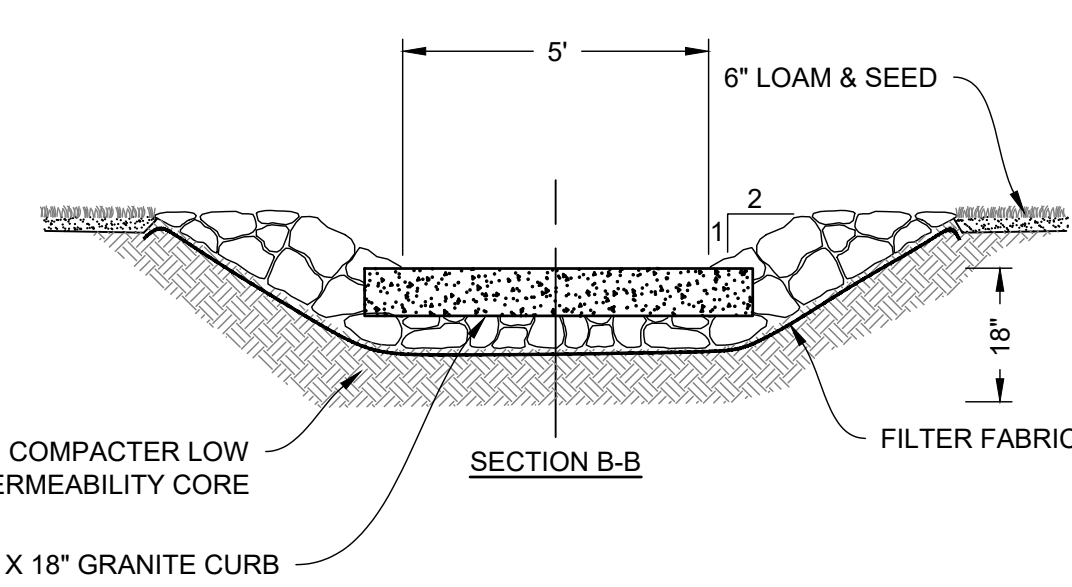
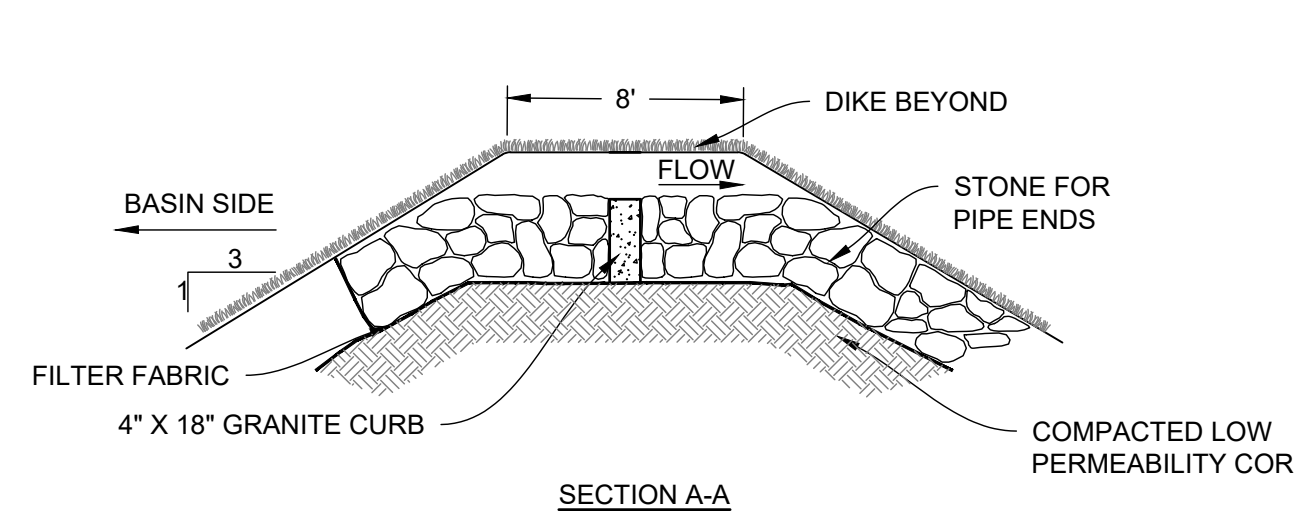
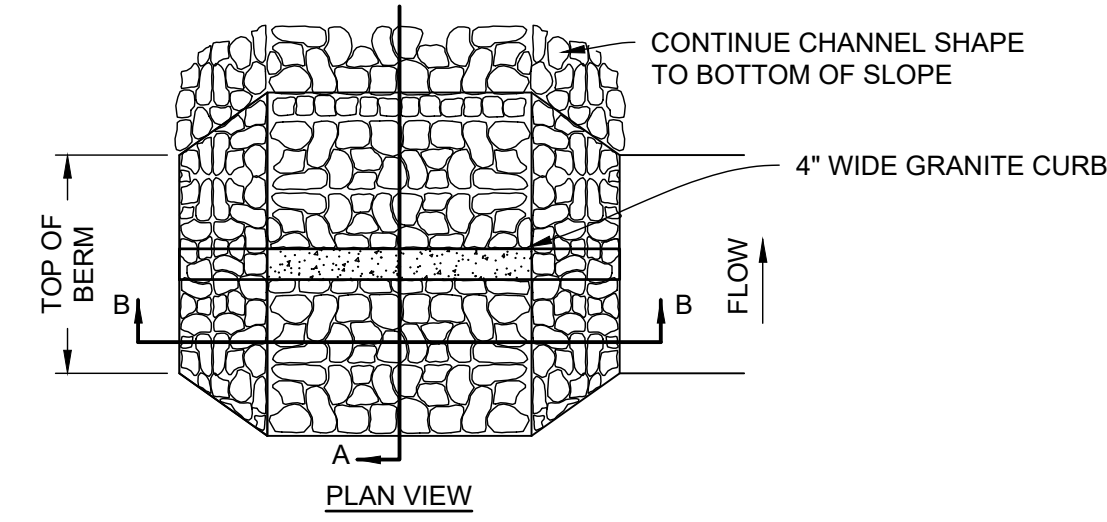


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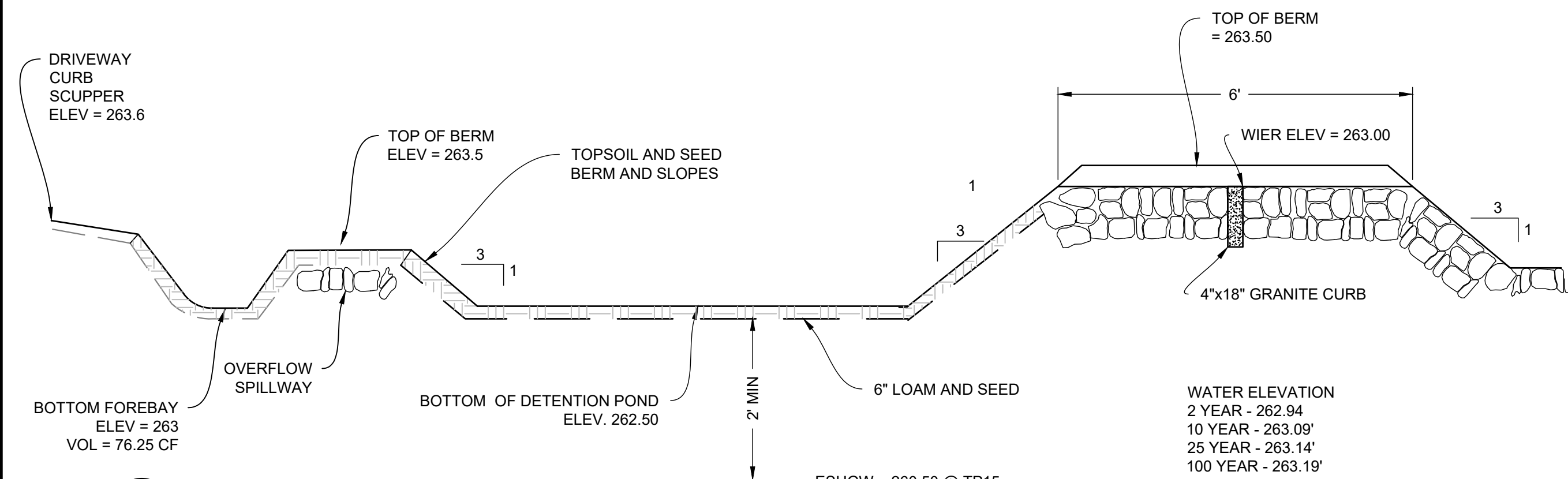
WATER ELEVATION
 2 YEAR - 260.97'
 10 YEAR - 261.67'
 25 YEAR - 261.87'
 100 YEAR - 262.22'



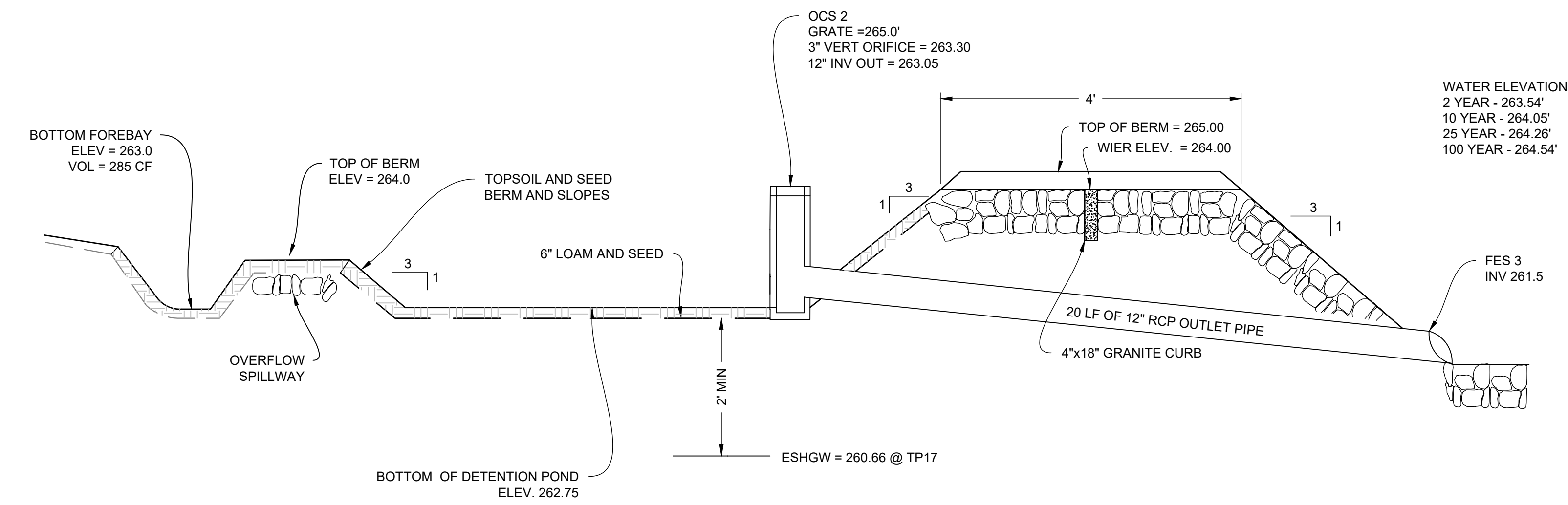
1 CROSS SECTION DETENTION POND 1 (OPEN BASIN)
 NOT TO SCALE



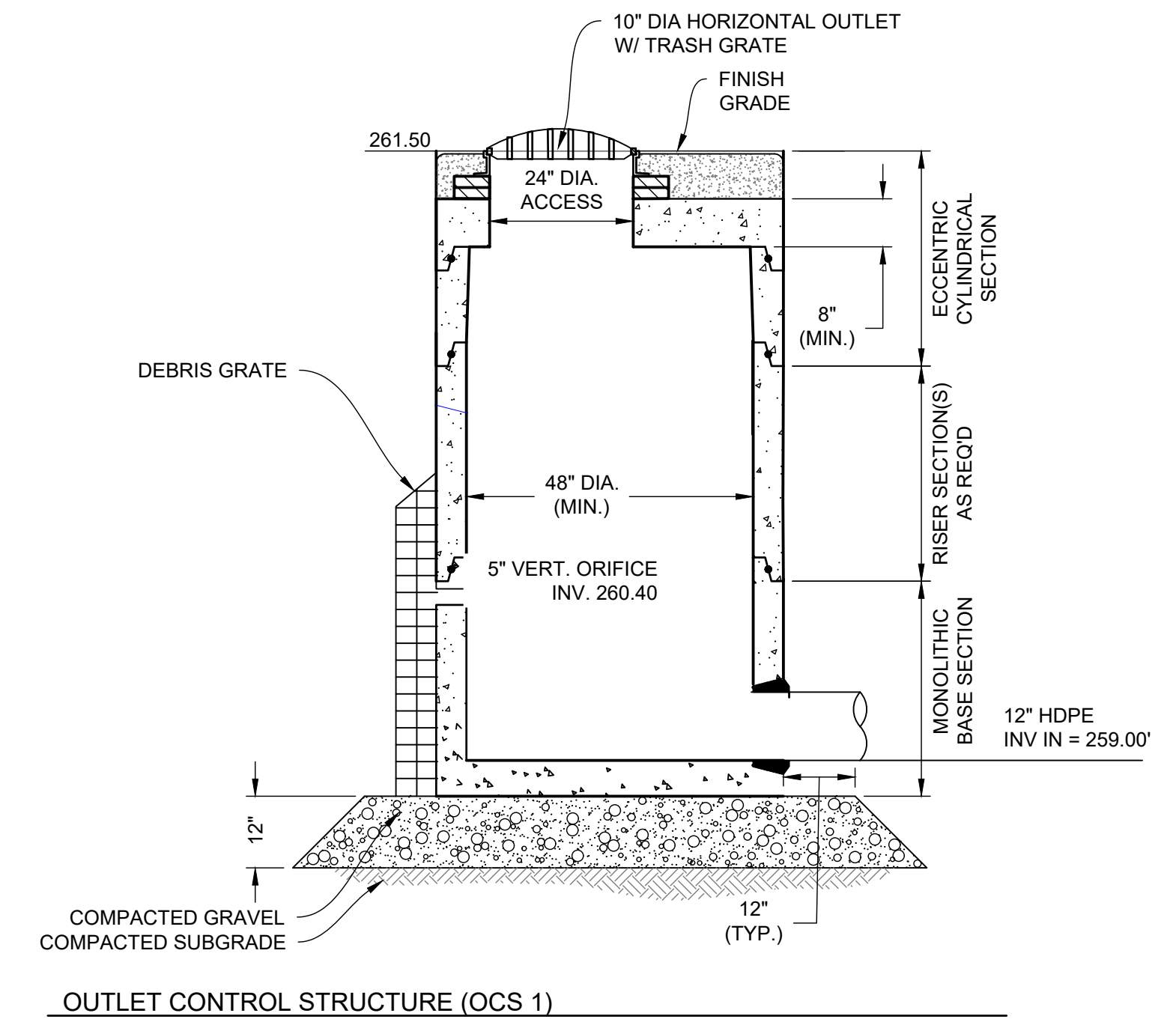
2 SPILLWAY VEE /TRAP WEIR DETAIL
 NOT TO SCALE



3 CROSS SECTION DETENTION POND 2 (OPEN BASIN)
 NOT TO SCALE



4 CROSS SECTION DETENTION POND 3
 NOT TO SCALE



OUTLET CONTROL STRUCTURE (OCS 1)

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TOWN OF ANDOVER PLANNING BOARD

DATE _____

NAME _____ DATE _____

Ranger Engineering Group, Inc.
 13 Red Roof Lane, Suite 203
 Salem NH, 03079
 Tel: 978-208-1762
 rangereng.com

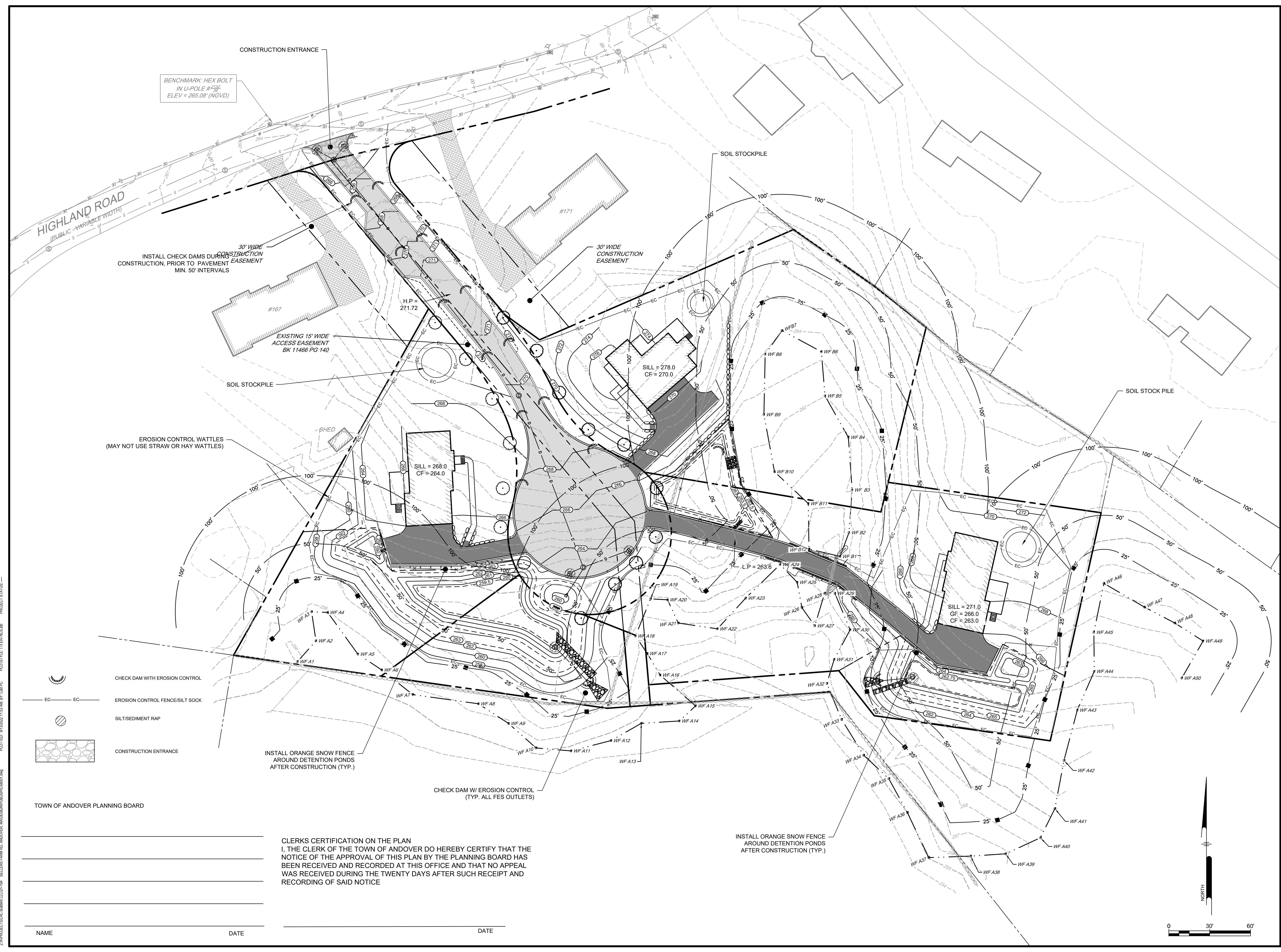


MODIFIED DEFINITIVE SUBDIVISION
 SELLERS FARM ROAD
 ANDOVER, MASSACHUSETTS
DRAINAGE DETAILS
 PREPARED FOR
 LRC BUILDERS LLC
 475 BOSTON ROAD
 BILLERICA, MASSACHUSETTS 01821

| NO. | DATE | REVISIONS | BY |
|-----|------------|----------------------|-----|
| 1 | 07-06-2022 | PEER REVIEW COMMENTS | BCO |
| 2 | 09-13-2022 | PEER REVIEW COMMENTS | BCO |

PROJECT: 21-194
 DATE: 2022-03-04
 DRAWING SCALE: AS NOTED
 DRAWN BY: DJO
 APPROVED BY: BCO

CS6022
 SHEET 12 OF 14



BENCHMARK: HEX BOLT
IN U-POLE #2
ELEV = 265.08' (NGVD)

30' WIDE
INSTALL CHECK DAMS DURING
CONSTRUCTION. PRIOR TO PAVEMENT
CONSTRUCTION. MIN. 50' INTERVALS

EXISTING 15' WIDE
ACCESS EASEMENT
BK 11466 PG 140

EROSION CONTROL WATTLES
(MAY NOT USE STRAW OR HAY WATTLES)

INSTALL ORANGE SNOW FENCE
AROUND DETENTION PONDS
AFTER CONSTRUCTION (TYP.)

CHECK DAM W/ EROSION CONTROL
(TYP. ALL FES OUTLETS)

INSTALL ORANGE SNOW FENCE
AROUND DETENTION PONDS
AFTER CONSTRUCTION (TYP.)

TOWN OF ANDOVER PLANNING BOARD

CLERKS CERTIFICATION ON THE PLAN
I, THE CLERK OF THE TOWN OF ANDOVER DO HEREBY CERTIFY THAT THE
NOTICE OF THE APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS
BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL
WAS RECEIVED DURING THE TWENTY DAYS AFTER SUCH RECEIPT AND
RECORDING OF SAID NOTICE

NAME _____ DATE _____

Ranger Engineering Group, Inc.
13 Red Roof Lane, Suite 203
Salem NH, 03079
Tel: 978-208-1762
rangereng.com



MODIFIED DEFINITIVE SUBDIVISION
SELLERS FARM ROAD
ANDOVER, MASSACHUSETTS
EROSION AND SEDIMENT CONTROL PLAN
PREPARED FOR
LRC BUILDERS LLC
475 BOSTON ROAD
BILLERICA, MASSACHUSETTS 01821

| DATE | NO. | REVISIONS | BY |
|------------|-----|----------------------|------|
| 09-13-2022 | 2 | PEER REVIEW COMMENTS | BICO |
| 07-06-2022 | 1 | PEER REVIEW COMMENTS | BICO |

| | |
|---------------|------------|
| PROJECT | 21-194 |
| DATE | 2022-03-04 |
| DRAWING SCALE | AS NOTED |
| DRAWN BY | DJO |
| APPROVED BY | BICO |

CS8001
SHEET 13 OF 14

Z:\PROJECTS\CS8001\21-194_SELLERS FARM RD ANDOVER MA\CS8001.dwg PLOTTED: 9/13/2022 1:53 PM BY: CDR/PC PROJECT STATUS: ---

EROSION CONTROL NOTES (DURING CONSTRUCTION)

1. THE CONTRACTOR MUST INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND IN THE DETAILS PRIOR TO STARTING ANY OTHER WORK ON THE SITE. EROSION CONTROL MUST BE INSTALLED AT EVERY INLET STRUCTURE (EXISTING AND PROPOSED) AND MAINTAINED FOR THE DURATION OF THE PROJECT.
2. THE CONTRACTOR SHALL CHECK THE CONDITION OF EROSION CONTROLS DAILY TO KEEP THEM IN GOOD OPERATING CONDITION. EROSION CONTROLS SHALL ALSO BE INSPECTED, REPAIRED AND MAINTAINED BY THE CONTRACTOR WITHIN 12 HOURS OF ANY STORM EVENT PRODUCING 1/2 INCH OF RAINFALL OR MORE. EROSION CONTROLS SHALL BE REPLACED WHEN DETERIORATED, OR WHEN ORDERED BY THE ENGINEER. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THEY REACH A DEPTH OF 1/4 - 1/2 THE HEIGHT OF EROSION CONTROL WATTLE.
3. STABILIZE SLOPES STEEPER THAN 3:1 (HORIZONTAL TO VERTICAL) WITH SEED, OR SECURED GEOTEXTILE FABRIC.
4. CLEAN OUT ALL CATCH BASINS, DRAIN MANHOLES, AND STORM DRAIN PIPES AFTER COMPLETION OF CONSTRUCTION.
5. LOAM AND SEED ALL DISTURBED AREAS.
6. SOIL SHALL NOT BE STOCKPILED NEAR TREES.
7. STOCKPILES SHALL BE STABILIZED OR COVERED AT THE END OF EACH WORK DAY.
8. STOCKPILED SOIL SHALL BE STABILIZED WITH TEMPORARY VEGETATIVE COVER IF LEFT FOR MORE THAN 30 DAYS.
9. DISTURBED AREAS IDLE FOR MORE THAN 14 DAYS SHALL BE STABILIZED.
10. UPON ESTABLISHMENT OF PERMANENT VEGETATION OVER DISTURBED AREAS, REMOVE AND DISPOSE OF STAKES, AND SILT FENCE.
11. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN AND SUPPLEMENT THE SPECIFIED SEDIMENTATION CONTROLS AS NECESSARY TO PREVENT SEDIMENTATION OF OFF-SITE AREAS AND/OR ANY REGULATED RESOURCE AREAS. FAILURE BY THE CONTRACTOR TO CONTROL EROSION, POLLUTION, AND/OR SILTATION SHALL BE CAUSE FOR THE OWNER TO EMPLOY OUTSIDE ASSISTANCE OR TO USE HIS OWN MEANS TO PROVIDE THE NECESSARY CORRECTIVE MEASURE. THE COST OF SUCH ASSISTANCE PLUS PROJECT ENGINEERING COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
12. IN ADDITION TO THOSE LOCATIONS SHOWN ON THIS PLAN AND ON THE GRADING AND DRAINAGE PLANS, EROSION CONTROLS SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS: TOE OF SLOPE OF EMBANKMENT CONSTRUCTION, TOE OF TEMPORARY EARTHWORK STOCKPILES.
13. DUST SHALL BE CONTROLLED ON SITE AND SWEEPED FROM THE PAVEMENT AT THE END OF EACH WORK DAY.
14. TEMP SEDIMENT TRAPS SHALL NOT BE REMOVED UNIL PERMANENT STABILIZATION IS ESTABLISHED.
15. EROSION AND SEDIMENTATION CONTROL SHALL BE IN COMPLIANCE WITH MASSACHUSETTS STORMWATER POLICY AND TOWN OF ANDOVER STORMWATER REGULATIONS

CONSTRUCTION SEQUENCE NOTES (START 5/14/2021):

1. INSTALL EROSION AND SEDIMENT CONTROLS AS SHOWN ON PLAN PRIOR TO ANY LAND DISTURBANCE.
2. COMMENCE CLEARING, GRUBBING, AND EARTHWORK.
3. PERFORM EARTHWORK OPERATIONS. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS AFTER BEING CONSTRUCTED. TEMPORARY GRADED AREAS SHOULD BE STABILIZED WITH MULCH BY OCTOBER 1ST, SO AS NOT TO BE LEFT EXPOSED DURING WINTER CONDITIONS.
4. INSTALL SITE UTILITIES.
5. STABILIZE SIDE SLOPES. SIDE SLOPES MUST BE FULLY STABILIZED BEFORE ANY STORMWATER DISCHARGE.
6. INSTALL BUILDING FOUNDATION.
7. FINAL PAVING OF ROADWAY AND DRIVEWAYS.
8. INSPECT ALL SEDIMENT AND EROSION CONTROL MEASURES.
9. AFTER ALL SEEDED AREAS HAVE ESTABLISHED STABLE GROWTH, ALL TEMPORARY EROSION CONTROL SHALL BE REMOVED.
10. CONTRACTOR SHALL NOTIFY AND COORDINATE WITH ALL AUTHORITIES RESPONSIBLE FOR INSPECTIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL REQUIRED INSPECTION SIGN-OFFS, INCLUDING SURVEYING OF FINISHED ELEVATIONS THROUGHOUT THE CONSTRUCTION PERIOD IN ORDER TO MAKE APPROPRIATE ADJUSTMENTS DUE TO COMPACTION.
11. AFTER PAVING IS INSTALLED, IT SHALL BE SWEEPED CLEAN ON A REGULAR BASIS.
12. REMOVE ALL EROSION CONTROL DEVICES AT THE END OF CONSTRUCTION.

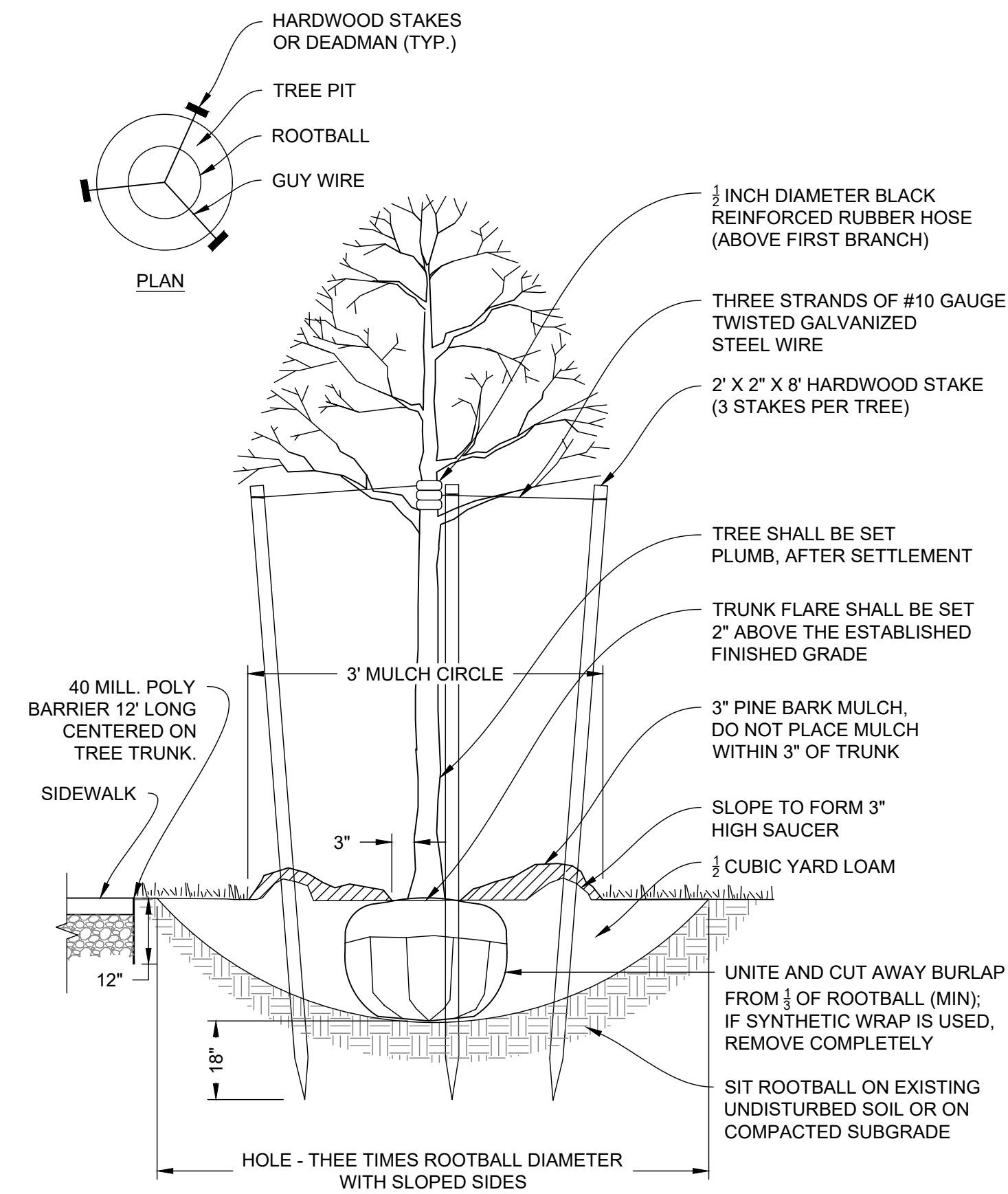
CLERKS CERTIFICATION ON THE PLAN

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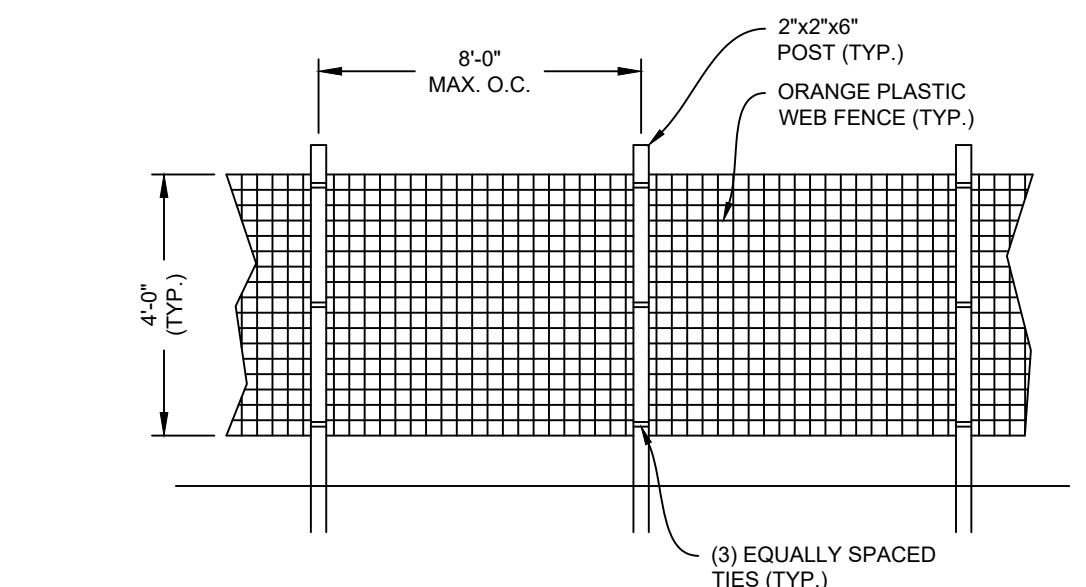
DATE _____

TOWN OF ANDOVER PLANNING BOARD

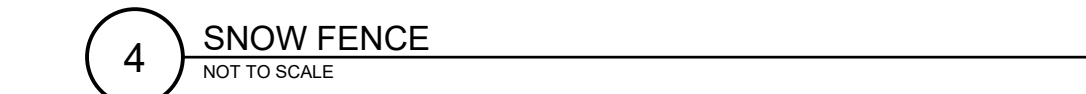
NAME _____ DATE _____



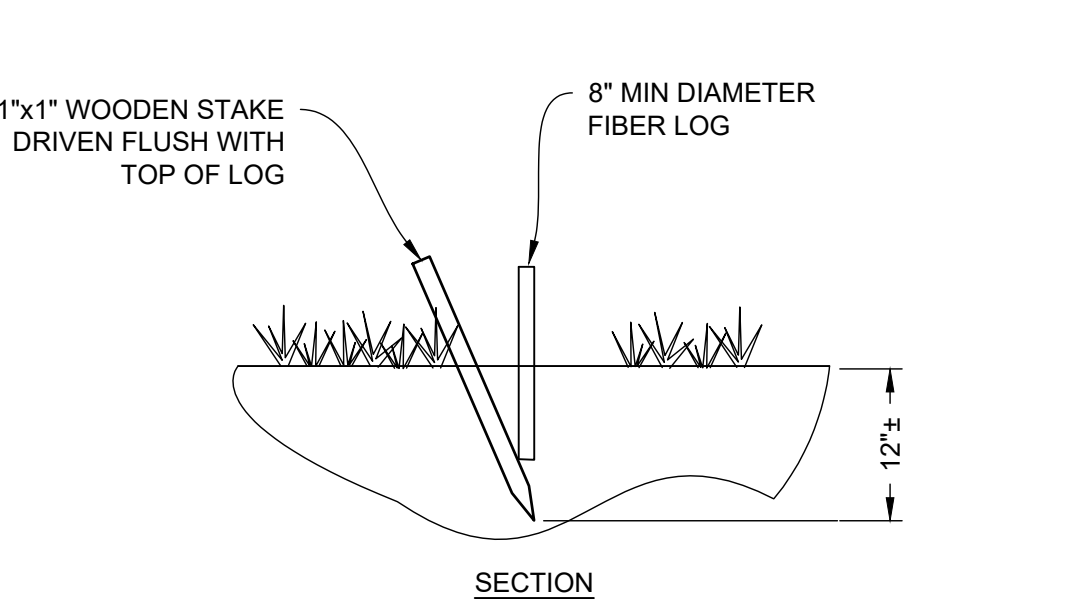
1 TREE PLANTING DETAIL
NOT TO SCALE



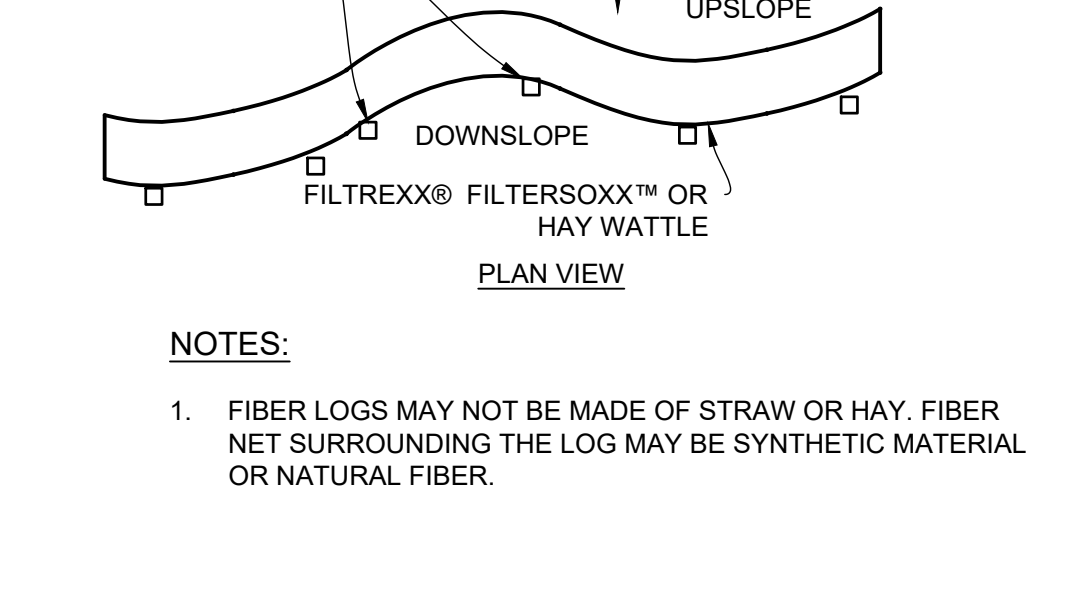
2 SILTSACK SEDIMENT TRAP
NOT TO SCALE



3 SILT FENCE BARRIER
NOT TO SCALE



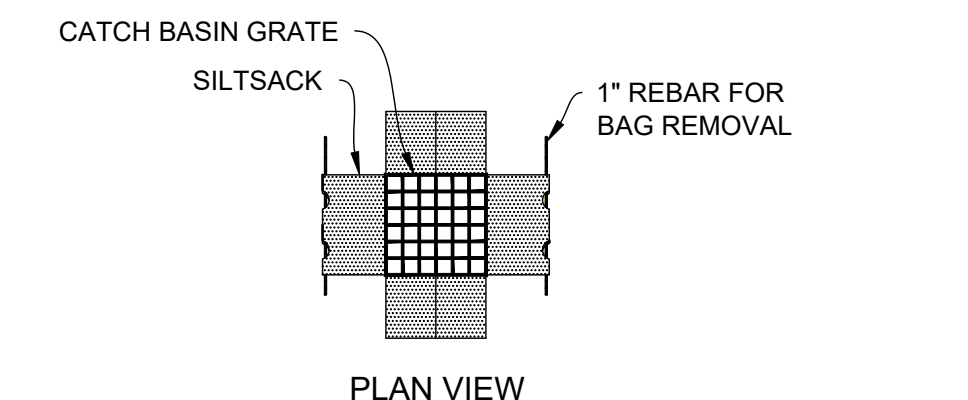
4 SNOW FENCE
NOT TO SCALE



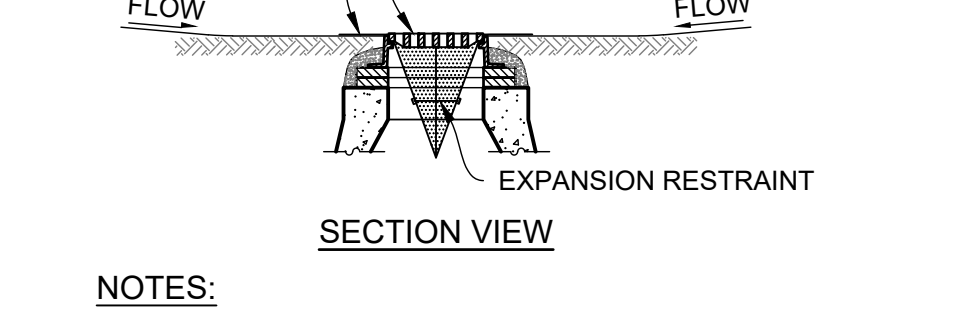
5 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



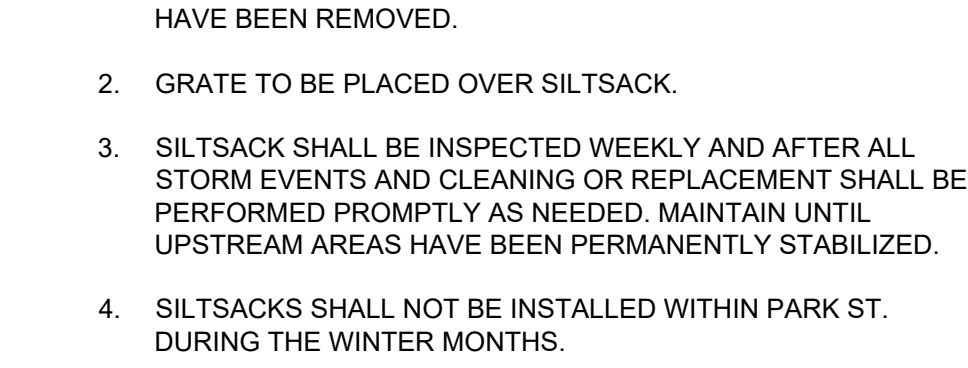
6 FIBER LOG DETAIL
NOT TO SCALE



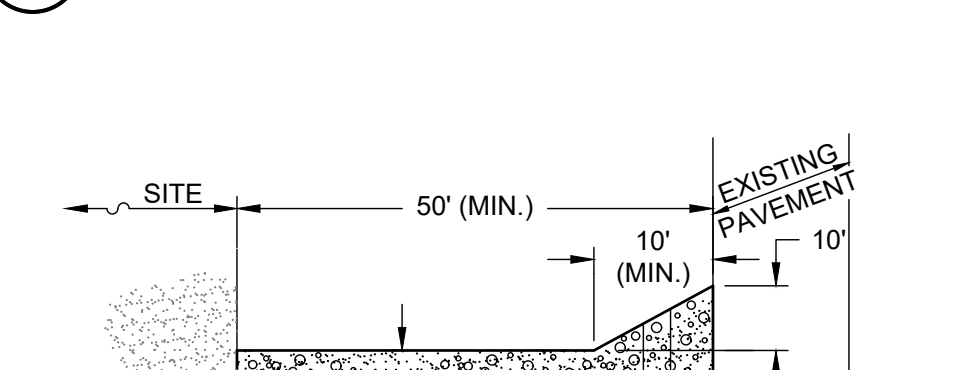
7 CONCRETE WASHOUT
NOT TO SCALE



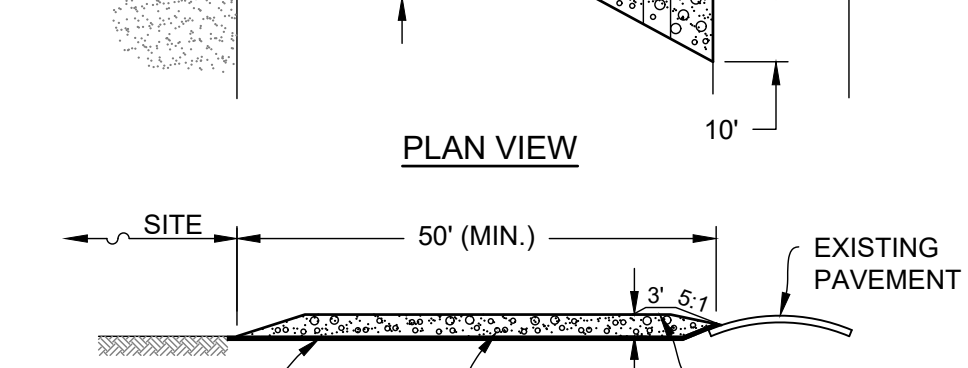
8 CHECK DAM DETAIL
NOT TO SCALE



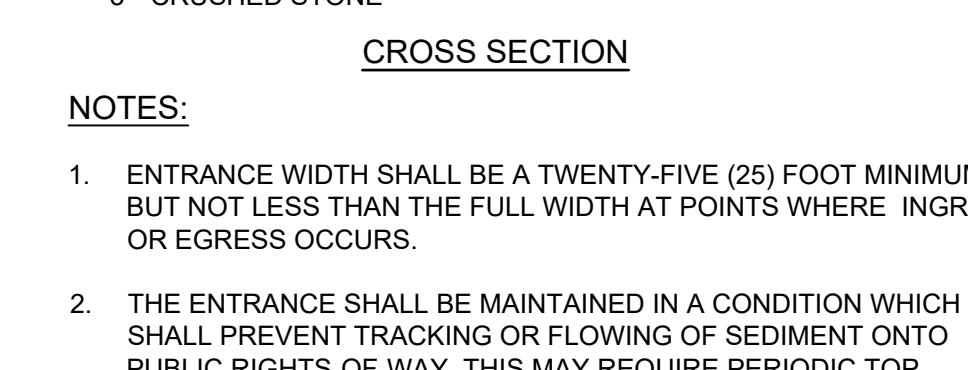
1 TREE PLANTING DETAIL
NOT TO SCALE



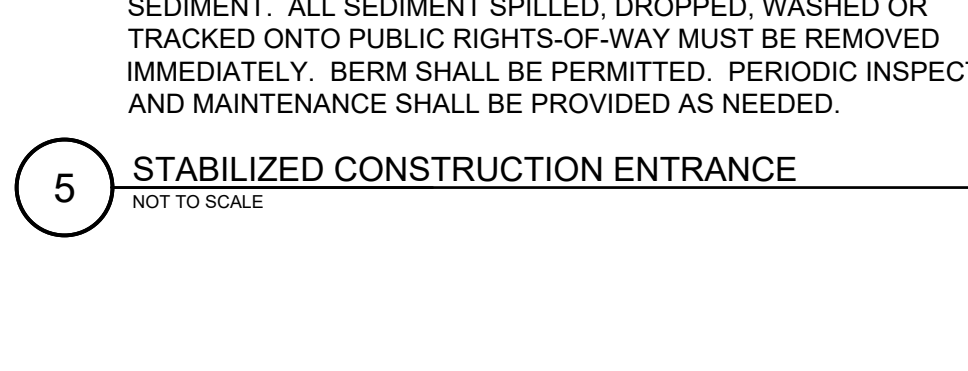
2 SILTSACK SEDIMENT TRAP
NOT TO SCALE



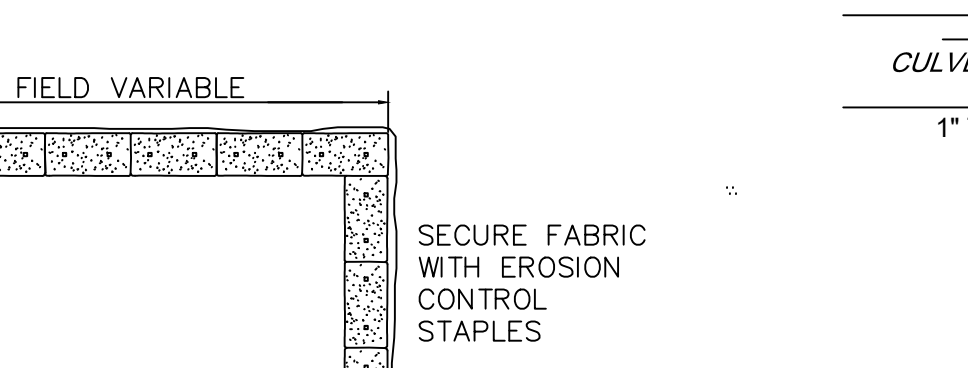
3 SILT FENCE BARRIER
NOT TO SCALE



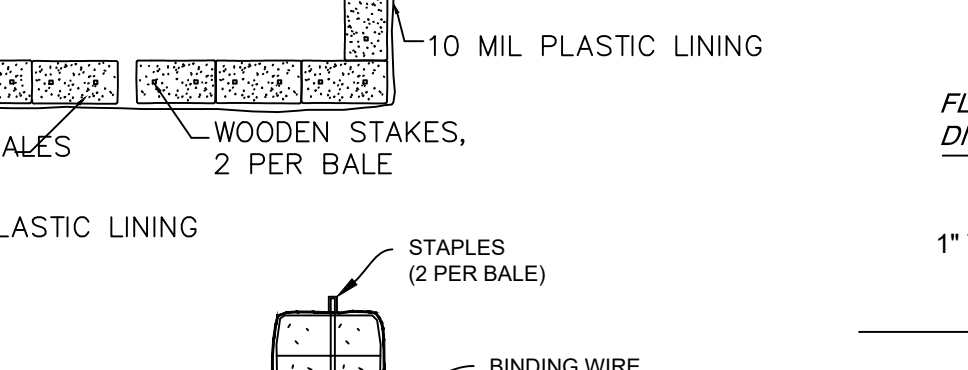
4 SNOW FENCE
NOT TO SCALE



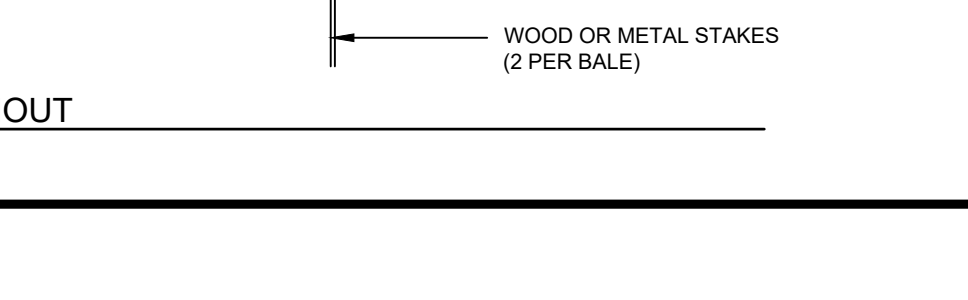
5 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



6 FIBER LOG DETAIL
NOT TO SCALE



7 CONCRETE WASHOUT
NOT TO SCALE



8 CHECK DAM DETAIL
NOT TO SCALE

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MODIFIED DEFINITIVE SUBDIVISION
SELLERS FARM ROAD
ANDOVER, MASSACHUSETTS

EROSION & SEDIMENT CONTROL NOTES & DETAILS

PREPARED FOR
LRC BUILDERS LLC
175 BOSTON ROAD
BILLERICA, MASSACHUSETTS 01821

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| 1 | 07-06-2022 | PEER REVIEW COMMENTS | BCO |
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PROJECT: **21-194**

DATE: 2022-03-04

DRAWING SCALE: AS NOTED

DRAWN BY: DJO

APPROVED BY: BCO

CS8501

SHEET 14 OF 14

PROJECT STATUS: PLOTTED: 9/13/2022 1:53 PM BY: CUI PC PLOT STYLE: T11E16V10.ACT