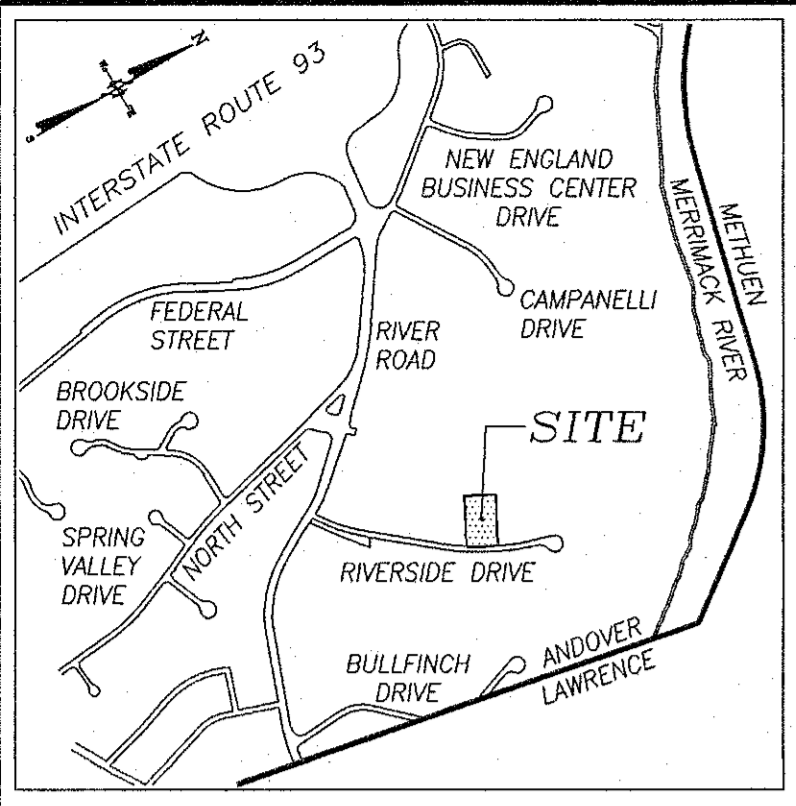
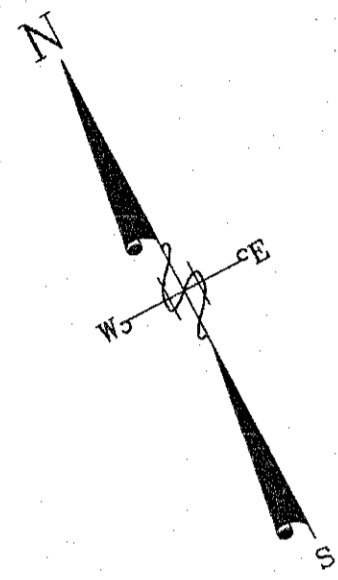


# PROPOSED SELF STORAGE FACILITY 43 RIVER ROAD

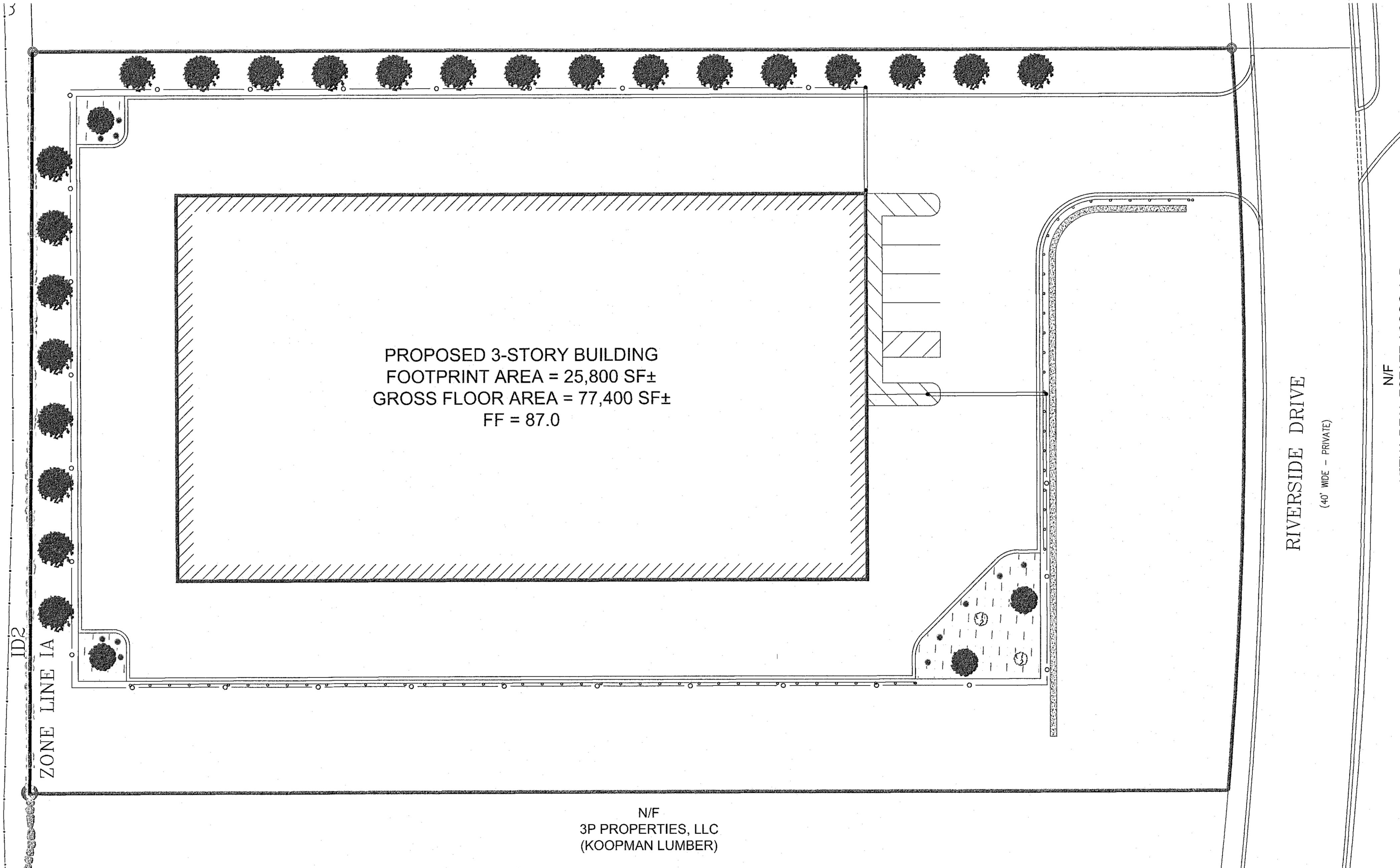


LOCUS MAP:  
NOT TO SCALE

N/F  
ANDOVER PARK DEVELOPMENT L.P.T.  
(HOMEWOOD SUITES)



N/F  
GREATER LAWRENCE REGIONAL VOCATIONAL  
TECHNICAL HIGH SCHOOL



PROPOSED 3-STORY BUILDING  
FOOTPRINT AREA = 25,800 SF±  
GROSS FLOOR AREA = 77,400 SF±  
FF = 87.0

RIVERSIDE DRIVE  
(40' WIDE - PRIVATE)

N/F  
AETNA REAL ESTATE ASSOC. L.P.

N/F  
3P PROPERTIES, LLC  
(KOOPMAN LUMBER)

### INDEX TO SHEETS

- SHEET #1 - COVER SHEET
- SHEET #2 - EXISTING CONDITIONS PLAN
- SHEET #3 - SOIL EROSION & SEDIMENTATION CONTROL
- SHEET #4 - SITE LAYOUT PLAN
- SHEET #5 - GRADING & DRAINAGE PLAN
- SHEET #6 - UTILITY PLAN
- SHEET #7 - LANDSCAPE PLAN
- SHEET #8 - DETAILS & MATERIAL SPECIFICATIONS
- SHEET #9 - DETAIL SHEET
- SHEET #10 - DETAIL SHEET
- SHEET #11 - TURN RADIUS EXHIBIT PLAN

### NOTES:

1. SUBJECT PROPERTY LOCATED ON A PORTION OF THE PROPERTY LOCATED ON ANDOVER ASSESSORS MAP #126, LOT #4. SUBJECT PROPERTY SHOWN AS LOT A ON RECORD PLAN #11374 RECORDED AT THE ESSEX NORTH REGISTRY OF DEEDS.
2. SUBJECT PROPERTY LOCATED IN TOWN OF ANDOVER ZONING DISTRICT "IA" ~ INDUSTRIAL A ZONING DISTRICT.
3. TOPOGRAPHY AND EXISTING CONDITIONS SHOWN HEREON IS THE RESULT OF AN ON-THE-GROUND SURVEY CONDUCTED BY DANA F. PERKINS, INC., IN MAY OF 2022.

### DEED REFERENCES:

ESSEX NORTH REGISTRY OF DEEDS  
DEED BOOK: 17058 PAGE: 310  
PLAN BOOK: PLAN #B302  
PLAN BOOK: PLAN #11374

### RECORD OWNERS:

3P PROPERTIES, LLC  
665 CHURCH STREET  
WHITINSVILLE, MA

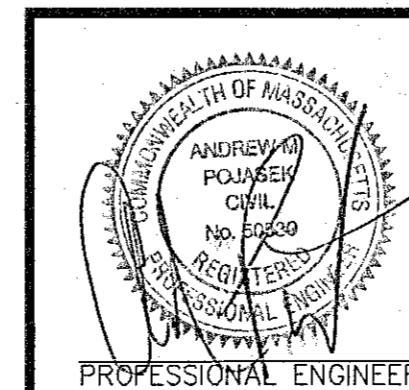
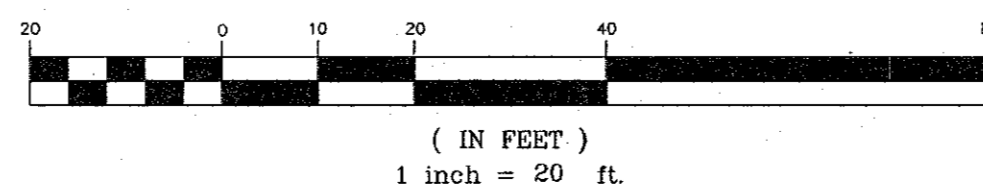
APPROVED BY THE TOWN OF  
ANDOVER PLANNING BOARD:

DATE: \_\_\_\_\_

DATE	BY	REVISION
9/26/22	AMP	REVISED PER PEER REVIEW COMMENTS
10/11/22	AMP	REVISED PER PEER REVIEW COMMENTS

### UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



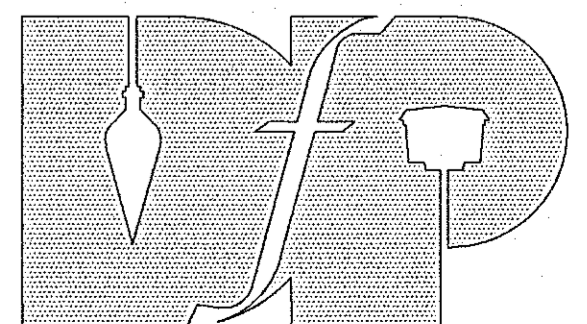
COVER SHEET  
PROPOSED SELF STORAGE FACILITY  
43 RIVER ROAD  
ANDOVER, MASSACHUSETTS

SCALE: 1" = 20' DATE: JULY 11, 2022

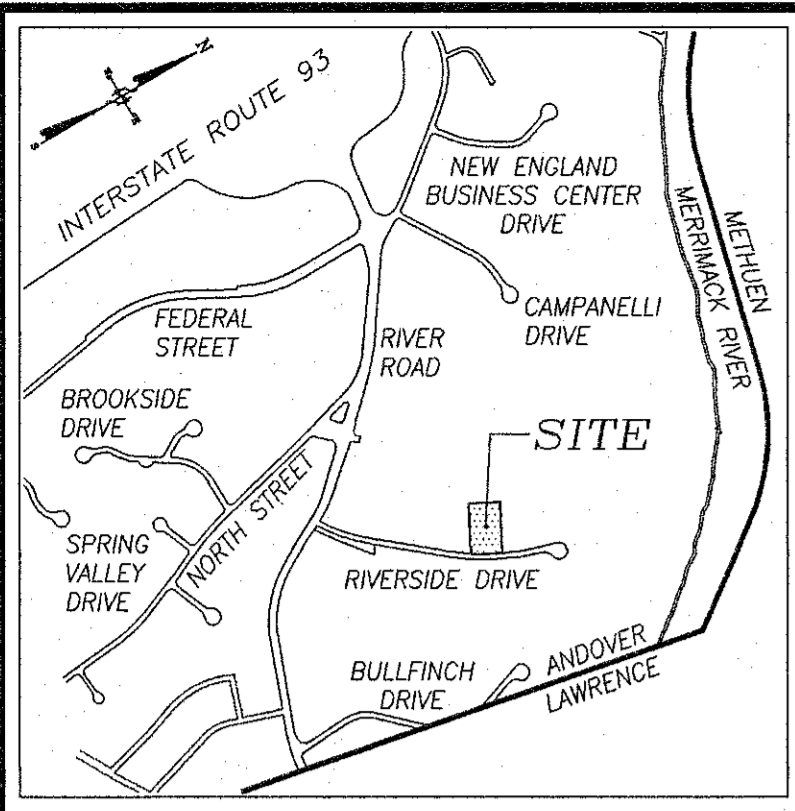
**DANA F. PERKINS, inc.**  
Consulting Engineers & Land Surveyors  
1057 EAST STREET ~ TEWKSBURY, MASSACHUSETTS 01876  
TEL: 978-858-0680 FAX: 978-640-0237  
DANA.F.PERKINS.COM

PREPARED FOR:  
3P PROPERTIES, LLC  
665 CHURCH STREET  
WHITINSVILLE, MA

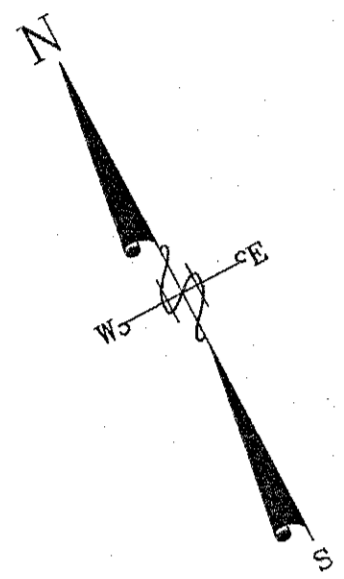
JOB NO. 51947 SHEET 1 OF 11



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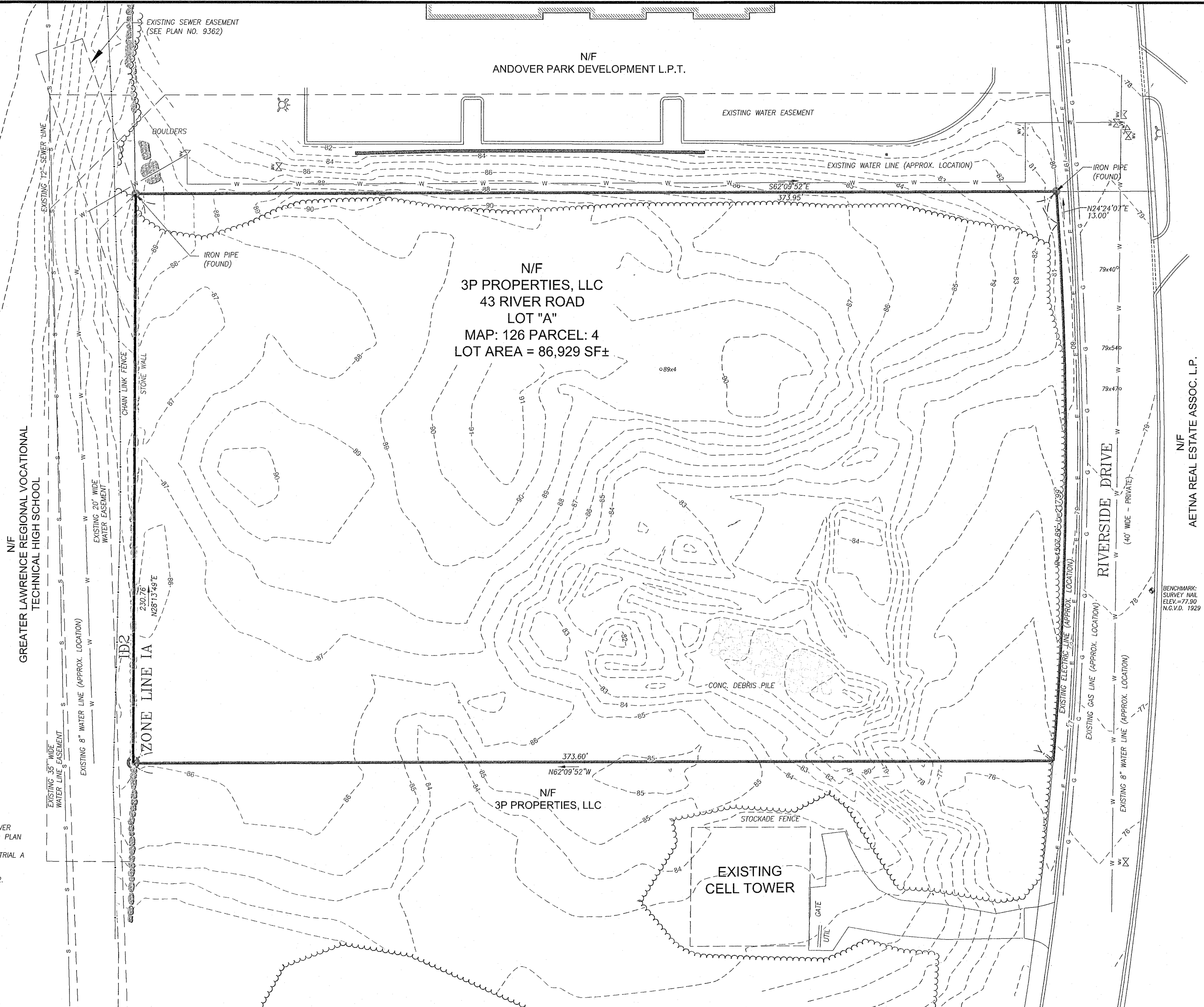


LOCUS MAP:  
NOT TO SCALE



**LEGEND:**  
SYMBOLS AND ABBREVIATIONS SHOWN ON THIS PLAN

CONTOUR	---	100
CHAIN LINK FENCE	—•—•—	
STOCKADE FENCE	—x—x—	
CATCH BASIN ~ CB	⊠	
DRAIN MANHOLE ~ DMH	⊙	
HYDRANT	⊕	
WATER VALVE	⊕	
FINISH FLOOR ELEVATION	F.F. = 100.00	
INVERT ELEVATION	INV. = 100.00	
BITUMINOUS	—•—	
CONCRETE	—•—	
EXISTING	EX.	
PROPOSED	PR.	
SQUARE FEET	SF	
NOW OR FORMERLY	N/F	

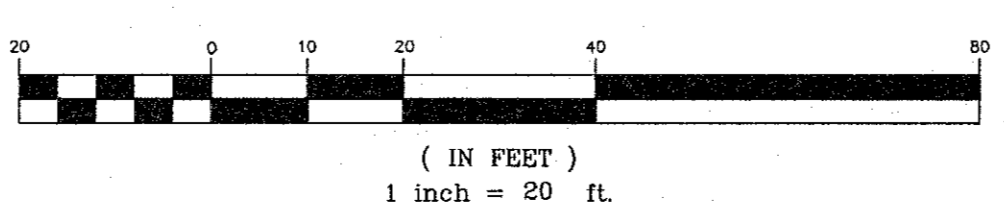


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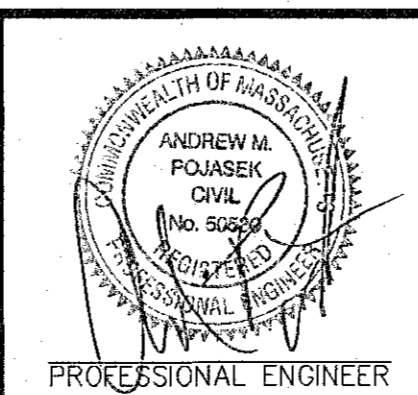
**DEED REFERENCES:**  
ESSEX NORTH REGISTRY OF DEEDS  
DEED BOOK: 17058 PAGE: 310  
PLAN BOOK: PLAN #8302  
PLAN BOOK: PLAN #11374

**RECORD OWNERS:**  
3P PROPERTIES, LLC  
665 CHURCH STREET  
WHITINSVILLE, MA

**UTILITY STATEMENT:**  
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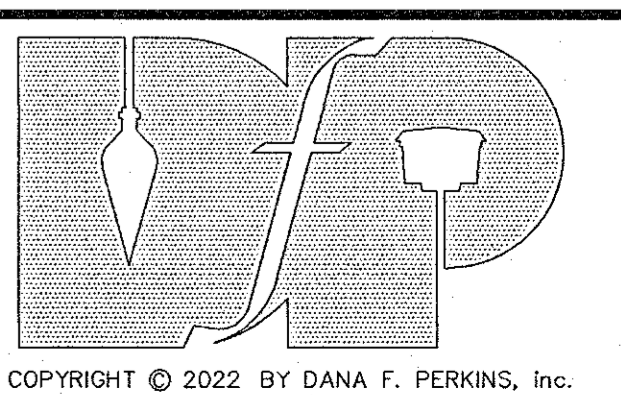


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10/11/22	AMP	REVISED PER PEER REVIEW COMMENTS



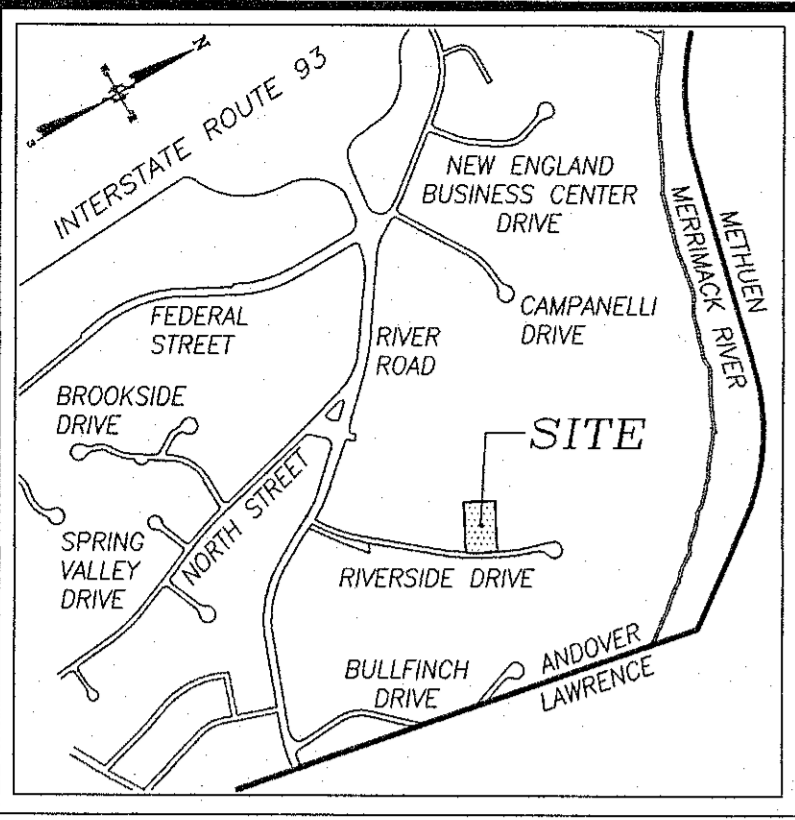
**EXISTING CONDITIONS PLAN**  
**PROPOSED SELF STORAGE FACILITY**  
43 RIVER ROAD  
ANDOVER, MASSACHUSETTS  
SCALE: 1" = 20'  
DATE: JULY 11, 2022

**DANA F. PERKINS, inc.**  
Consulting Engineers & Land Surveyors  
1057 EAST STREET ~ TEWKSBURY, MASSACHUSETTS 01876  
TEL: 978-858-0680 FAX: 978-640-0237  
DANA.F.PERKINS.COM  
PREPARED FOR:  
3P PROPERTIES, LLC  
665 CHURCH STREET  
WHITINSVILLE, MA  
JOB NO. 51947 SHEET 2 OF 11

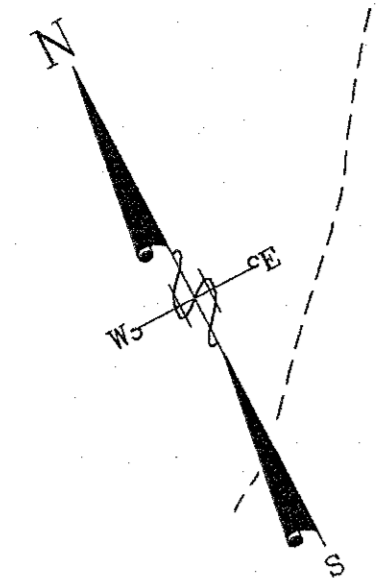


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APPROVED BY THE TOWN OF ANDOVER PLANNING BOARD:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
DATE: \_\_\_\_\_



LOCUS MAP:  
NOT TO SCALE



**GENERAL SEQUENCE OF CONSTRUCTION**

1. ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY WORK STARTING ON THE PROJECT. ALL CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
2. THE CURB CUT LOCATED ALONG RIVERSIDE DRIVE SHALL BE CONSTRUCTED AND THE CONSTRUCTION ENTRANCE INSTALLED.
3. THE CONTRACTOR SHALL CUT AND REMOVE ALL TREES WITHIN THE LIMIT OF WORK AND STUMP THE SITE.
4. THE LOAM AND SUBSOIL WITHIN THE LIMIT OF WORK SHALL BE STRIPPED. THE MAJORITY OF THE STRIPPED SOILS WILL BE HAULED OFF SITE. SOME LOAM MAY BE RETAINED AND STOCKPILED IN DESIGNATED SOIL STOCKPILE AREAS.
5. TEMPORARY SEDIMENT BASINS SHALL BE CONSTRUCTED TO HELP CONTROL RUNOFF FROM THE SITE, AS NECESSARY.
6. GENERAL SITE GRADING SHALL BE COMPLETED, INCLUDING THE INSTALLATION OF THE RETAINING WALLS.
7. ONCE GENERAL SITE GRADING IS COMPLETED, THE DRAINAGE SYSTEM SHALL BE INSTALLED, STARTING WITH OUTLETS, AND FINISHING WITH PIPING AND DRAINAGE STRUCTURES.
8. CONSTRUCTION OF THE BUILDING SHALL BE COMPLETED.
9. FINAL SITE GRADING SHALL BE COMPLETED.
10. THE SITE SHALL BE PREPARED FOR PAVEMENT, AND THEN THE BASE COAT OF PAVEMENT SHALL BE INSTALLED.
11. STORMWATER SYSTEMS SHALL BE ACTIVATED ONCE THE BASE COAT OF PAVEMENT HAS BEEN INSTALLED.
12. LANDSCAPING AND SIGNAGE SHALL BE INSTALLED.
13. TOP COURSE PAVING AND STRIPING SHALL BE COMPLETED.
14. ONCE SITE IS STABILIZED, EROSION CONTROL MEASURES SHALL BE REMOVED.

**NOTES:**

1. SUBJECT PROPERTY LOCATED ON A PORTION OF THE PROPERTY LOCATED ON ANDOVER ASSESSORS MAP #126, LOT #4. SUBJECT PROPERTY SHOWN AS LOT 4 ON RECORD PLAN #11374 RECORDED AT THE ESSEX NORTH REGISTRY OF DEEDS.
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**DEED REFERENCES:**

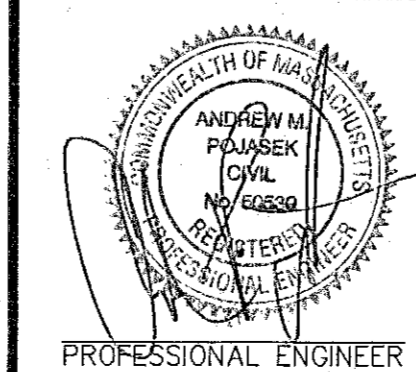
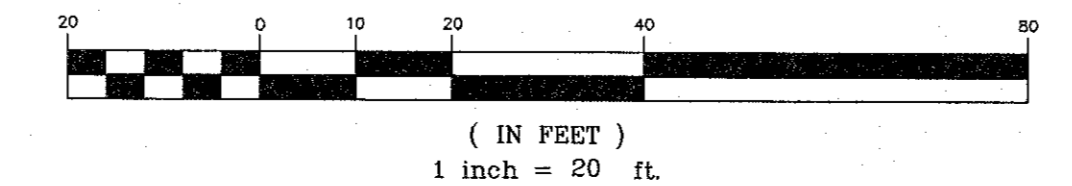
ESSEX NORTH REGISTRY OF DEEDS  
DEED BOOK: 17058 PAGE: 310  
PLAN BOOK: PLAN #8302  
PLAN BOOK: PLAN #11374

**RECORD OWNERS:**

3P PROPERTIES, LLC  
665 CHURCH STREET  
WHITINSVILLE, MA

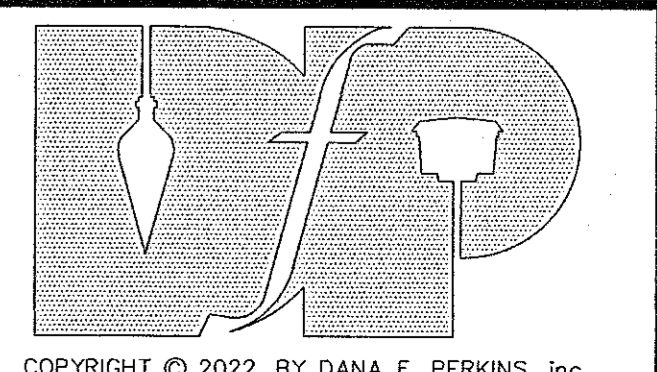
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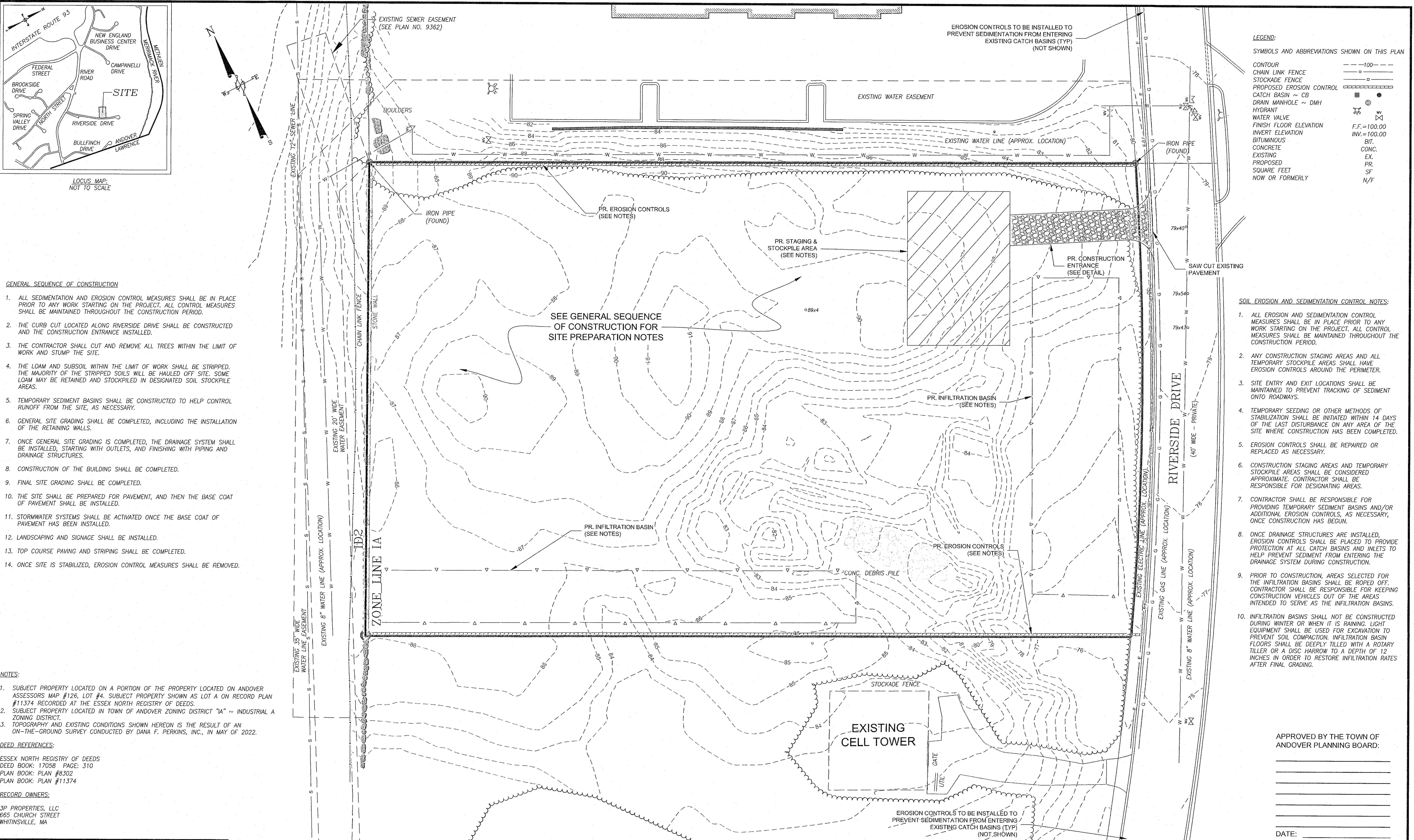


**SOIL EROSION & SEDIMENTATION CONTROL**  
**PROPOSED SELF STORAGE FACILITY**  
43 RIVER ROAD  
ANDOVER, MASSACHUSETTS  
SCALE: 1" = 20' DATE: JULY 11, 2022

**DANA F. PERKINS, inc.**  
Consulting Engineers & Land Surveyors  
1057 EAST STREET ~ TEWKSBURY, MASSACHUSETTS 01876  
TEL: 978-858-0880 FAX: 978-640-0237  
DANAFPERKINS.COM  
PREPARED FOR:  
3P PROPERTIES, LLC  
665 CHURCH STREET  
WHITINSVILLE, MA  
JOB NO. 51947 SHEET 3 OF 11



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**LEGEND:**  
SYMBOLS AND ABBREVIATIONS SHOWN ON THIS PLAN

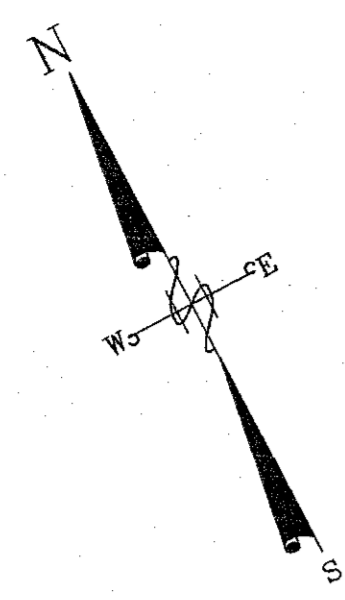
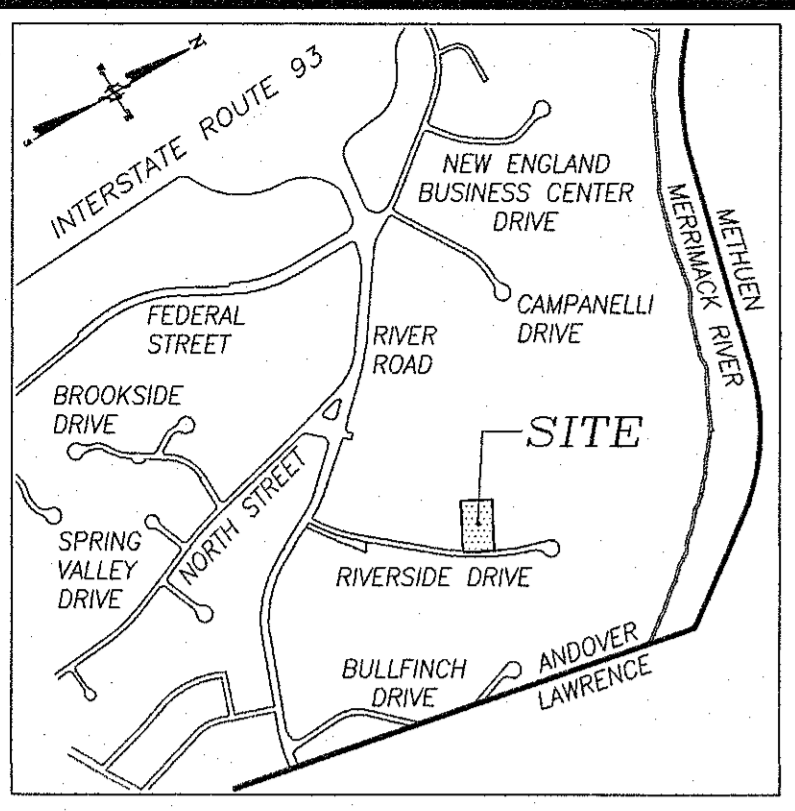
CONTOUR	- - - - -	100'
CHAIN LINK FENCE	—○—○—	
STOCKADE FENCE	—●—●—	
PROPOSED EROSION CONTROL	—▲—▲—	
CATCH BASIN ~ CB	□	
DRAIN MANHOLE ~ DMH	⊗	
HYDRANT	⊕	
WATER VALVE	⊕	
FINISH FLOOR ELEVATION	F.F. = 100.00	
INVERT ELEVATION	INV. = 100.00	
BITUMINOUS	BIT.	
CONCRETE	CONC.	
EXISTING	EX.	
PROPOSED	PR.	
SQUARE FEET	SF	
NOW OR FORMERLY	N/F	

**SOIL EROSION AND SEDIMENTATION CONTROL NOTES:**

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY WORK STARTING ON THE PROJECT. ALL CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
2. ANY CONSTRUCTION STAGING AREAS AND ALL TEMPORARY STOCKPILE AREAS SHALL HAVE EROSION CONTROLS AROUND THE PERIMETER.
3. SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED TO PREVENT TRACKING OF SEDIMENT ONTO ROADWAYS.
4. TEMPORARY SEEDING OR OTHER METHODS OF STABILIZATION SHALL BE INITIATED WITHIN 14 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE WHERE CONSTRUCTION HAS BEEN COMPLETED.
5. EROSION CONTROLS SHALL BE REPAIRED OR REPLACED AS NECESSARY.
6. CONSTRUCTION STAGING AREAS AND TEMPORARY STOCKPILE AREAS SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGNATING AREAS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY SEDIMENT BASINS AND/OR ADDITIONAL EROSION CONTROLS, AS NECESSARY, ONCE CONSTRUCTION HAS BEGUN.
8. ONCE DRAINAGE STRUCTURES ARE INSTALLED, EROSION CONTROLS SHALL BE PLACED TO PROVIDE PROTECTION AT ALL CATCH BASINS AND INLETS TO HELP PREVENT SEDIMENT FROM ENTERING THE DRAINAGE SYSTEM DURING CONSTRUCTION.
9. PRIOR TO CONSTRUCTION, AREAS SELECTED FOR THE INFILTRATION BASINS SHALL BE ROPED OFF. CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING CONSTRUCTION VEHICLES OUT OF THE AREAS INTENDED TO SERVE AS THE INFILTRATION BASINS.
10. INFILTRATION BASINS SHALL NOT BE CONSTRUCTED DURING WINTER OR WHEN IT IS RAINING. LIGHT EQUIPMENT SHALL BE USED FOR EXCAVATION TO PREVENT SOIL COMPACTION. INFILTRATION BASIN FLOORS SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR A DISC HARROW TO A DEPTH OF 12 INCHES IN ORDER TO RESTORE INFILTRATION RATES AFTER FINAL GRADING.

APPROVED BY THE TOWN OF ANDOVER PLANNING BOARD:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
DATE: \_\_\_\_\_



LOCUS MAP:  
NOT TO SCALE

**DIMENSIONAL REQUIREMENTS**  
REQUIRED INFORMATION PER TOWN OF ANDOVER ZONING BY-LAW FOR INDUSTRIAL "A" ZONING DISTRICT

CHARACTERISTIC	REQUIRED	PROVIDED
MIN. LOT AREA:	-----	86,929 sq.ft.
MIN. LOT FRONTAGE:	-----	230.99' ±
MIN. FRONT YARD:	50'	116.4' ±
MIN. SIDE YARD:	40'	44.9' ±
MIN. REAR YARD:	40'	45.0' ±
MAX. HEIGHT:	60'	34' ±
MAX. BUILDING COVERAGE:	30%	29.7%
MAX. LOT COVERAGE:	-----	65.2%

**LEGEND:**  
SYMBOLS AND ABBREVIATIONS SHOWN ON THIS PLAN

EDGE OF PAVEMENT	EP
EDGE OF PAVEMENT - CAPE COD BERM	EPCCB
PROPOSED BITUMINOUS CONCRETE	PROP. BIT. CONC.
RETAINING WALL	RET.
FINISH FLOOR ELEVATION	FF=100.00
PROPOSED PARKING SPACES	⊙
ACCESSIBLE PARKING SPACE	♿

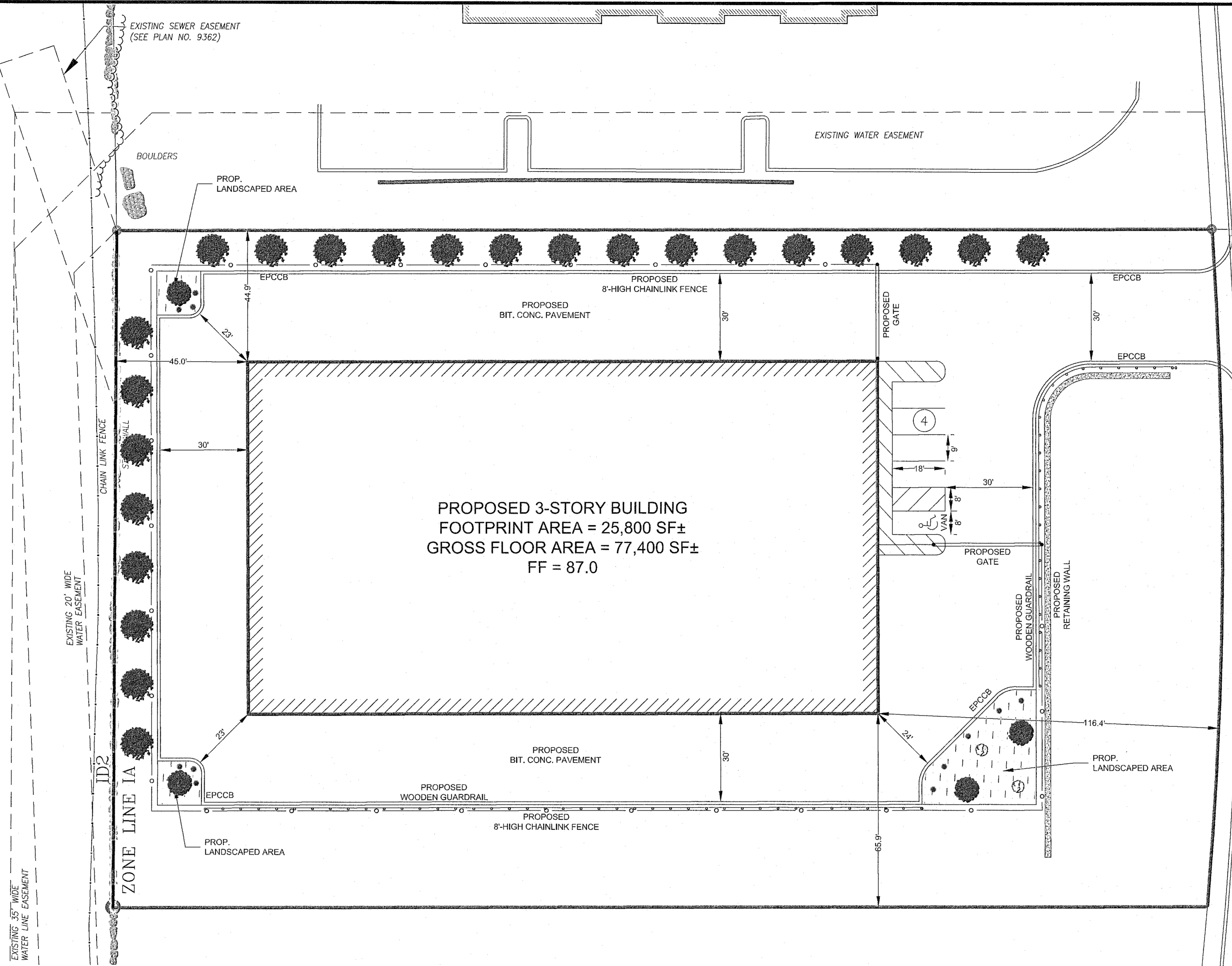
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DEED BOOK: 17058 PAGE: 310  
PLAN BOOK: PLAN #8302  
PLAN BOOK: PLAN #11374

**RECORD OWNERS:**  
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665 CHURCH STREET  
WHITINSVILLE, MA

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10/11/22	AMP	REVISED PER PEER REVIEW COMMENTS



RIVERSIDE DRIVE  
(40' WIDE - PRIVATE)

APPROVED BY THE TOWN OF ANDOVER PLANNING BOARD:

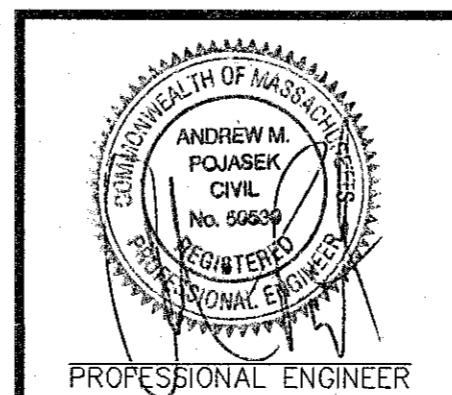
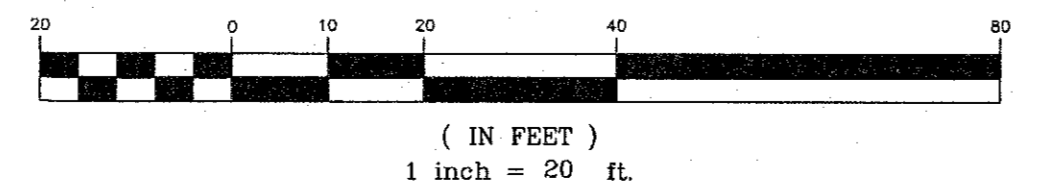
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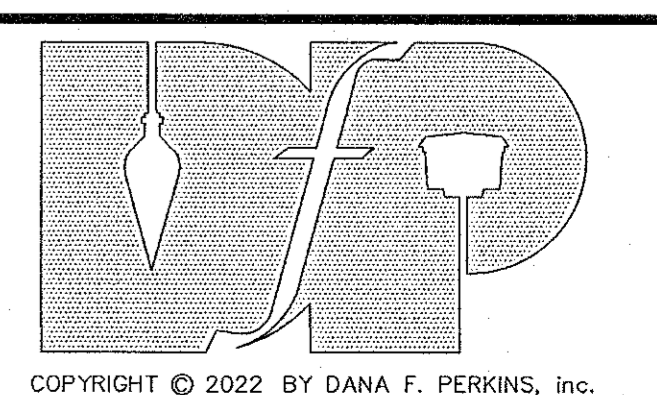
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DATE: \_\_\_\_\_

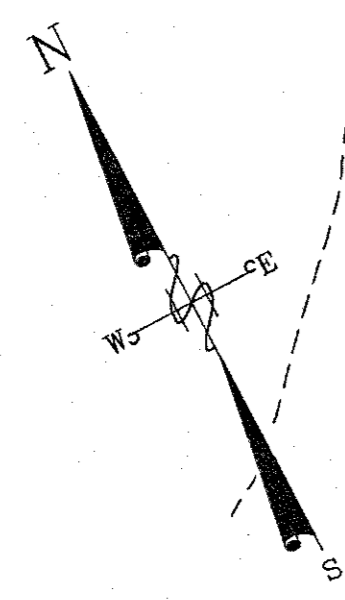
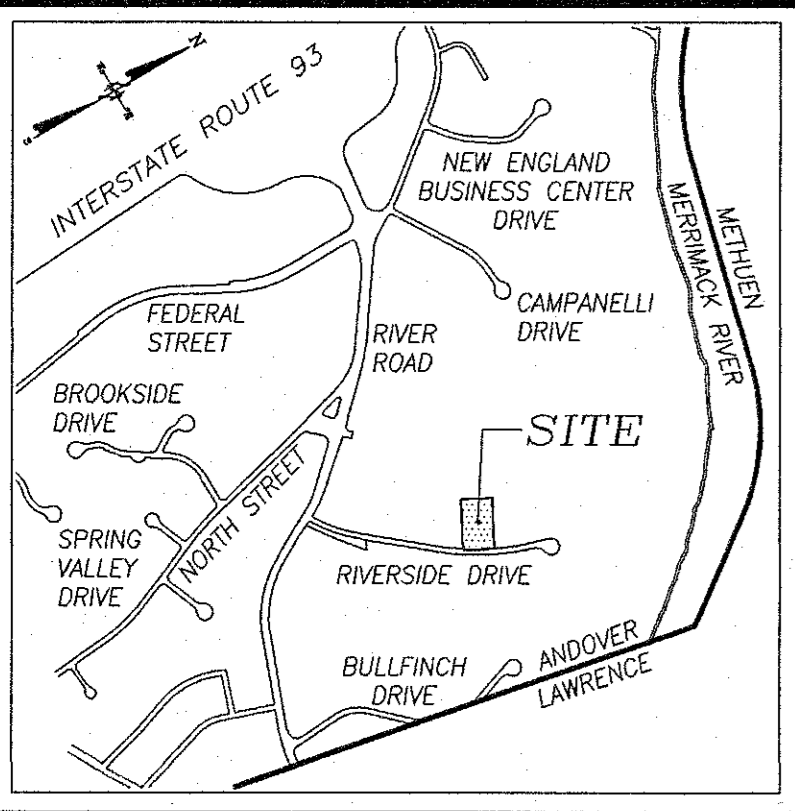


**SITE LAYOUT PLAN**  
PROPOSED SELF STORAGE FACILITY  
43 RIVER ROAD  
ANDOVER, MASSACHUSETTS  
SCALE: 1" = 20'  
DATE: JULY 11, 2022

**DANA F. PERKINS, inc.**  
Consulting Engineers & Land Surveyors  
1057 EAST STREET - TEWSBURY, MASSACHUSETTS 01876  
TEL: 978-858-0680 FAX: 978-640-0237  
DANAFPERKINS.COM  
PREPARED FOR: 3P PROPERTIES, LLC  
665 CHURCH STREET  
WHITINSVILLE, MA  
JOB NO. 51947  
SHEET 4 OF 11



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- LEGEND:**
- SYMBOLS AND ABBREVIATIONS SHOWN ON THIS PLAN
- CONTOUR
  - PROPOSED CONTOUR
  - PROPOSED DRAIN LINE
  - PROPOSED CATCH BASIN ~ CB
  - PROPOSED DRAIN MANHOLE ~ DMH
  - PROPOSED SPOT ELEVATION
  - INVERT ELEVATION
  - HIGH-DENSITY POLYETHYLENE (PIPE)
  - FINISH FLOOR ELEVATION
  - BITUMINOUS
  - CONCRETE
  - EXISTING
  - PROPOSED
  - SQUARE FEET
  - TOP OF WALL ELEVATION
  - BOTTOM OF WALL ELEVATION
  - NOW OR FORMERLY
- 100
  - 100
  - 100x00
  - INV=100.00
  - HDPE
  - F.F.=100.00
  - CONC.
  - EX.
  - PROP.
  - SF
  - TW=100.00
  - BW=100.00
  - N/F

- NOTES:**
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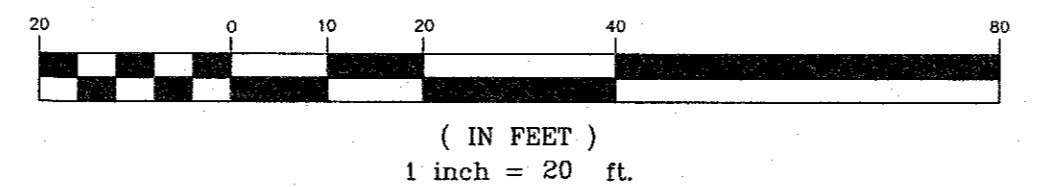
**DEED REFERENCES:**

ESSEX NORTH REGISTRY OF DEEDS  
 DEED BOOK: 17058 PAGE: 310  
 PLAN BOOK: PLAN #8302  
 PLAN BOOK: PLAN #11374

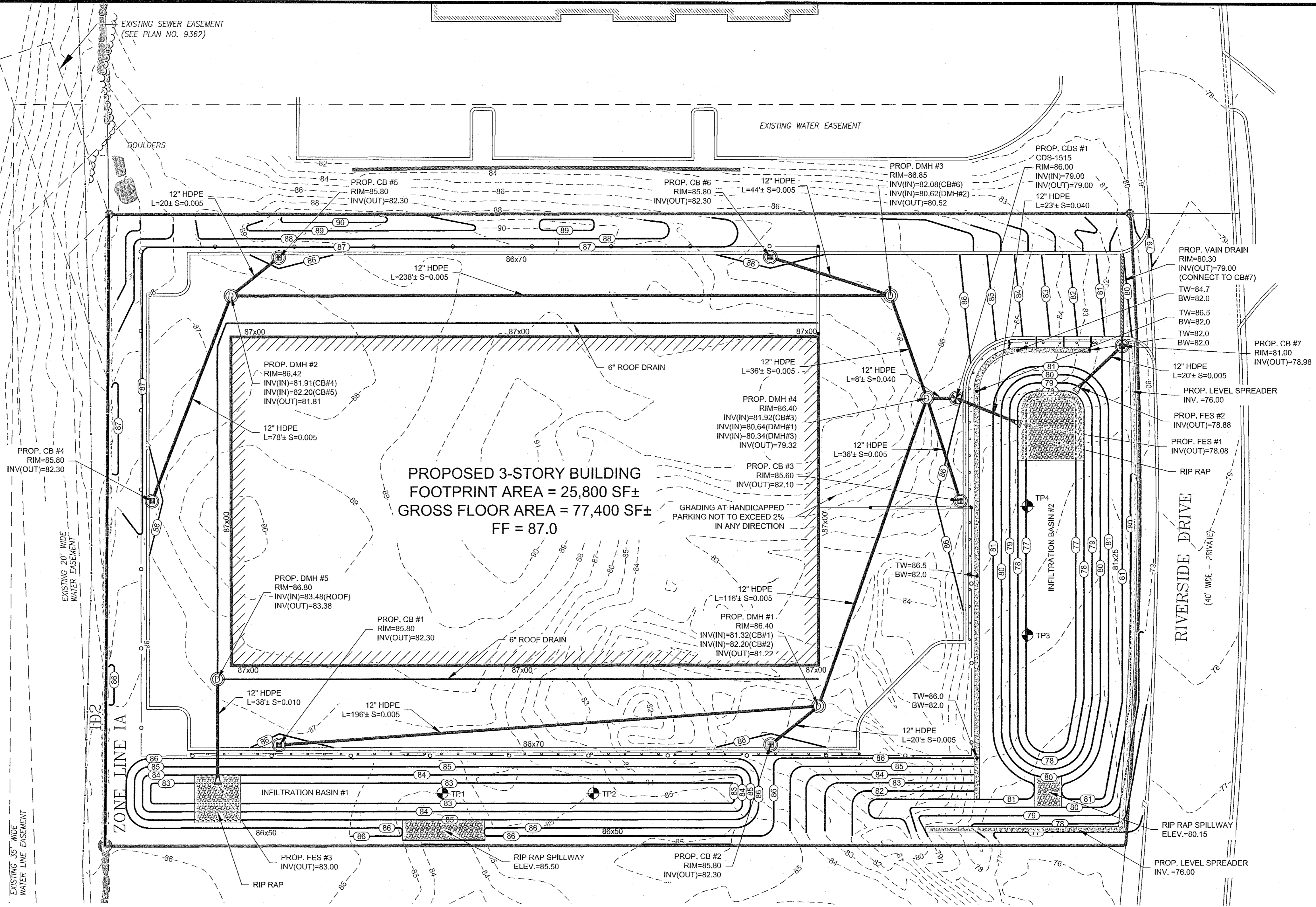
**RECORD OWNERS:**

3P PROPERTIES, LLC  
 665 CHURCH STREET  
 WHITINSVILLE, MA

**UTILITY STATEMENT:**  
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



DATE	BY	REVISION
9/26/22	AMP	REVISED PER PEER REVIEW COMMENTS
10/11/22	AMP	REVISED PER PEER REVIEW COMMENTS



APPROVED BY THE TOWN OF ANDOVER PLANNING BOARD:

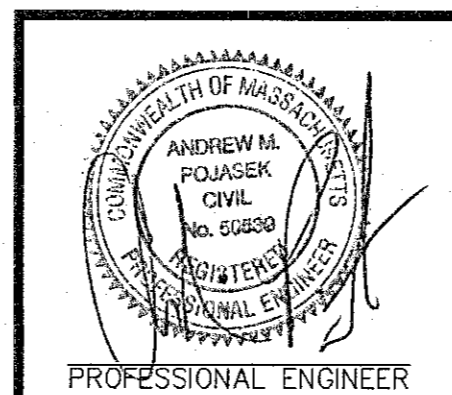
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DATE: \_\_\_\_\_



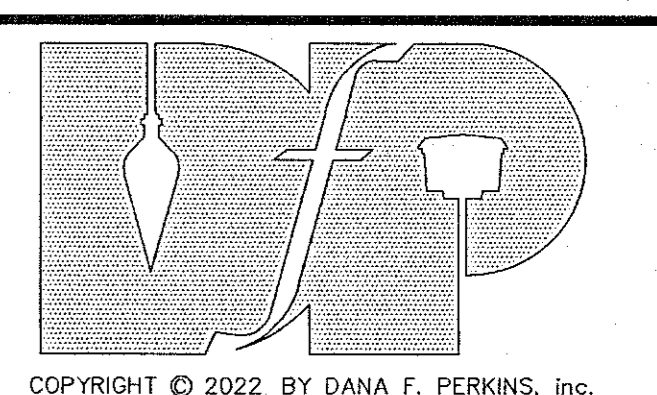
**GRADING & DRAINAGE PLAN**  
 PROPOSED SELF STORAGE FACILITY  
 43 RIVER ROAD  
 ANDOVER, MASSACHUSETTS

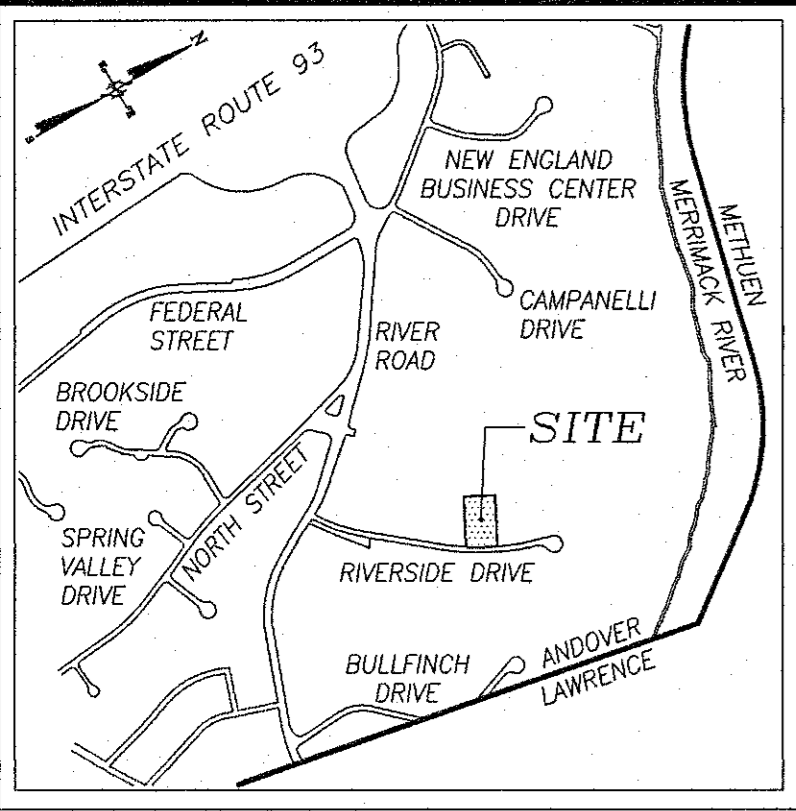
SCALE: 1" = 20'  
 DATE: JULY 11, 2022

**DANA F. PERKINS, inc.**  
 Consulting Engineers & Land Surveyors  
 1057 EAST STREET - NEWSBURY, MASSACHUSETTS 01876  
 TEL: 978-858-0680 FAX: 978-640-0237  
 DANA@PERKINS.COM

PREPARED FOR:  
 3P PROPERTIES, LLC  
 665 CHURCH STREET  
 WHITINSVILLE, MA

JOB NO. 51947  
 SHEET 5 OF 11





LOCUS MAP:  
NOT TO SCALE

- UTILITY GENERAL NOTES:**
1. TELEPHONE, ELECTRIC, AND GAS SERVICES TO NEW BUILDING TO BE DESIGNED BY EACH UTILITY COMPANY.
  2. CONTRACTOR TO VERIFY EXISTING SEWER LINE INVERT AT PROPOSED SEWER CONNECTION LOCATION PRIOR TO INSTALLATION. PROPOSED SEWER LINE TO RUN AT A MINIMUM OF TWO PERCENT AND A MAXIMUM OF 8 PERCENT.
  3. CONTRACTOR TO VERIFY PROPOSED HYDRANT LOCATION WITH TOWN FIRE DEPARTMENT.

**LEGEND:**

SYMBOLS AND ABBREVIATIONS SHOWN ON THIS PLAN

EXISTING ELECTRIC LINE	E	---
EXISTING WATER LINE	W	---
EXISTING GAS LINE	G	---
PROPOSED DRAIN LINE	PS	---
PROPOSED WATER LINE	PW	---
PROPOSED GAS LINE	PG	---
EXISTING CATCH BASIN	CB	○
EXISTING DRAIN MANHOLE	DM	⊙
PROPOSED CATCH BASIN	PCB	○
PROPOSED DRAIN MANHOLE	PD	⊙
HYDRANT	H	⊙
WATER VALVE	WV	⊙
FINISH FLOOR ELEVATION	F.F.	=100.00
BITUMINOUS	BIT.	---
CONCRETE	CONC.	---
EXISTING	EX.	---
PROPOSED	PR.	---
SQUARE FEET	SF	---
NOW OR FORMERLY	N/F	---

**NOTES:**

1. SUBJECT PROPERTY LOCATED ON A PORTION OF THE PROPERTY LOCATED ON ANDOVER ASSESSORS MAP #126, LOT #4. SUBJECT PROPERTY SHOWN AS LOT A ON RECORD PLAN #11374 RECORDED AT THE ESSEX NORTH REGISTRY OF DEEDS.
2. SUBJECT PROPERTY LOCATED IN TOWN OF ANDOVER ZONING DISTRICT "IA" ~ INDUSTRIAL A ZONING DISTRICT.
3. TOPOGRAPHY AND EXISTING CONDITIONS SHOWN HEREON IS THE RESULT OF AN ON-THE-GROUND SURVEY CONDUCTED BY DANA F. PERKINS, INC., IN MAY OF 2022.

**DEED REFERENCES:**

ESSEX NORTH REGISTRY OF DEEDS  
DEED BOOK: 17058 PAGE: 310  
PLAN BOOK: PLAN #8302  
PLAN BOOK: PLAN #11374

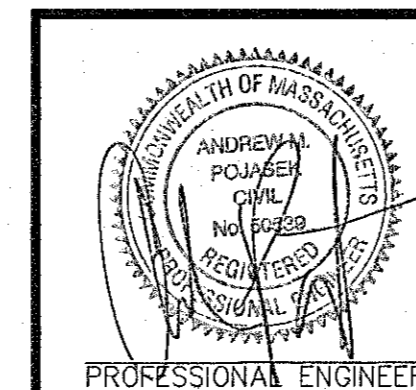
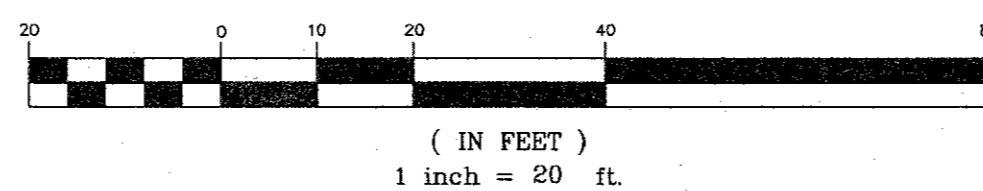
**RECORD OWNERS:**

3P PROPERTIES, LLC  
665 CHURCH STREET  
WHITINSVILLE, MA

**UTILITY STATEMENT:**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

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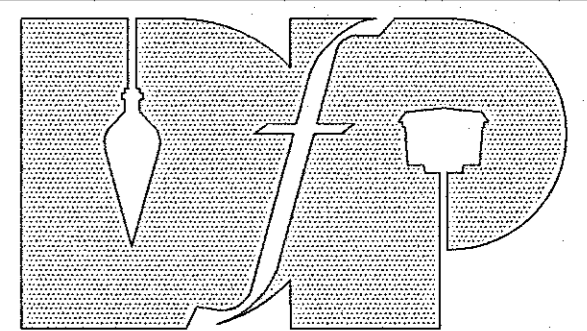
**UTILITY PLAN**  
PROPOSED SELF STORAGE FACILITY  
43 RIVER ROAD  
ANDOVER, MASSACHUSETTS

SCALE: 1" = 20' DATE: JULY 11, 2022

**DANA F. PERKINS, inc.**  
Consulting Engineers & Land Surveyors  
1057 EAST STREET ~ WENKSBURY, MASSACHUSETTS 01876  
TEL: 978-858-0680 FAX: 978-640-0237  
DANA.F.PERKINS.COM

PREPARED FOR:  
3P PROPERTIES, LLC  
665 CHURCH STREET  
WHITINSVILLE, MA

JOB NO. 51947 SHEET 6 OF 11



COPYRIGHT © 2022 BY DANA F. PERKINS, INC.

APPROVED BY THE TOWN OF ANDOVER PLANNING BOARD:

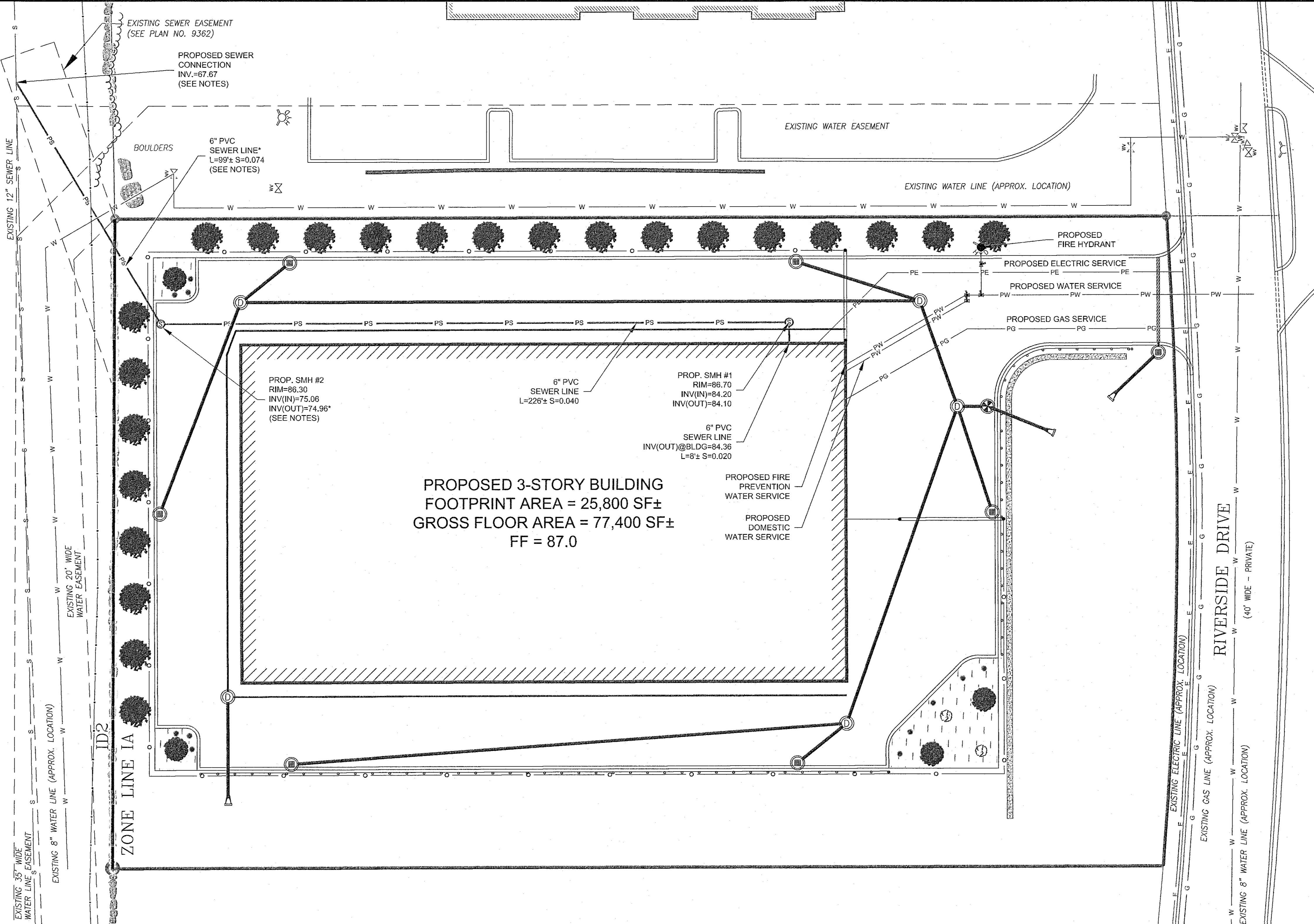
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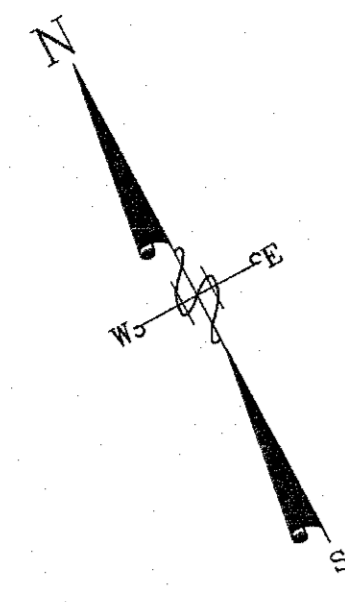
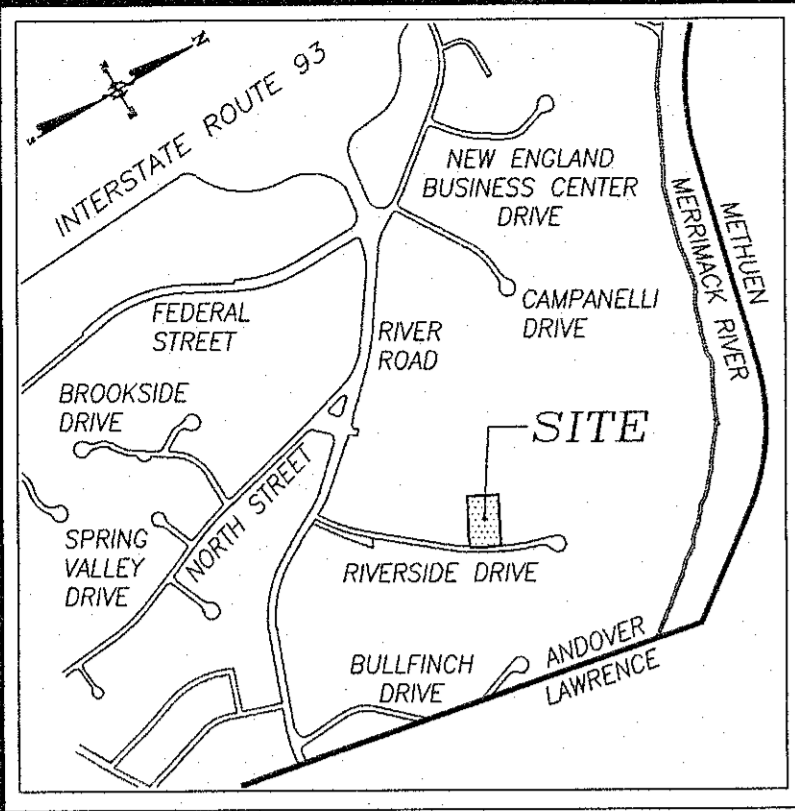
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DATE: \_\_\_\_\_





- LANDSCAPING GENERAL NOTES:**
1. ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
  2. PLANT MATERIALS SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS THEY BORE TO GRADE IN THE NURSERY.
  3. PLANTS SHALL BE SPACED AS SHOWN ON DRAWINGS, UNLESS OTHERWISE DETERMINED IN THE FIELD FOR SCREENING PURPOSES.
  4. ALL DISTURBED AREAS SHALL BE LOAMED TO A MINIMUM DEPTH OF SIX INCHES AND SEEDED WITH A DROUGHT TOLERANT, HIGH-FESCUE TURFGRASS SEED MIX, OR APPROVED EQUAL.
  5. PROPOSED MULCH AREAS SHALL BE PLANTED WITH A MIX OF FLOWERS AND SHRUBS.

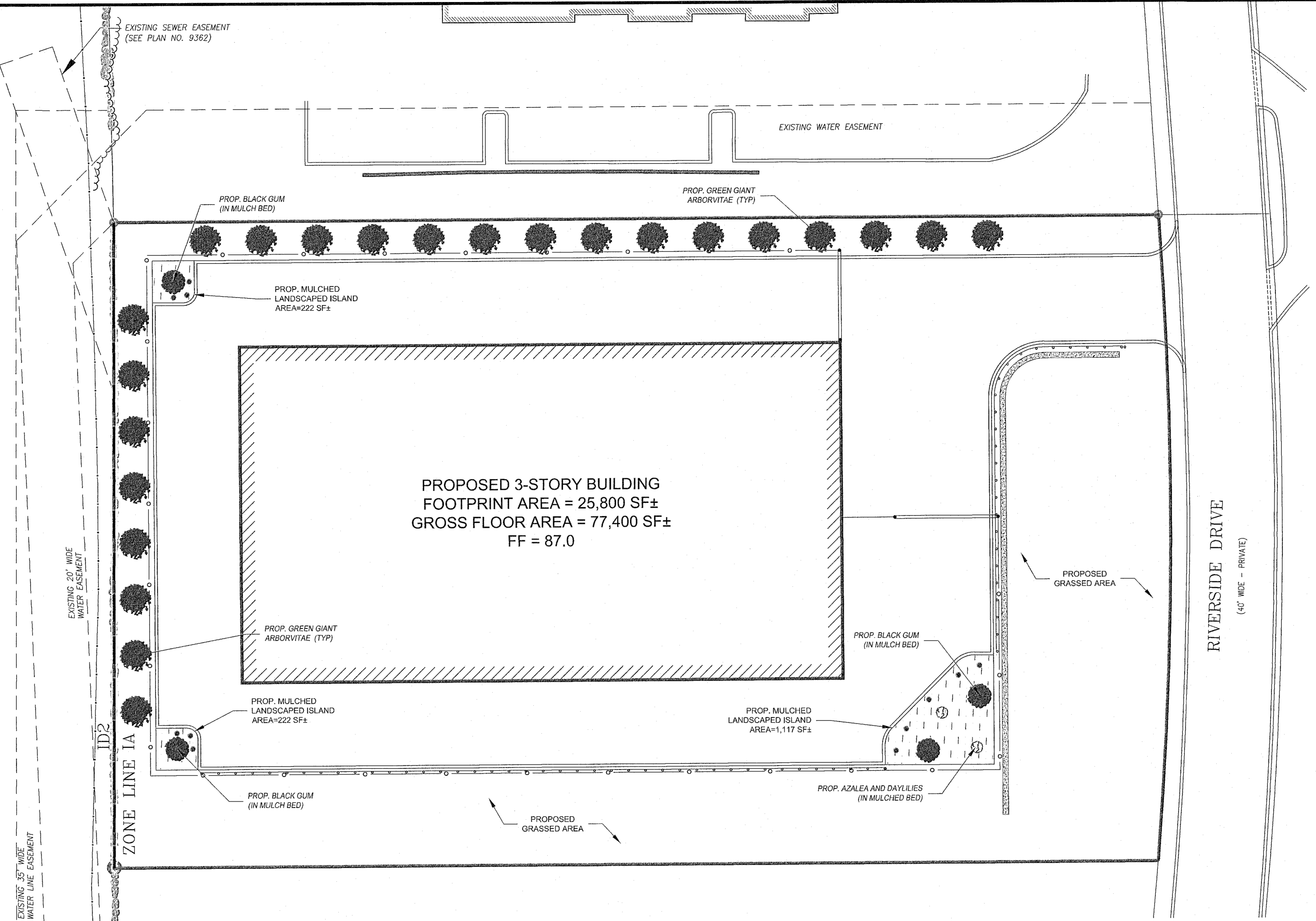
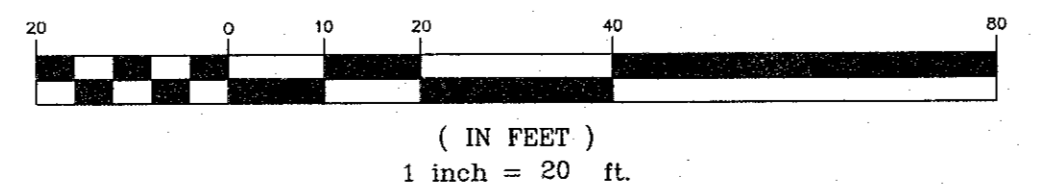
- NOTES:**
1. SUBJECT PROPERTY LOCATED ON A PORTION OF THE PROPERTY LOCATED ON ANDOVER ASSESSORS MAP #126, LOT #4. SUBJECT PROPERTY SHOWN AS LOT A ON RECORD PLAN #11374 RECORDED AT THE ESSEX NORTH REGISTRY OF DEEDS.
  2. SUBJECT PROPERTY LOCATED IN TOWN OF ANDOVER ZONING DISTRICT "A" ~ INDUSTRIAL A ZONING DISTRICT.
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**DEED REFERENCES:**  
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**RECORD OWNERS:**  
 3P PROPERTIES, LLC  
 665 CHURCH STREET  
 WHITINSVILLE, MA

DATE	BY	REVISION
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**UTILITY STATEMENT:**  
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**LANDSCAPING SUMMARY**

PROPOSED PAVED AREA	= 28,533 SF±
PROPOSED LANDSCAPED AREA WITHIN PAVED AREA	= 1,561 SF±
PERCENTAGE OF LANDSCAPED AREA WITHIN PAVED AREA	= 5.5% > 5.0% REQUIRED

APPROVED BY THE TOWN OF ANDOVER PLANNING BOARD:

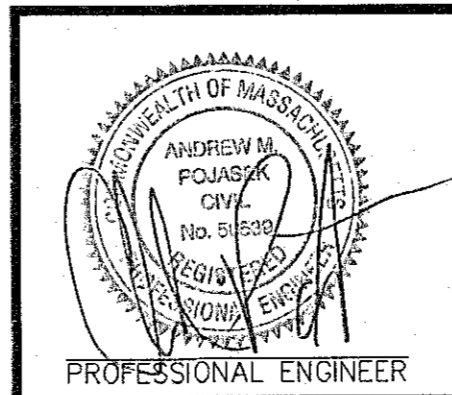
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DATE: \_\_\_\_\_



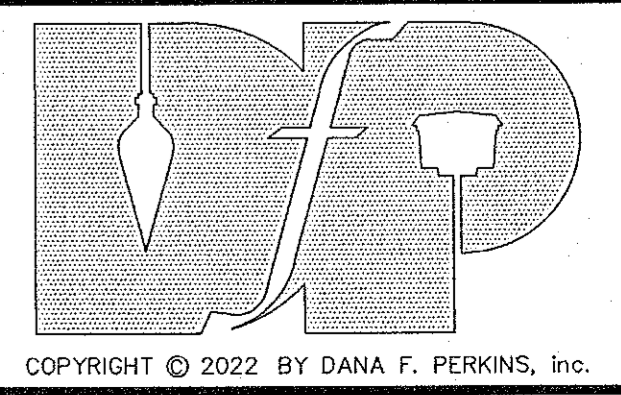
**LANDSCAPE PLAN**  
 PROPOSED SELF STORAGE FACILITY  
 43 RIVER ROAD  
 ANDOVER, MASSACHUSETTS

SCALE: 1" = 20'      DATE: JULY 11, 2022

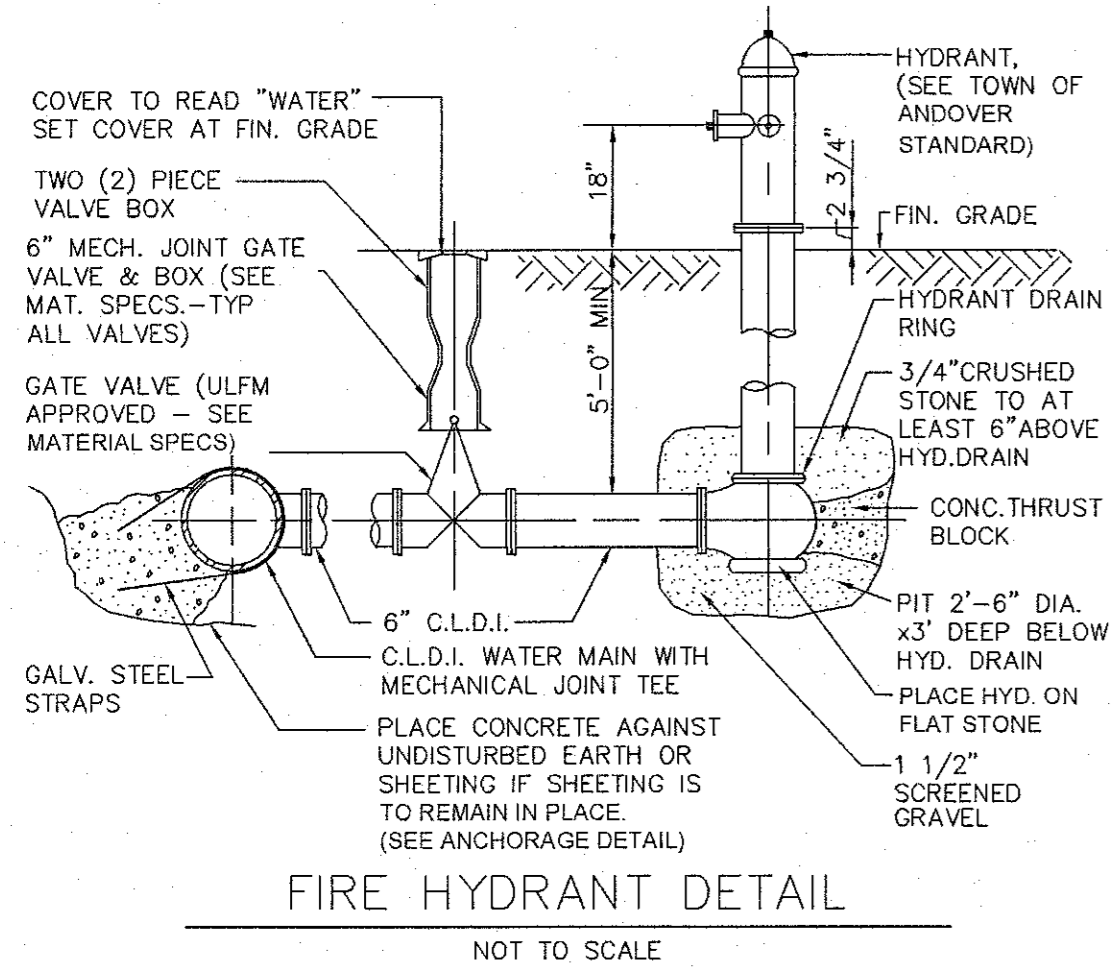
**DANA F. PERKINS, inc.**  
 Consulting Engineers & Land Surveyors  
 1057 EAST STREET ~ NEWBURY, MASSACHUSETTS 01876  
 TEL: 978-858-0680 FAX: 978-640-0237  
 DANA F. PERKINS, G.O.M.

PREPARED FOR: 3P PROPERTIES, LLC  
 665 CHURCH STREET  
 WHITINSVILLE, MA

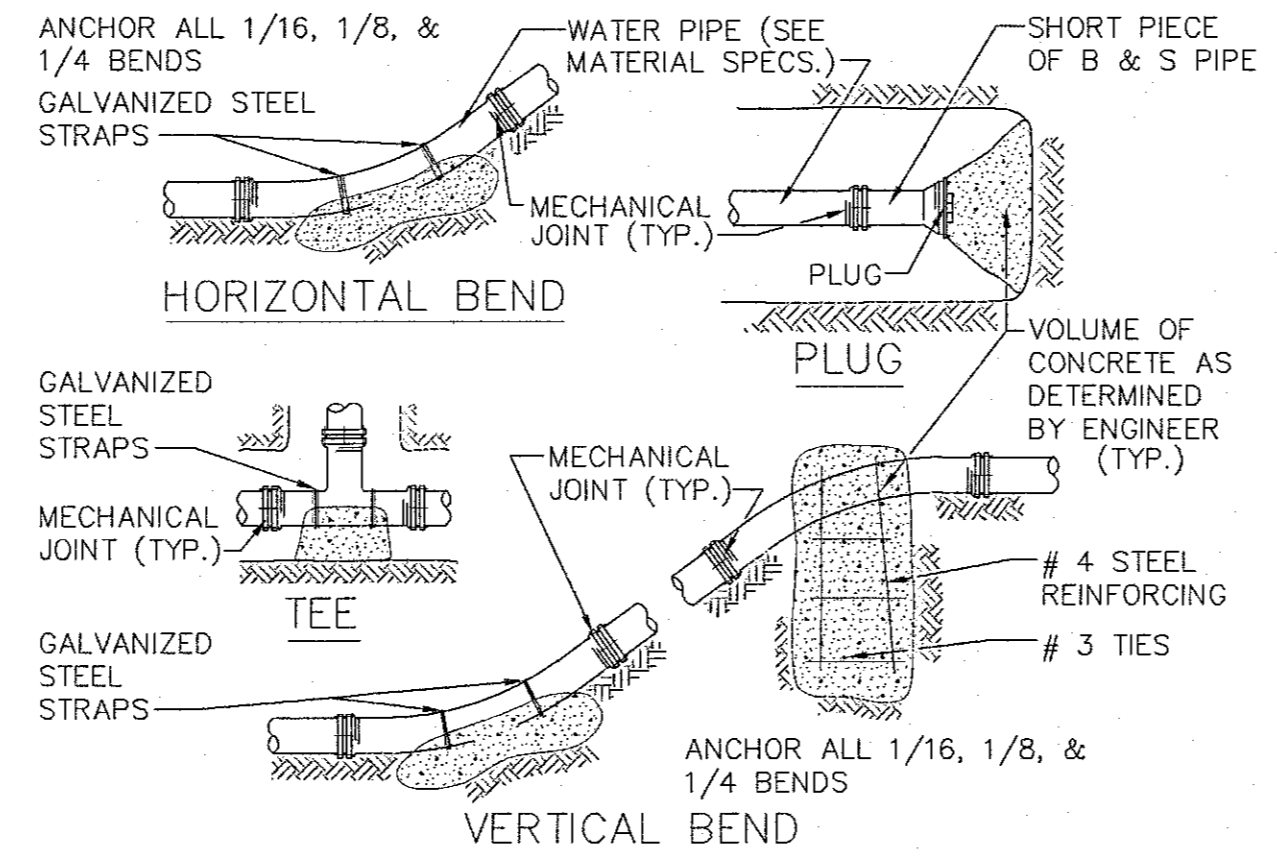
JOB NO. 51947      SHEET 7 OF 11





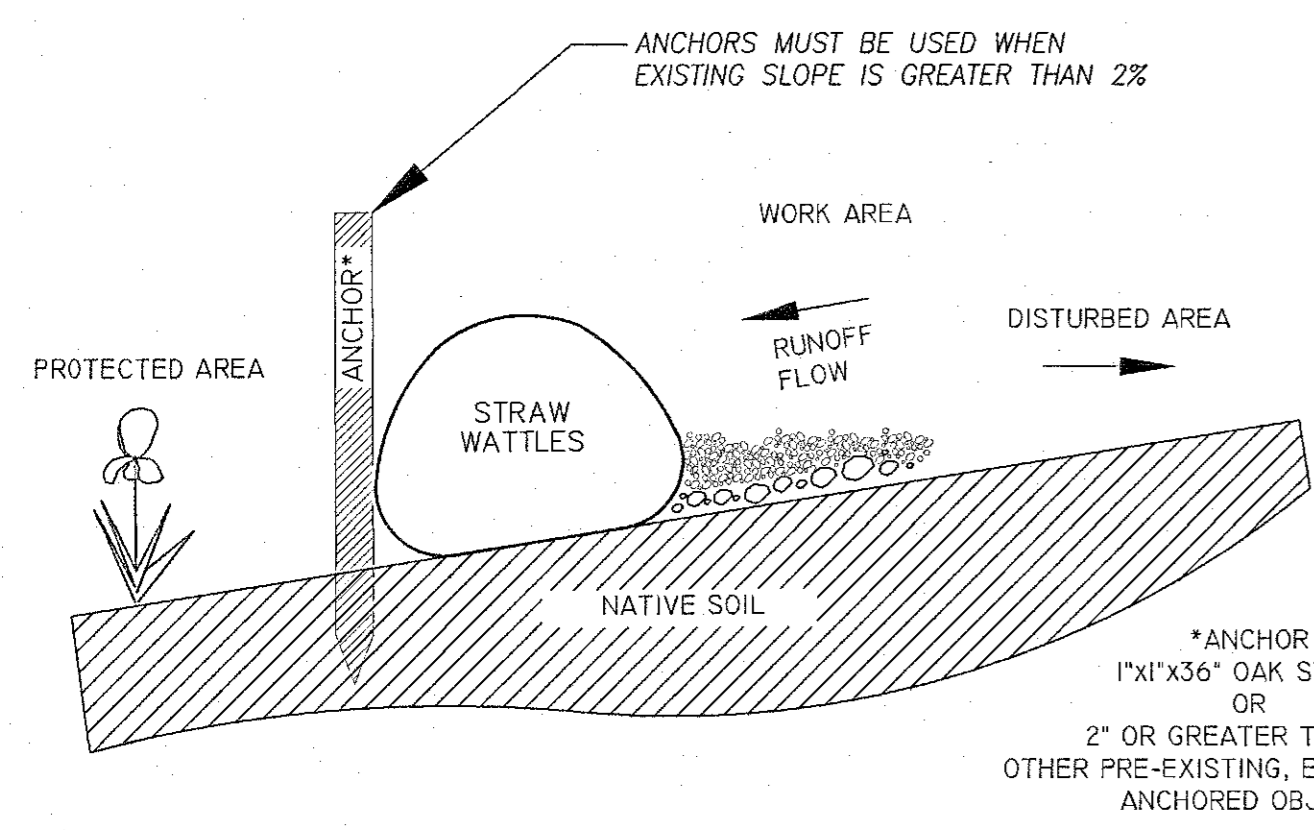


**FIRE HYDRANT DETAIL**  
NOT TO SCALE

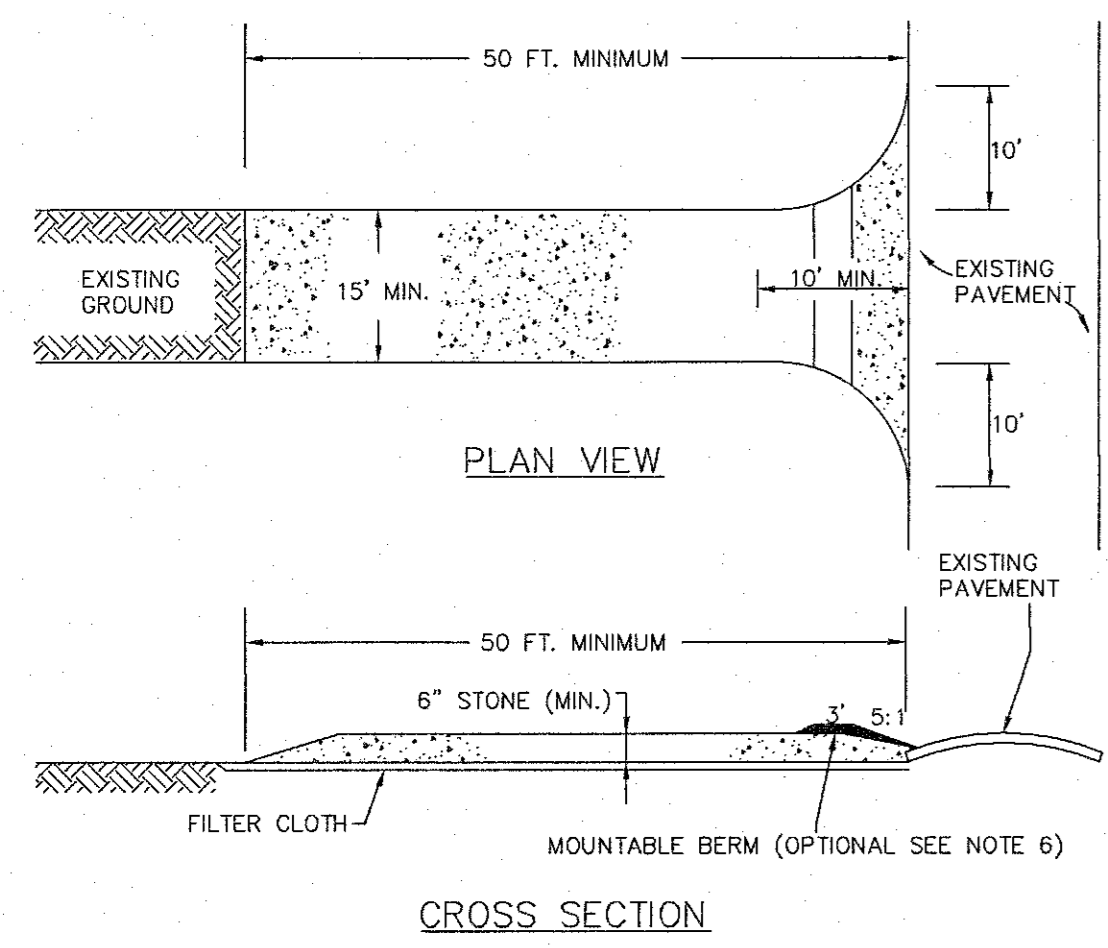


- NOTES:**
- 1.) ANCHOR ALL PRESSURE PIPES, CROSSES, TEES, HORIZONTAL BENDS, VERTICAL BENDS, & DEAD ENDS.
  - 2.) PLACE CONCRETE AGAINST UNDISTURBED EARTH.
  - 3.) CONCRETE DIMENSIONS DETERMINED BY ENGINEER IN FIELD—MINIMUM BEARING AREA 4 SQ.FT.
  - 4.) MINIMUM CONCRETE STRENGTH = 3,000 PSI @ 28 DAYS.
  - 5.) ALL FITTINGS SHALL BE RESTRAINED. (SEE MATERIAL SPECIFICATIONS)

**TYPICAL ANCHORAGE DETAILS**  
NOT TO SCALE

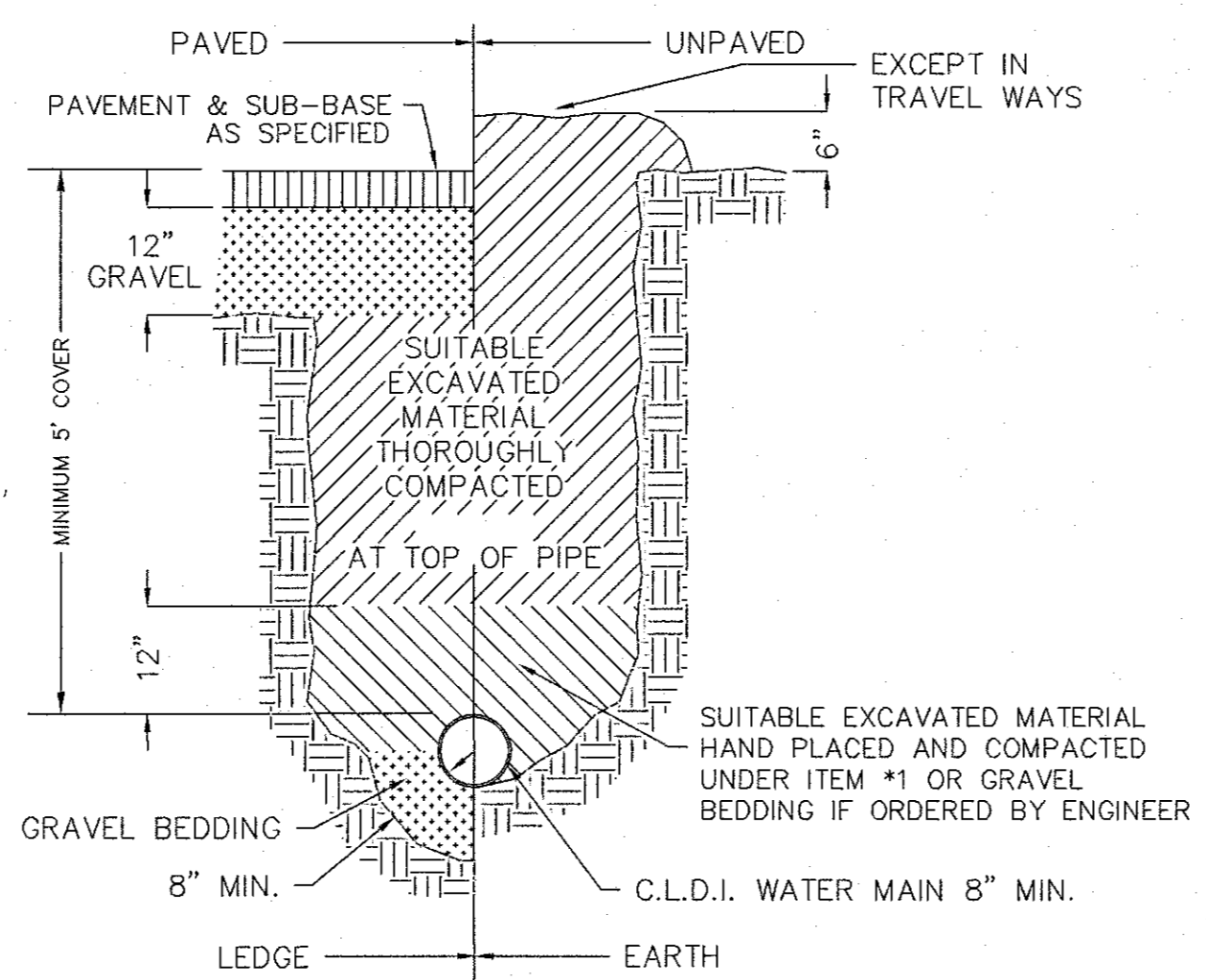


**STRAW WATTLES**  
NOT TO SCALE

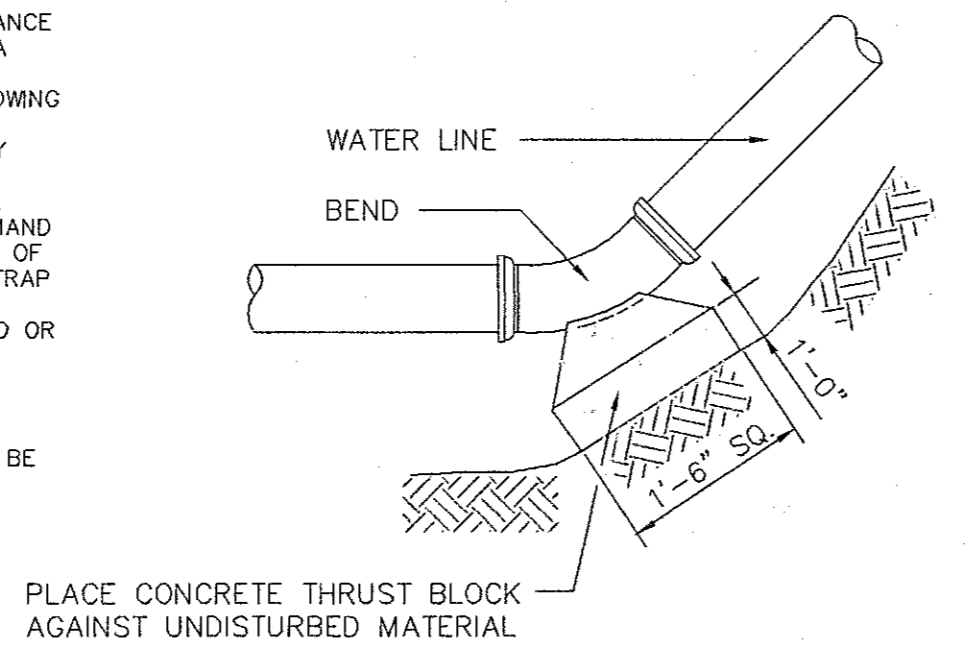


**CONSTRUCTION ENTRANCE**  
NOT TO SCALE

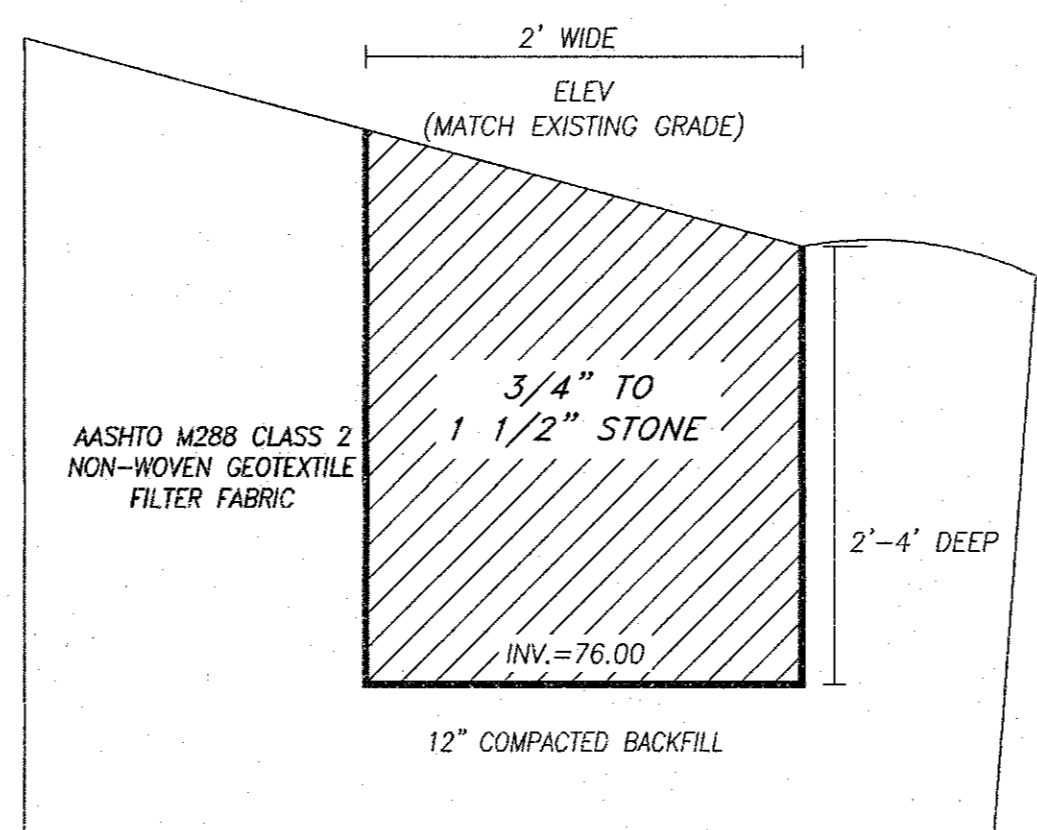
- CONSTRUCTION SPECIFICATIONS:**
1. STONE SIZE—USE 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  2. LENGTH—RECOMMEND GREATER THAN OR EQUAL TO 50 FEET WHERE SOILS ARE SANDS AND GRAVELS AND 100 FEET IN SILTS AND CLAYS.
  3. THICKNESS—NOT LESS THAN SIX (6) INCHES.
  4. WIDTH—FIFTEEN (15) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OF EGRESS OCCURS.
  5. FILTER CLOTH—SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  6. SURFACE WATER—ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM SHALL BE INSTALLED.
  7. MAINTENANCE—THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OF FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  8. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED.



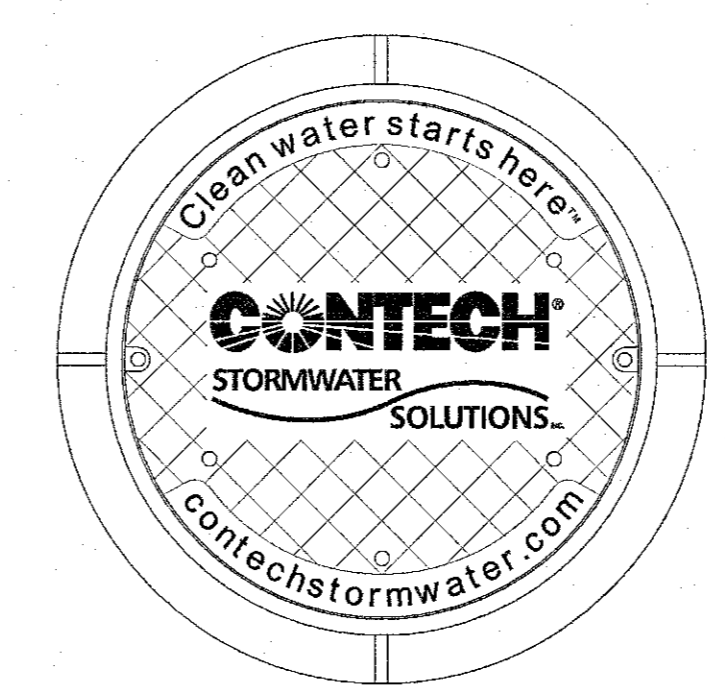
**TYPICAL WATER TRENCH DETAIL**  
NOT TO SCALE



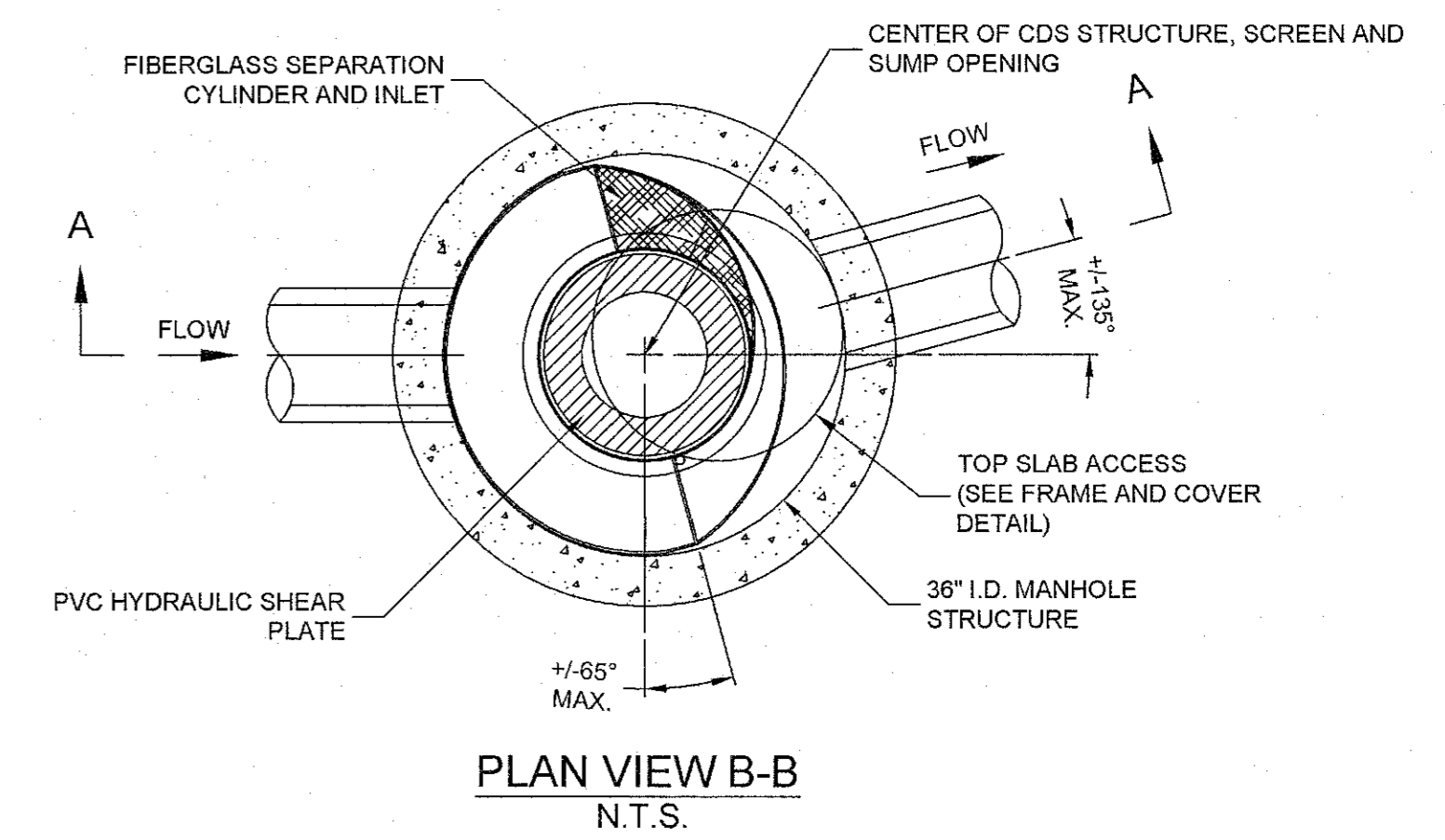
**THRUST BLOCK DETAIL**  
NOT TO SCALE



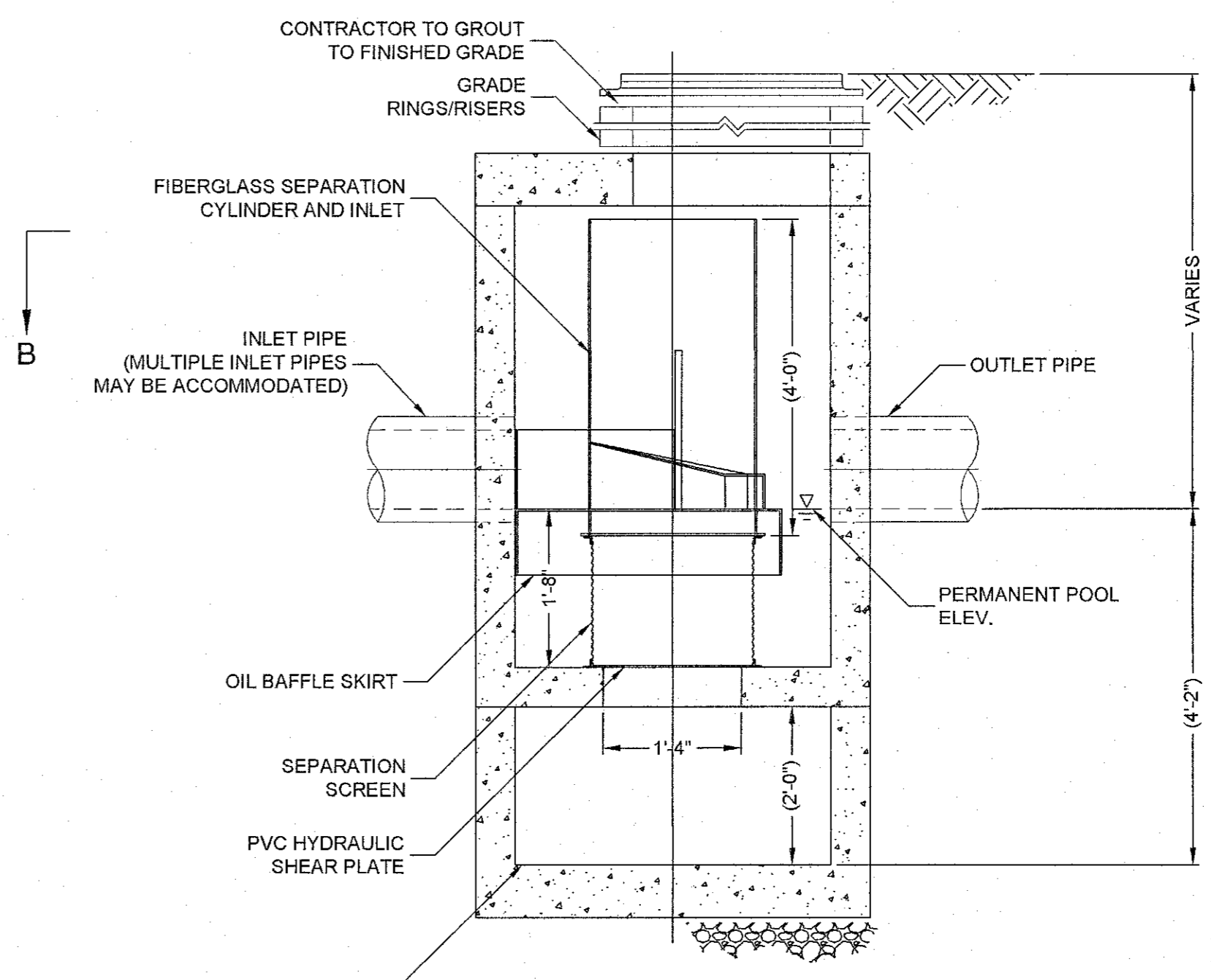
**LEVEL SPREADER**  
NOT TO SCALE



**FRAME AND COVER**  
(DIAMETER VARIES)  
N.T.S.



**PLAN VIEW B-B**  
N.T.S.



**ELEVATION A-A**  
N.T.S.

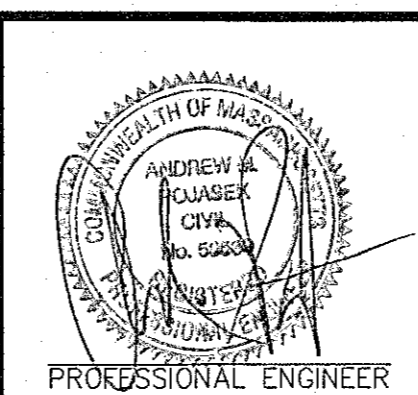
- CDS ~ GENERAL NOTES**
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  2. DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
  3. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH REPRESENTATIVE.
  4. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
  5. STRUCTURE SHALL MEET AASHTO M30B AND CASTINGS SHALL MEET AASHTO M30B LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. CONTRACTOR TO CONFIRM OUTLET PIPE INVERT ELEVATION IS ABOVE THE GROUNDWATER ELEVATION PRIOR TO CONSTRUCTION.
  6. PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

- CDS ~ INSTALLATION NOTES**
1. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
  3. CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
  4. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
  5. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

**CDS 1515-3-C**  
**CDS INLINE ~ STANDARD DETAIL ~ STORMWATER TREATMENT STRUCTURE**  
**~BY CONTECH ENGINEERED SOLUTIONS, LLC**  
**(OR APPROVED EQUAL)**  
NOT TO SCALE

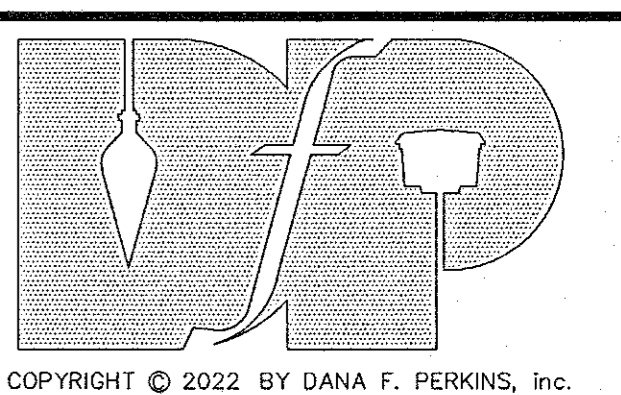
APPROVED BY THE TOWN OF ANDOVER PLANNING BOARD:  
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\_\_\_\_\_  
DATE: \_\_\_\_\_

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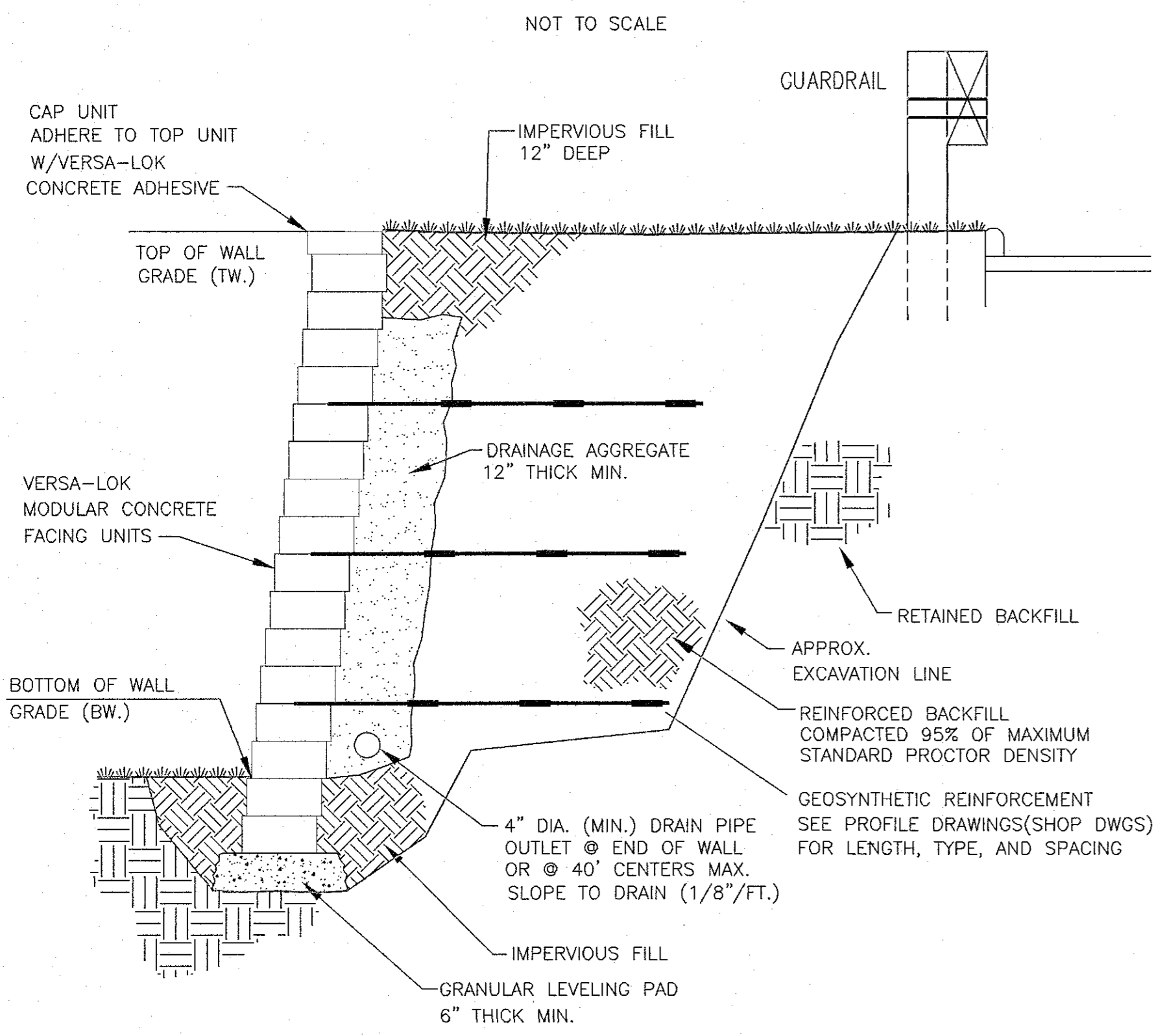


**DETAIL SHEET**  
**PROPOSED SELF STORAGE FACILITY**  
**43 RIVER ROAD**  
**ANDOVER, MASSACHUSETTS**  
SCALE: AS SHOWN DATE: JULY 11, 2022

**DANA F. PERKINS, inc.**  
Consulting Engineers & Land Surveyors  
1057 EAST STREET ~ TEWKSBURY, MASSACHUSETTS 01876  
TEL: 978-858-0680 FAX: 978-640-0237  
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665 CHURCH STREET  
WHITINSVILLE, MA  
JOB NO. 51947 SHEET 9 OF 11

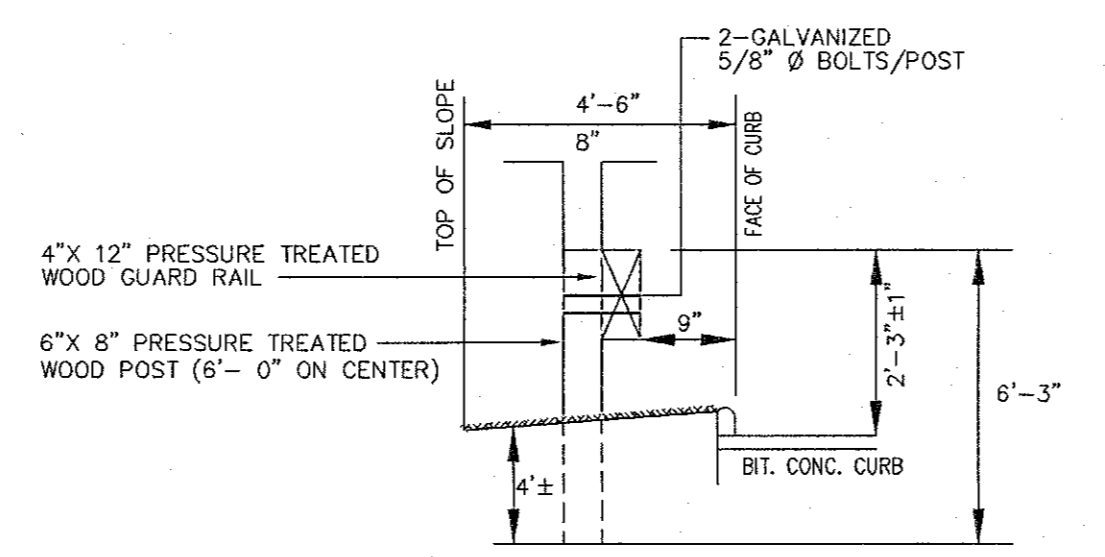


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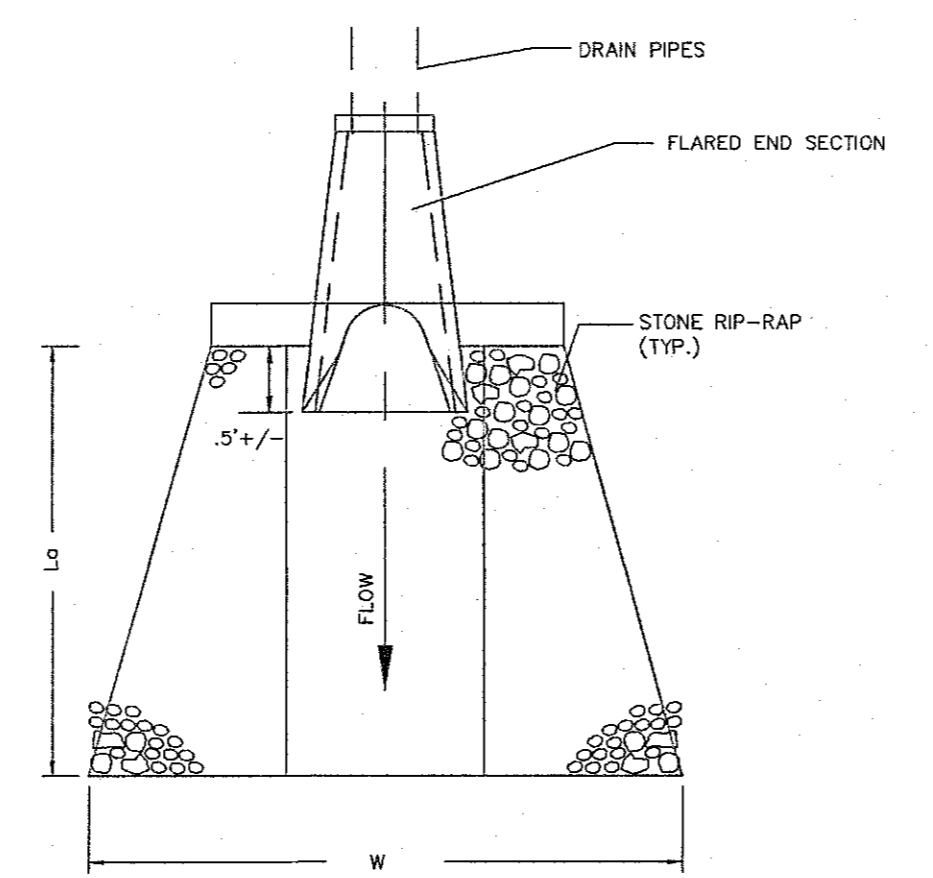


**TYPICAL SECTION-REINFORCED RETAINING WALL**  
MODULAR CONCRETE UNIT  
NOT TO SCALE

NOTE: DETAIL PROVIDED FOR GENERAL INFORMATION ONLY. FINAL PROJECT SPECIFIC DESIGN SHALL BE DESIGNED BY A QUALIFIED STRUCTURAL ENGINEER REGISTERED IN MASSACHUSETTS. RETAINING WALL OUTFALL LOCATIONS SHALL BE COORDINATED DURING CONSTRUCTION TO MINIMIZE THE IMPACT OF SILT FROM FILLS GOING THROUGH THE WALL AND INTO THE INFILTRATION BASIN.



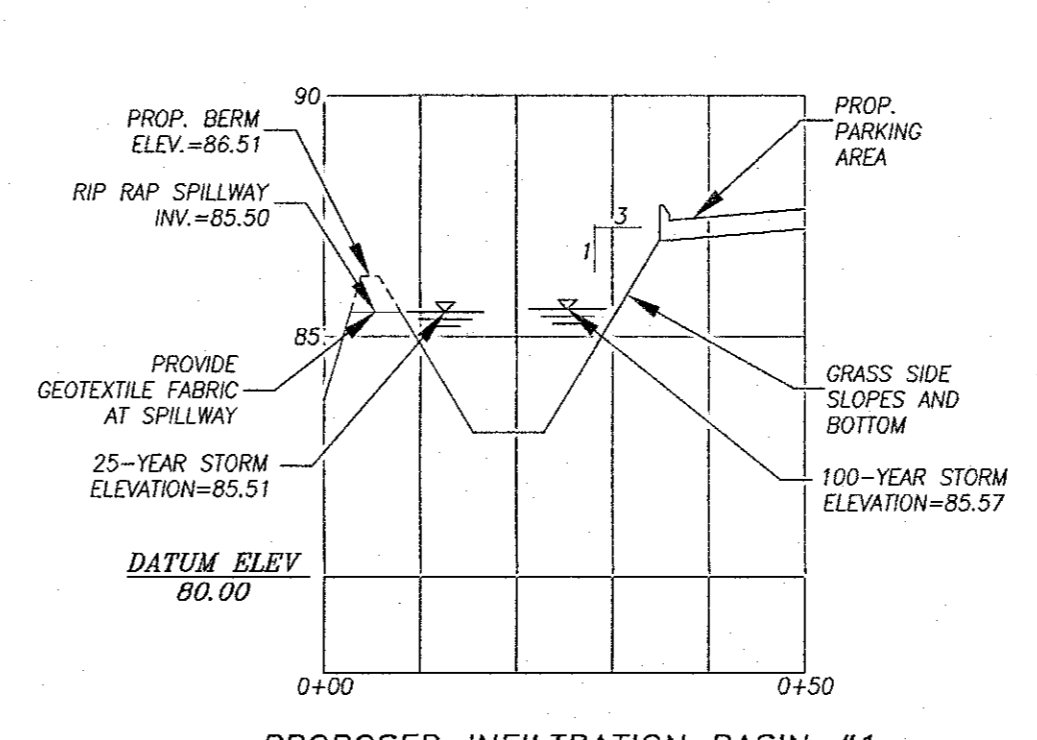
**GUARD RAIL DETAIL**  
NO SCALE



8" DIA. MIN. ROCK SIZE  
RIP RAP TO CONFORM TO MASSDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, SECTION M2.02.3

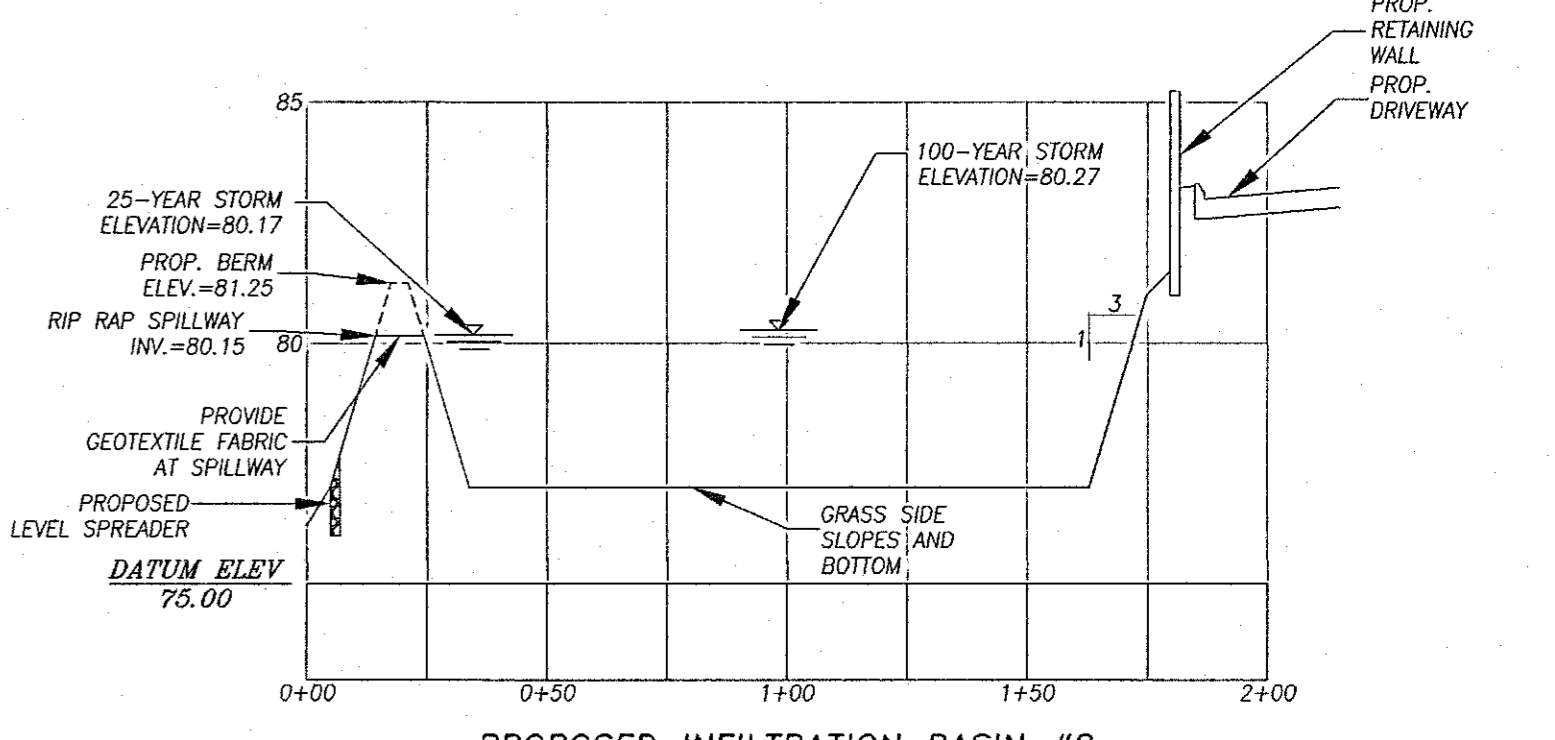
OUTLET DIMENSION	FES1	FES2	FES3
Do (FEET)	1.00	1.00	1.00
Ld (FEET)	14.1	8.6	13.6
W (FEET)	17.1	13.6	16.6

**RIP RAP SPLASH PAD DETAIL**  
NOT TO SCALE



**PROPOSED INFILTRATION BASIN #1**

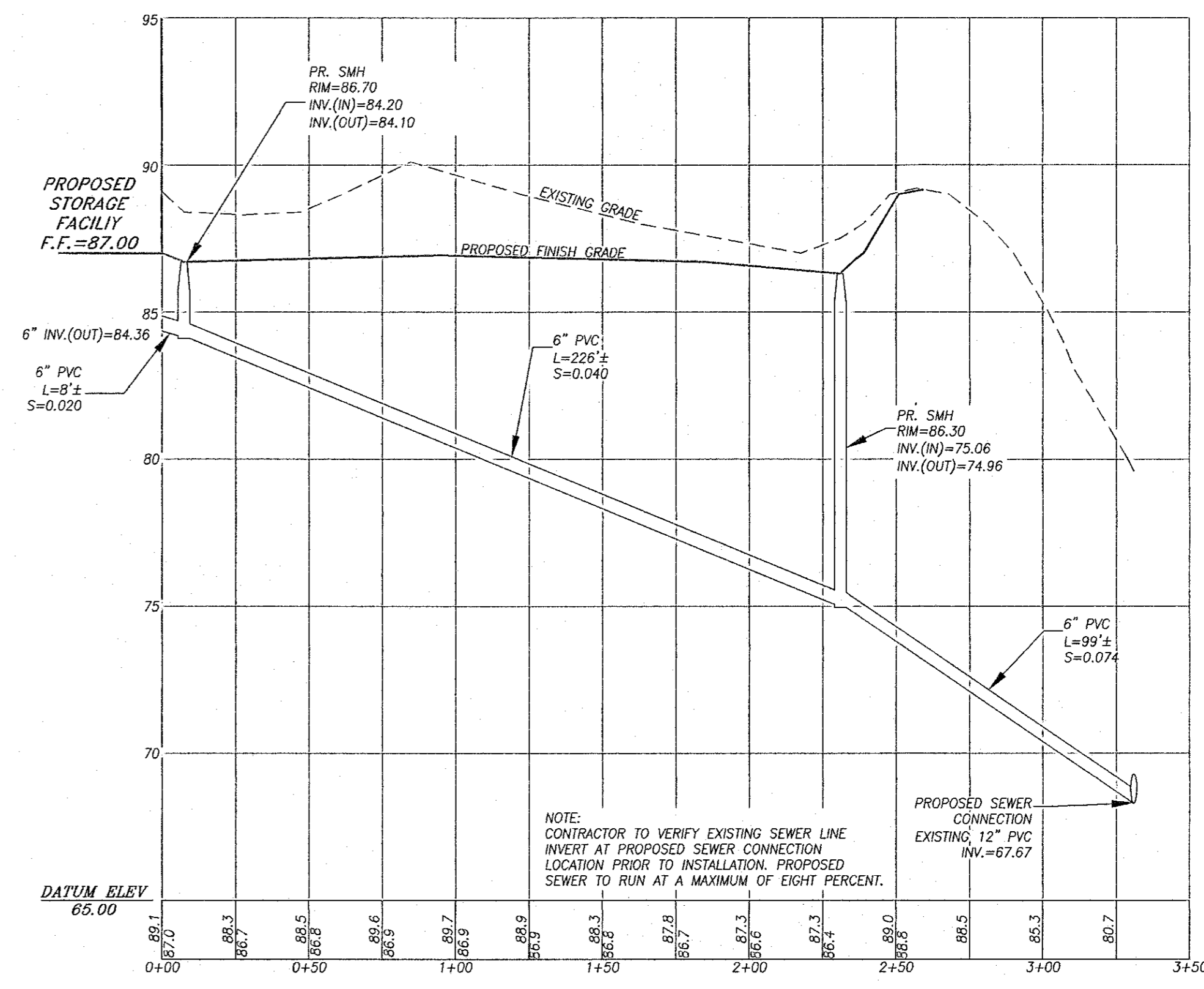
SCALE: HORIZ. 1" = 40'  
VERT. 1" = 4'



**PROPOSED INFILTRATION BASIN #2**

SCALE: HORIZ. 1" = 40'  
VERT. 1" = 4'

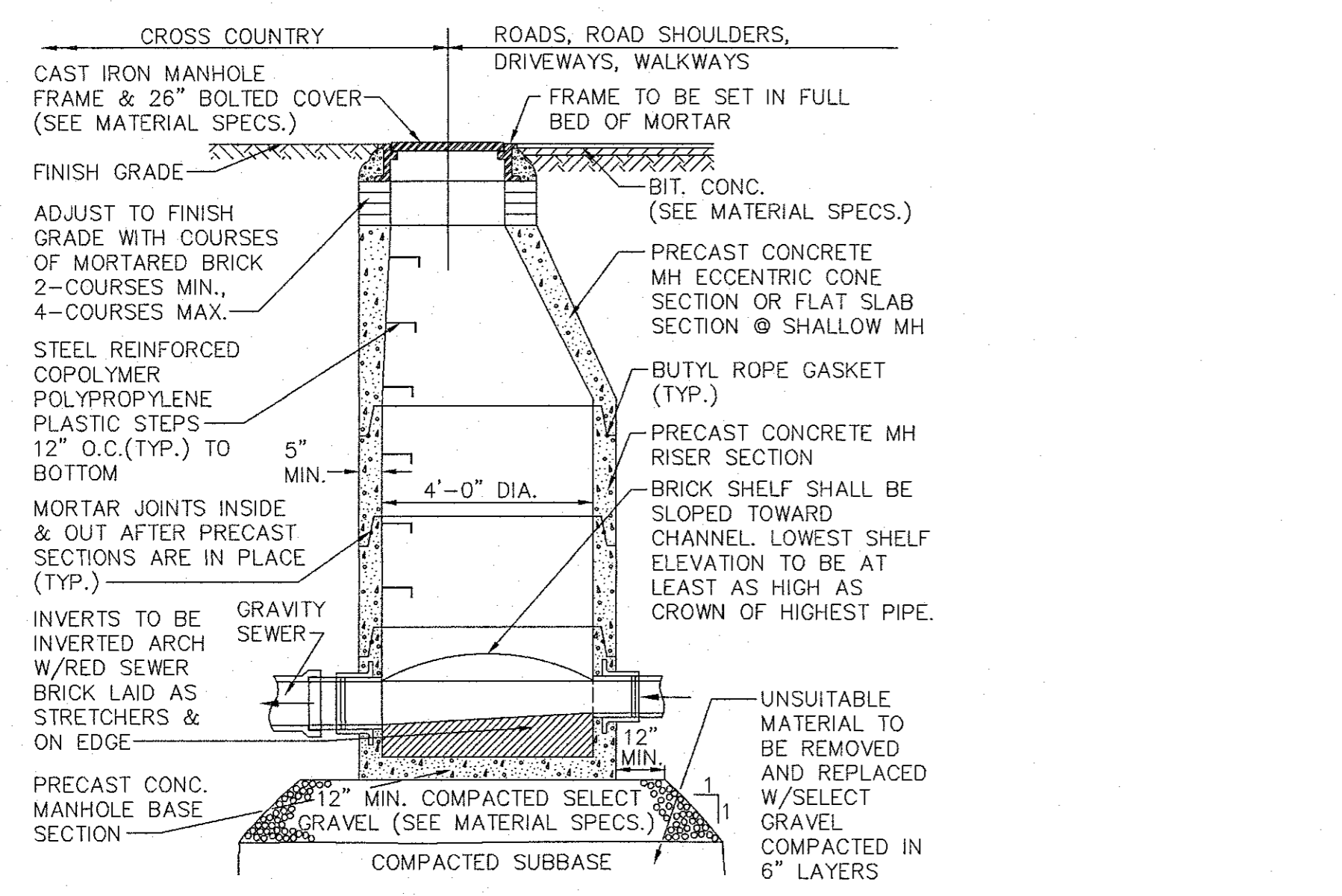
TOPSOIL, SUBSOIL & UNSUITABLE FILL TO BE REMOVED UNDER BERM AND REPLACED WITH ORDINARY BORROW COMPACTED IN 12" LIFTS. TOPSOIL, SUBSOIL & UNSUITABLE FILL TO BE FILLED WITH ORDINARY BORROW.



**PROPOSED SEWER LINE PROFILE**

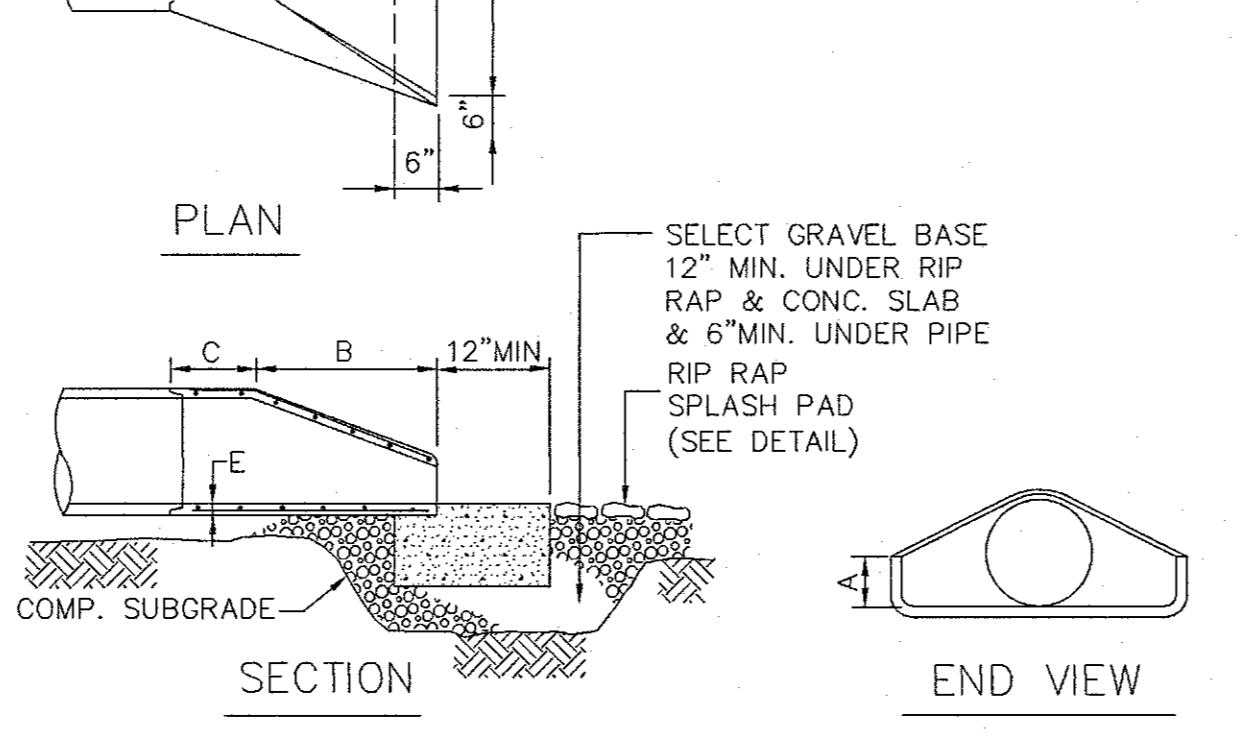
SCALE: HORIZ. 1" = 40'  
VERT. 1" = 4'

NOTE: CONTRACTOR TO VERIFY EXISTING SEWER LINE INVERT AT PROPOSED SEWER CONNECTION LOCATION PRIOR TO INSTALLATION. PROPOSED SEWER TO RUN AT A MAXIMUM OF EIGHT PERCENT.



**TYPICAL SEWER MANHOLE DETAIL**  
NOT TO SCALE

DIA	A	B	C	D	E	R
12"	4"	2'-0"	4'-0 7/8"	2'-0"	2"	9"
15"	6"	2'-3"	3'-10"	2'-6"	2 1/4"	11"
18"	9"	2'-3"	3'-10"	3'-0"	2 1/2"	12"
24"	9 1/2"	3'-7 1/2"	2'-6"	4'-0"	3"	14"
30"	12"	4'-6"	1'-7 3/4"	5'-0"	3 1/2"	15"
36"	15"	5'-3"	2'-10 3/4"	6'-0"	4"	20"
42"	21"	5'-3"	2'-11"	6'-0"	4 1/2"	22"
48"	24"	5'-0"	2'-2"	7'-0"	5"	22"
54"	27"	5'-9"	2'-11"	7'-6"	5 1/2"	24"
60"	30"	5'-0"	3'-3"	8'-0"	6"	24"

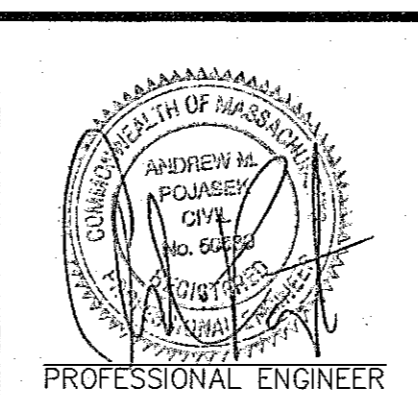


**FLARED END SECTION**  
NOT TO SCALE

APPROVED BY THE TOWN OF ANDOVER PLANNING BOARD:

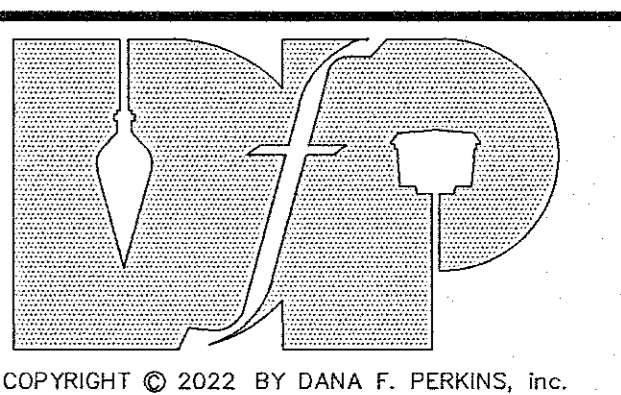
DATE:

DATE	BY	REVISION
9/26/22	AMP	REVISED PER PEER REVIEW COMMENTS
10/11/22	AMP	REVISED PER PEER REVIEW COMMENTS

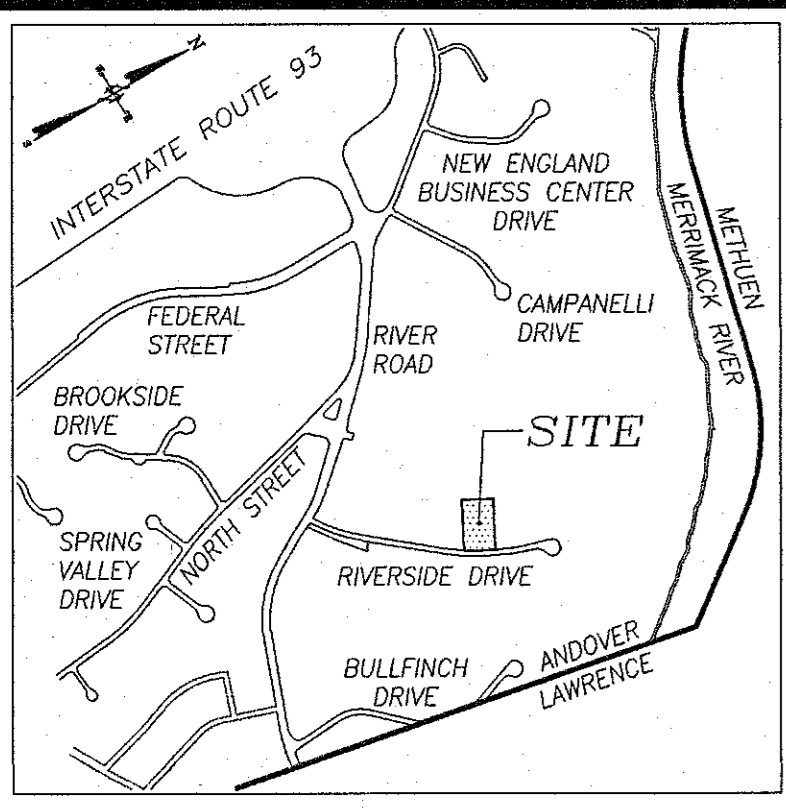


**DETAIL SHEET**  
PROPOSED SELF STORAGE FACILITY  
43 RIVER ROAD  
ANDOVER, MASSACHUSETTS  
SCALE: AS SHOWN  
DATE: JULY 11, 2022

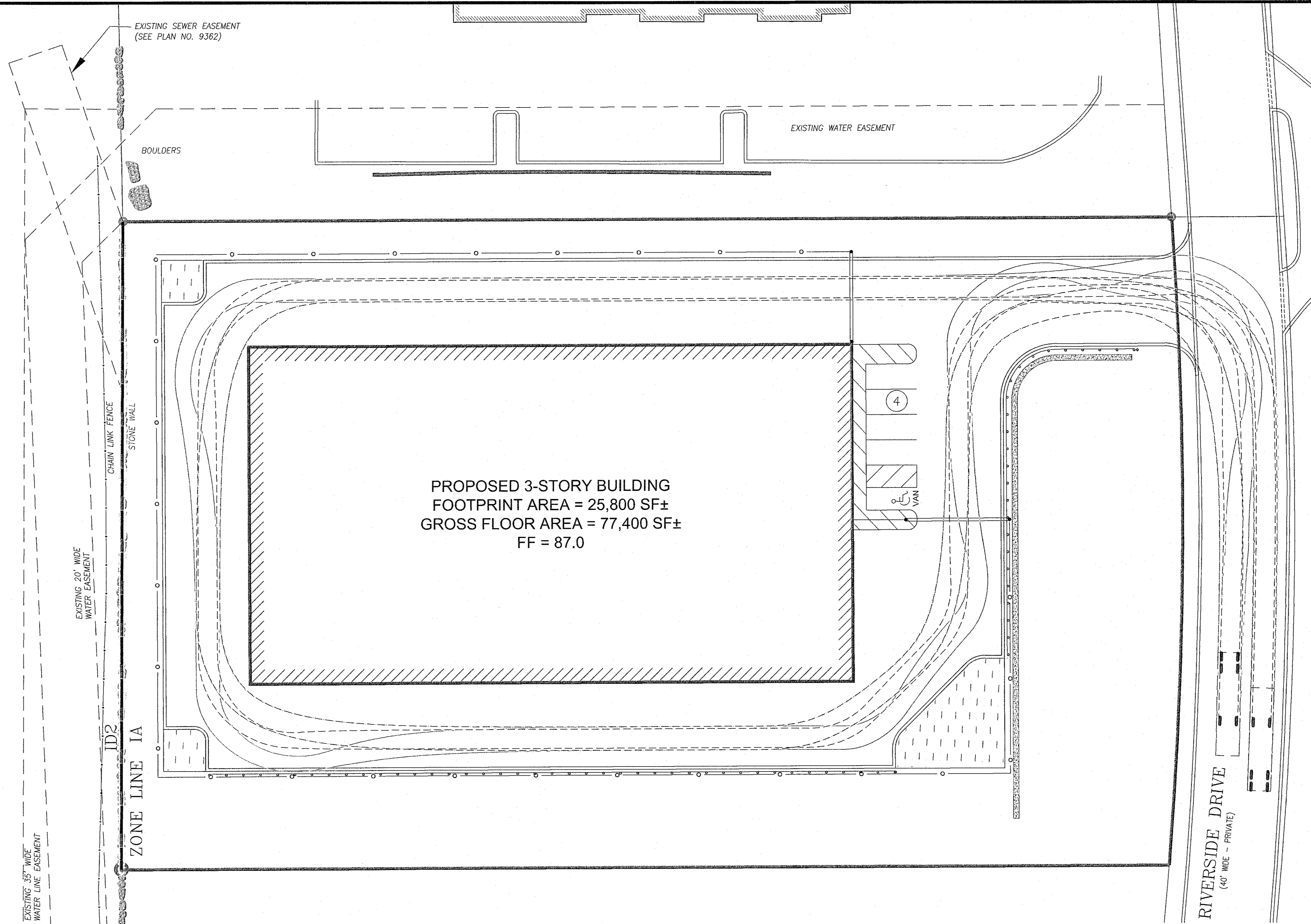
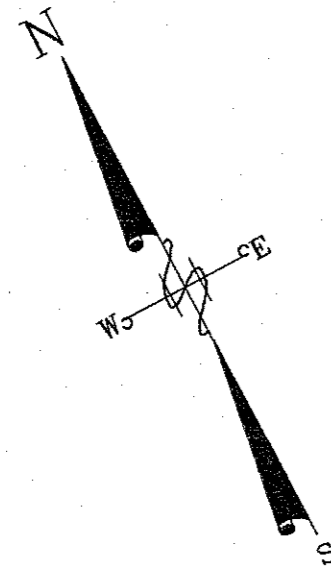
**DANA F. PERKINS, inc.**  
Consulting Engineers & Land Surveyors  
1057 EAST STREET ~ TEWKSBURY, MASSACHUSETTS 01876  
TEL: 978-858-0680 FAX: 978-640-0237  
DANA@PERKINS.COM  
PREPARED FOR:  
JP PROPERTIES, LLC  
665 CHURCH STREET  
WHITINSVILLE, MA  
JOB NO. 51947  
SHEET 10 OF 11



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LOCUS MAP:  
NOT TO SCALE



NOTES:

- SUBJECT PROPERTY LOCATED ON A PORTION OF THE PROPERTY LOCATED ON ANDOVER ASSESSORS MAP #126, LOT #4. SUBJECT PROPERTY SHOWN AS LOT A ON RECORD PLAN #11374 RECORDED AT THE ESSEX NORTH REGISTRY OF DEEDS.
- SUBJECT PROPERTY LOCATED IN TOWN OF ANDOVER ZONING DISTRICT "A" ~ INDUSTRIAL A ZONING DISTRICT.
- TOPOGRAPHY AND EXISTING CONDITIONS SHOWN HEREON IS THE RESULT OF AN ON-THE-GROUND SURVEY CONDUCTED BY DANA F. PERKINS, INC., IN MAY OF 2022.

DEED REFERENCES:

ESSEX NORTH REGISTRY OF DEEDS  
DEED BOOK: 17058 PAGE: 310  
PLAN BOOK: PLAN #8302  
PLAN BOOK: PLAN #11374

RECORD OWNERS:

3P PROPERTIES, LLC  
665 CHURCH STREET  
WHITINSVILLE, MA

APPROVED BY THE TOWN OF ANDOVER PLANNING BOARD:

\_\_\_\_\_

\_\_\_\_\_

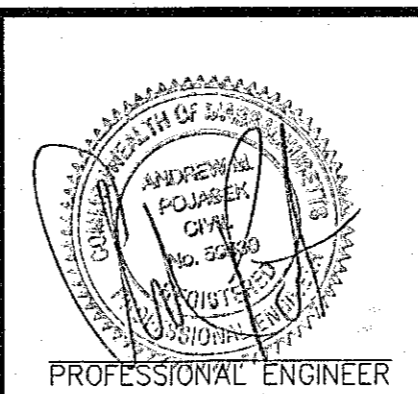
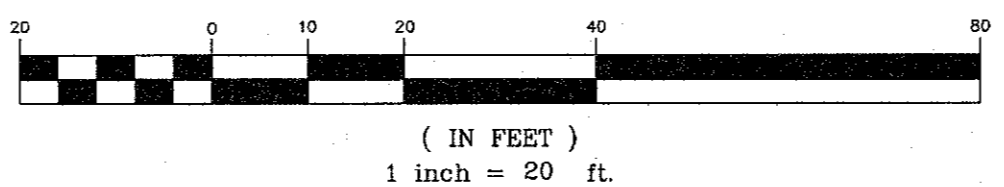
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DATE: \_\_\_\_\_

DATE	BY	REVISION
9/26/22	AMP	REVISED PER PEER REVIEW COMMENTS
10/11/22	AMP	REVISED PER PEER REVIEW COMMENTS

**UTILITY STATEMENT:**  
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



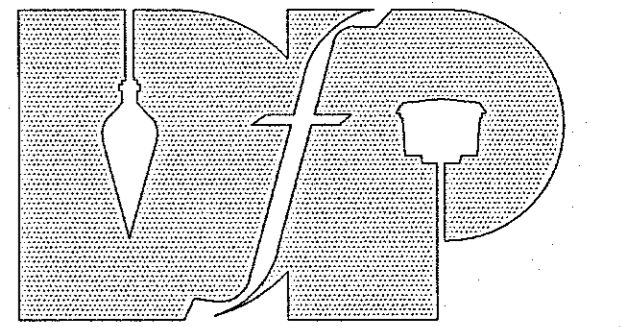
TURN RADIUS EXHIBIT PLAN  
PROPOSED SELF STORAGE FACILITY  
43 RIVER ROAD  
ANDOVER, MASSACHUSETTS

SCALE: 1" = 20' DATE: JULY 11, 2022

**DANA F. PERKINS, inc.**  
Consulting Engineers & Land Surveyors  
1057 EAST STREET ~ TEWKSBURY, MASSACHUSETTS 01876  
TEL: 978-858-0680 FAX: 978-840-0237  
DANA.F.PERKINS.COM

PREPARED FOR:  
3P PROPERTIES, LLC  
665 CHURCH STREET  
WHITINSVILLE, MA

JOB NO. 51947 SHEET 11 OF 11



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