

SITE PLAN FOR MULTIFAMILY HOUSING REDEVELOPMENT PROJECT 7 TANTALLON ROAD ANDOVER, MA.

HOWARD STEIN HUDSON
114 Turnpike Road, Suite 2C
Chelmsford, MA 01824
www.hshassoc.com

PREPARED FOR:
Neil Rosenberg
7 Tantallon Road
Andover, MA 01810

**THE TANTALLON
PROPOSED MULTIFAMILY
REDEVELOPMENT PROJECT
7 TANTALLON ROAD
ANDOVER, MA, 01810**

GENERAL NOTES:

1. EXISTING PROPERTY LINE AND UTILITY INFORMATION SHOWN IS BASED ON AN EXISTING SURVEY CONDUCTED BY A-PLUS CONSTRUCTION SERVICES CORPORATION, REVISED THROUGH MARCH 12, 2019.
2. THE ACCURACY AND COMPLETENESS OF THE UNDERGROUND UTILITIES AS SHOWN ON THE PLANS ARE NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE, TYPE, ETC. OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY THE WORK. AT LEAST 72 HOURS BEFORE EXCAVATION, THE CONTRACTOR SHALL BE REQUIRED TO CONTACT DIGSAFE AT 1-888-344-7233.
3. THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
4. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE APPROPRIATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.
5. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE NOTIFIED, INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN, PRIOR TO EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION OR REPAVING.
6. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES EXCEPT THOSE NOTED TO BE ABANDONED, REMOVED AND DISPOSED.
7. THE CONTRACTOR SHALL DISPOSE OF ALL WASTE MATERIAL IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS AT HIS/HER OWN EXPENSE, OUTSIDE OF THE PROJECT LIMITS.
8. SITE IS LOCATED WITHIN FEMA FLOODMAP 25009C0217F EFFECTIVE 07/03/2012.

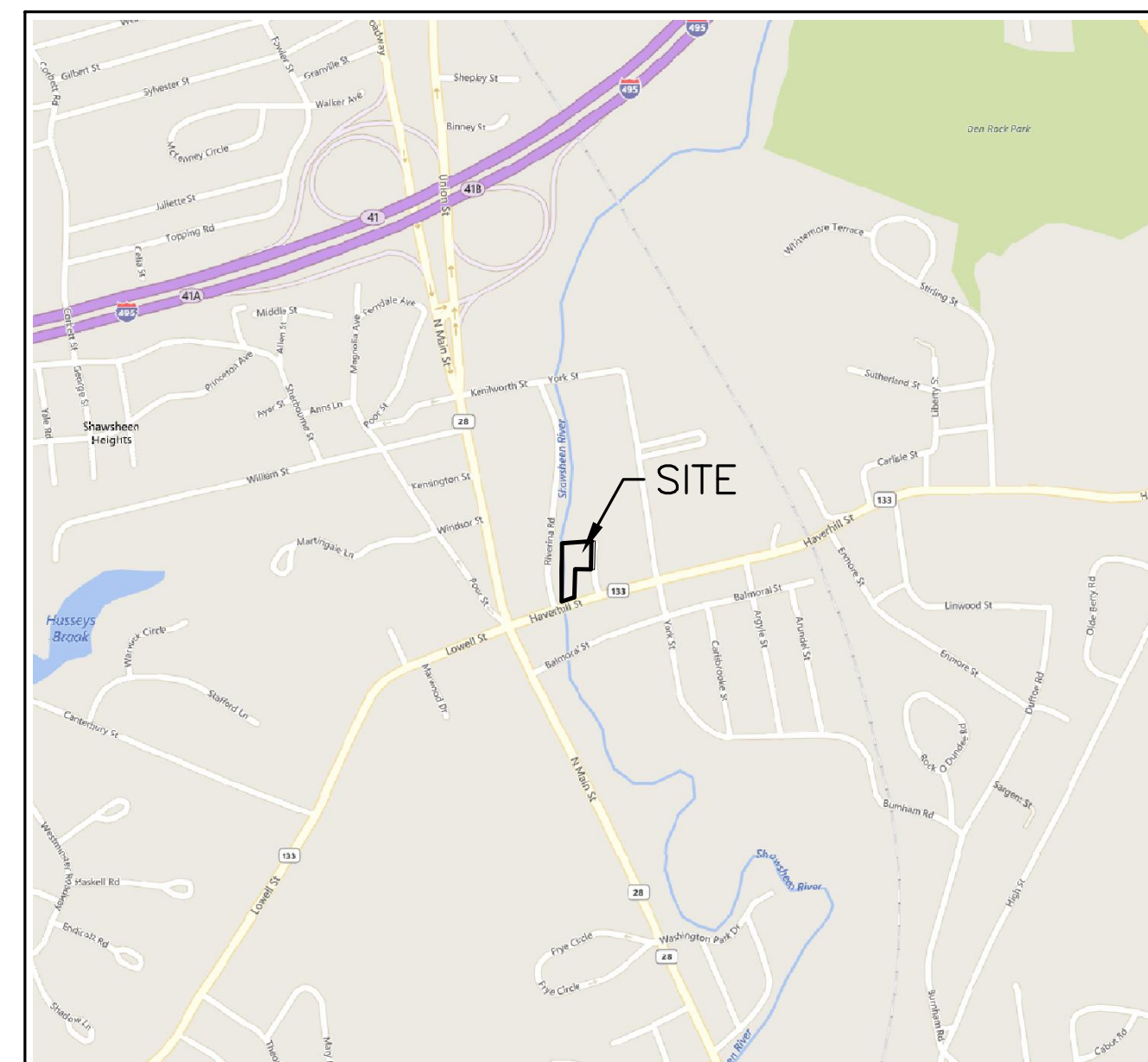
SHEET INDEX

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SHEET 2	DEMOLITION & EROSION CONTROL PLAN
SHEET 3	LAYOUT AND MATERIALS PLAN
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SHEET 10	DETAIL SHEET 3 OF 4
SHEET 11	DETAIL SHEET 4 OF 4

EXISTING CONDITIONS PLAN

LEGEND

—○— CHAIN-LINK FENCE	○ WF# WETLAND FLAG
—□— WROUGHT IRON FENCE	■ CB CATCH BASIN - SQUARE
—○○— STONE WALL	☀ LIGHT POLE
—~— TREELINE	—○— UPL# UTILITY POLE
—70— CONTOUR	□ BOUND (CONC, STONE, LAND COURT, ETC.)
ⓔ ELECTRIC MANHOLE	△ TRAVERSE POINT
Ⓢ SEWER MANHOLE	DH DRILL HOLE
Ⓣ TELEPHONE MANHOLE	○ GG GAS GATE
Ⓞ OTHER MANHOLE	○ WG WATER GATE
EOP EDGE OF PAVEMENT	⊕ MONITORING WELL
TOW TOP OF WATER	



LOCUS MAP
1"=1000'

PROJECT TEAM:

CIVIL ENGINEER
HOWARD STEIN HUDSON
114 TURNPIKE ROAD
SUITE 2C
CHELMSFORD, MA 01824

LANDSCAPE ARCHITECT
LORAYNE BLACK
PO BOX 595
GROTON, MA 01450

ARCHITECT
LAGRASSE YANOWITZ & FEYL
1 ELM SQUARE, 3RD FLOOR
ANDOVER, MA 01810

LIGHTING CONSULTANT
CHARRON INC.
P.O. BOX 4550
MANCHESTER, NH 03108

SURVEYOR
A-PLUS CONSTRUCTION SERV. CORP.
17 ACCORD PARK DRIVE, UNIT 102
NORWELL, MA 02061

WETLAND SCIENCE
JOHN DICK
WETLAND SCIENTIST

OWNER

NEIL ROSENBERG
7 TANTALLON ROAD
ANDOVER, MA 01810

ASSESSORS INFORMATION

ASSESSORS MAP 35 LOTS 5A & 6

REFERENCES

1. EXISTING CONDITIONS SURVEY PREPARED FOR HOWARD STEIN HUDSON BY A-PLUS CONSTRUCTION SERVICES CORPORATION, REVISED THROUGH MARCH 12, 2019.

ZONING REQUIREMENTS

GB - GENERAL BUSINESS DISTRICT
FHOD - FLOOD HAZARD OVERLAY DISTRICT
DIMENSIONAL REQUIREMENTS

	REQUIREMENT	EXISTING	PROPOSED
MINIMUM LOT AREA	48,000* SF	45,346± SF	49,097± SF
MINIMUM FRONT YARD	(A)	152.3± FT	152.6± FT
MINIMUM SIDE/REAR YARD	(B)	3± FT	4± FT
BUILDING COVERAGE	66% (C)	21%	23%
MAXIMUM STORIES	4	2	4
MAXIMUM BUILDING HEIGHT	50 FT	<50 FT	50 FT

*2,000 SF OF LOT AREA IS REQUIRED PER DWELLING UNIT. TWENTY FOUR (24) UNITS ARE PROPOSED.

(A) IN THE GENERAL BUSINESS DISTRICT, THE FRONT SETBACK SHALL BE THE AVERAGE FRONT SETBACK OF EXISTING BUILDINGS ON THE BLOCK.

(B) NO BUILDING IN A BUSINESS DISTRICT SHALL BE ERECTED OR EXPANDED WITHIN 15 FEET OF A BUILDING CONTAINING A RESIDENTIAL USE, REGARDLESS OF THE ZONING DISTRICT IN WHICH SAID BUILDING CONTAINING A RESIDENTIAL USE IS LOCATED.

(C) IN A GENERAL BUSINESS DISTRICT, AN EXISTING STRUCTURE OCCUPYING MORE THAN 2/3 OF THE LOT AREA SHALL NOT BE EXPANDED. NEW STRUCTURES SHALL NOT EXCEED 2/3 OF THE LOT AREA WITHIN THE GENERAL BUSINESS DISTRICT.

PARKING REQUIREMENTS

PLANNED DEVELOPMENT - 24 UNIT MULTIFAMILY RESIDENTIAL STRUCTURE
TWO PARKING SPACES PER DWELLING UNIT

REQUIRED: 24 DWELLING UNITS X 2 SPACES/DWELLING UNIT = 48 SPACES

PROPOSED: 58 TOTAL PARKING SPACES
24 OPEN AIR PARKING SPACES UNDERNEATH THE BUILDING
16 SURFACE PARKING SPACES
8 COMPACT SURFACE PARKING SPACES
10 DEEDED PARKING SPACES FOR USE OF 12 HAVERHILL STREET
TOTAL PARKING SPACES = 24+16+8+10 = 58 TOTAL PARKING SPACES
50 PROPOSED STANDARD PARKING SPACES
8 PROPOSED COMPACT PARKING SPACES
*10 PARKING SPACES TO BE USED BY PATRONS OF 12 HAVERHILL STREET DURING

SITE PLAN AND SPECIAL PERMITS REQUIRED

1. PER SECTION 3.1.3 - TABLE OF USE REGULATIONS - PLANNED DEVELOPMENT, MULTIFAMILY OR MIXED-USE (SECTION 7.2)
2. PER SECTION 8.3.4 - FLOOD HAZARD OVERLAY DISTRICT - REGULATIONS.

REVISIONS:

NO	BY	DATE	DESCRIPTION
9	PB	8/28/19	PER REVIEW COMMENTS
10	SM	2/17/20	LAYOUT/DRAINAGE REVS.
11	KE	4/20/20	REV LANDSCAPE PLAN
12	MB	9/08/20	REV LANDSCAPE PLAN
13	PB	7/27/21	NOI SUBMISSION
14	MB	08/31/22	NOI SUBMISSION
15	MB	10/26/22	PER REVIEW COMMENTS
16	MB	11/01/22	REV PARKING



SITE
PLAN

COVER
SHEET

DATE: 10-24-2017

PROJECT NUMBER: 17024

DESIGNED BY: TM

DRAWN BY: TM

CHECKED BY: KE

1

SHEET 1 OF 11



HOWARD STEIN HUDSON
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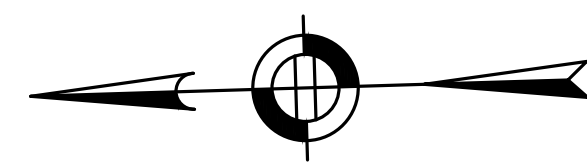
SITE
 PLAN

**DEMOLITION &
 EROSION CONTROL
 PLAN**

DATE:	10-24-2017
PROJECT NUMBER:	17024
DESIGNED BY:	TM
DRAWN BY:	TM
CHECKED BY:	KE

2

SHEET 2 OF 11



MAP 35 LOT 8
 20 HAVERHILL STREET
 LISA M. COX
 BOOK 11792 PAGE 190

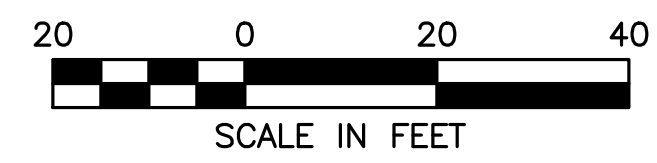
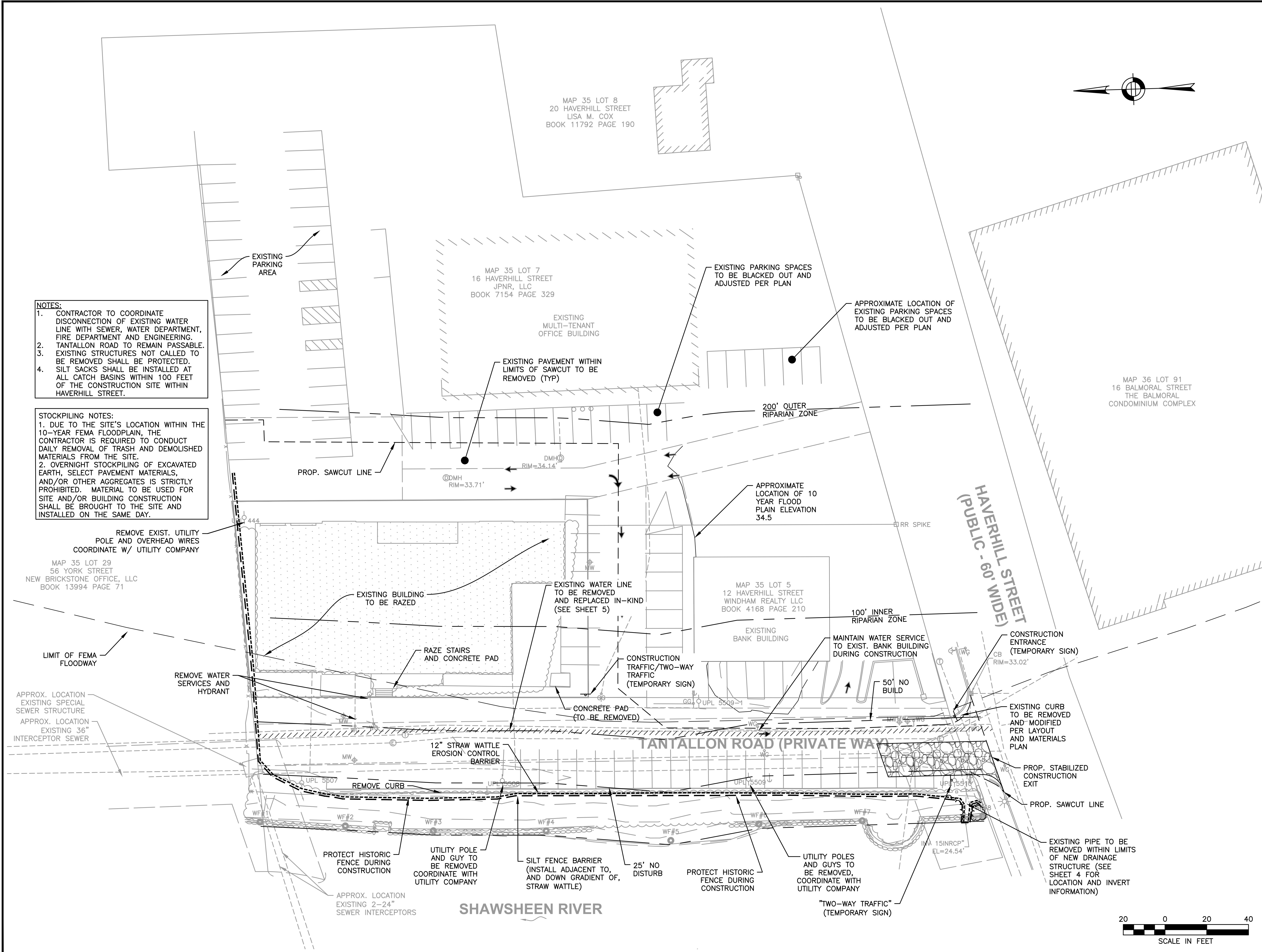
MAP 35 LOT 7
 16 HAVERHILL STREET
 JPNR, LLC
 BOOK 7154 PAGE 329

MAP 36 LOT 91
 16 BALMORAL STREET
 THE BALMORAL
 CONDOMINIUM COMPLEX

MAP 35 LOT 5
 12 HAVERHILL STREET
 WINDHAM REALTY LLC
 BOOK 4168 PAGE 210

- NOTES:**
1. CONTRACTOR TO COORDINATE DISCONNECTION OF EXISTING WATER LINE WITH SEWER, WATER DEPARTMENT, FIRE DEPARTMENT AND ENGINEERING.
 2. TANTALLON ROAD TO REMAIN PASSABLE.
 3. EXISTING STRUCTURES NOT CALLED TO BE REMOVED SHALL BE PROTECTED. SILT SACKS SHALL BE INSTALLED AT ALL CATCH BASINS WITHIN 100 FEET OF THE CONSTRUCTION SITE WITHIN HAVERHILL STREET.
 4. OVERNIGHT STOCKPILING OF EXCAVATED EARTH, SELECT PAVEMENT MATERIALS, AND/OR OTHER AGGREGATES IS STRICTLY PROHIBITED. MATERIAL TO BE USED FOR SITE AND/OR BUILDING CONSTRUCTION SHALL BE BROUGHT TO THE SITE AND INSTALLED ON THE SAME DAY.

- STOCKPILING NOTES:**
1. DUE TO THE SITE'S LOCATION WITHIN THE 10-YEAR FEMA FLOODPLAIN, THE CONTRACTOR IS REQUIRED TO CONDUCT DAILY REMOVAL OF TRASH AND DEMOLISHED MATERIALS FROM THE SITE.
 2. OVERNIGHT STOCKPILING OF EXCAVATED EARTH, SELECT PAVEMENT MATERIALS, AND/OR OTHER AGGREGATES IS STRICTLY PROHIBITED. MATERIAL TO BE USED FOR SITE AND/OR BUILDING CONSTRUCTION SHALL BE BROUGHT TO THE SITE AND INSTALLED ON THE SAME DAY.



11/1/2022, L:\17024\CURRENT\17024_Site Plan.dwg
 Matthew Baker



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SITE
 PLAN

LAYOUT AND
 MATERIALS
 PLAN

DATE: 10-24-2017

PROJECT NUMBER: 17024

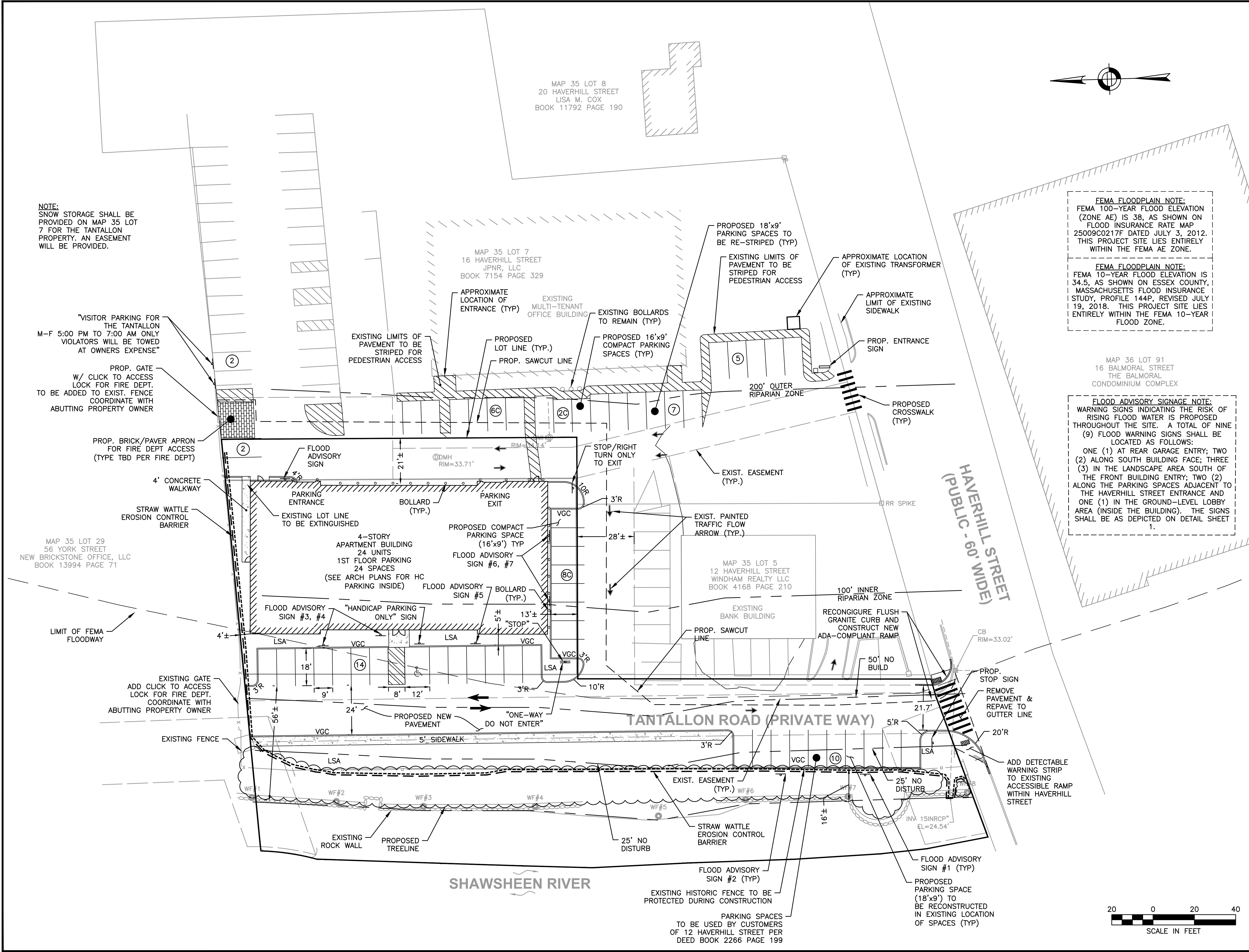
DESIGNED BY: TM

DRAWN BY: TM

CHECKED BY: KE

3

SHEET 3 OF 11



NOTE:
 SNOW STORAGE SHALL BE PROVIDED ON MAP 35 LOT 7 FOR THE TANTALLON PROPERTY. AN EASEMENT WILL BE PROVIDED.

"VISITOR PARKING FOR THE TANTALLON M-F 5:00 PM TO 7:00 AM ONLY VIOLATORS WILL BE TOWED AT OWNERS EXPENSE"
 PROP. GATE W/ CLICK TO ACCESS LOCK FOR FIRE DEPT. TO BE ADDED TO EXIST. FENCE COORDINATE WITH ABUTTING PROPERTY OWNER

PROP. BRICK/PAVER APRON FOR FIRE DEPT ACCESS (TYPE TBD PER FIRE DEPT)

4' CONCRETE WALKWAY
 STRAW WATTLE EROSION CONTROL BARRIER

MAP 35 LOT 29
 56 YORK STREET
 NEW BRICKSTONE OFFICE, LLC
 BOOK 13994 PAGE 71

LIMIT OF FEMA FLOODWAY

EXISTING GATE ADD CLICK TO ACCESS LOCK FOR FIRE DEPT. COORDINATE WITH ABUTTING PROPERTY OWNER

EXISTING FENCE

EXISTING ROCK WALL
 PROPOSED TREELINE

EXISTING HISTORIC FENCE TO BE PROTECTED DURING CONSTRUCTION

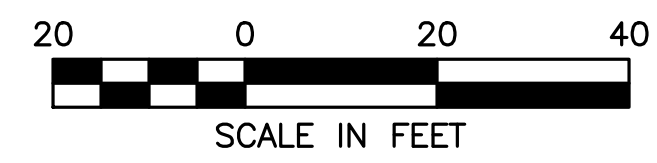
PARKING SPACES TO BE USED BY CUSTOMERS OF 12 HAVERHILL STREET PER DEED BOOK 2266 PAGE 199

FEMA FLOODPLAIN NOTE:
 FEMA 100-YEAR FLOOD ELEVATION (ZONE AE) IS 38, AS SHOWN ON FLOOD INSURANCE RATE MAP 25009C0217F DATED JULY 3, 2012. THIS PROJECT SITE LIES ENTIRELY WITHIN THE FEMA AE ZONE.

FEMA FLOODPLAIN NOTE:
 FEMA 10-YEAR FLOOD ELEVATION IS 34.5, AS SHOWN ON ESSEX COUNTY MASSACHUSETTS FLOOD INSURANCE STUDY, PROFILE 144P, REVISED JULY 19, 2018. THIS PROJECT SITE LIES ENTIRELY WITHIN THE FEMA 10-YEAR FLOOD ZONE.

FLOOD ADVISORY SIGNAGE NOTE:
 WARNING SIGNS INDICATING THE RISK OF RISING FLOOD WATER IS PROPOSED THROUGHOUT THE SITE. A TOTAL OF NINE (9) FLOOD WARNING SIGNS SHALL BE LOCATED AS FOLLOWS:
 ONE (1) AT REAR GARAGE ENTRY; TWO (2) ALONG SOUTH BUILDING FACE; THREE (3) IN THE LANDSCAPE AREA SOUTH OF THE FRONT BUILDING ENTRY; TWO (2) ALONG THE PARKING SPACES ADJACENT TO THE HAVERHILL STREET ENTRANCE AND ONE (1) IN THE GROUND-LEVEL LOBBY AREA (INSIDE THE BUILDING). THE SIGNS SHALL BE AS DEPICTED ON DETAIL SHEET 1.

HAVERHILL STREET (PUBLIC - 60' WIDE)



- NOTES:
1. CONTRACTOR TO LOCATE ANY TREES OVER 3" AND COORDINATE WITH ANDOVER CONSERVATION COMMISSION STAFF TO AVOID TREE REMOVAL.
 2. SITE GRADING SHALL CONFORM TO SPECIAL CONDITION 17 IN THE ORDER OF CONDITIONS ASSOCIATED WITH DEP FILE #090-1299, DATED 03/22/2018.
 3. DMH-5 SHALL BE EQUIPPED WITH A BACKFLOW PREVENTION DEVICE. REFER TO DETAIL SHEET 4 OF 4 FOR ADDITIONAL INFORMATION.
 4. DMH-4 AND DMH-6 TO BE INSTALLED WITH A SUMP.
 5. NO STORMWATER SHALL BE DISCHARGED THROUGH THE STORMWATER MANAGEMENT SYSTEM UNTIL OUTLET IS STABILIZED.
 6. NO SALT, SAND, FERTILIZERS, PET WASTE, HAZARDOUS CHEMICALS, ETC. WILL BE STORED IN THE GARAGE WHERE FLOOD WATERS CAN REACH.
 7. THERE WILL BE NO VEHICLE WASHING ALLOWED ON SITE.
 8. ALL SNOW SHALL BE DISPOSED OF OFF-SITE IN A MANNER CONSISTENT WITH LOCAL AND STATE REGULATIONS.
 9. FINAL INVERT TO BE COORDINATED WITH PLUMBING ENGINEERS PLANS AND DESIGNS

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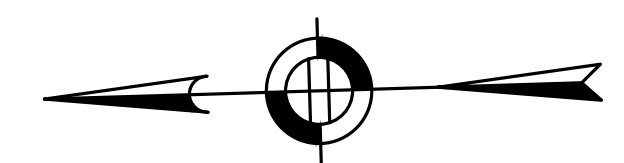
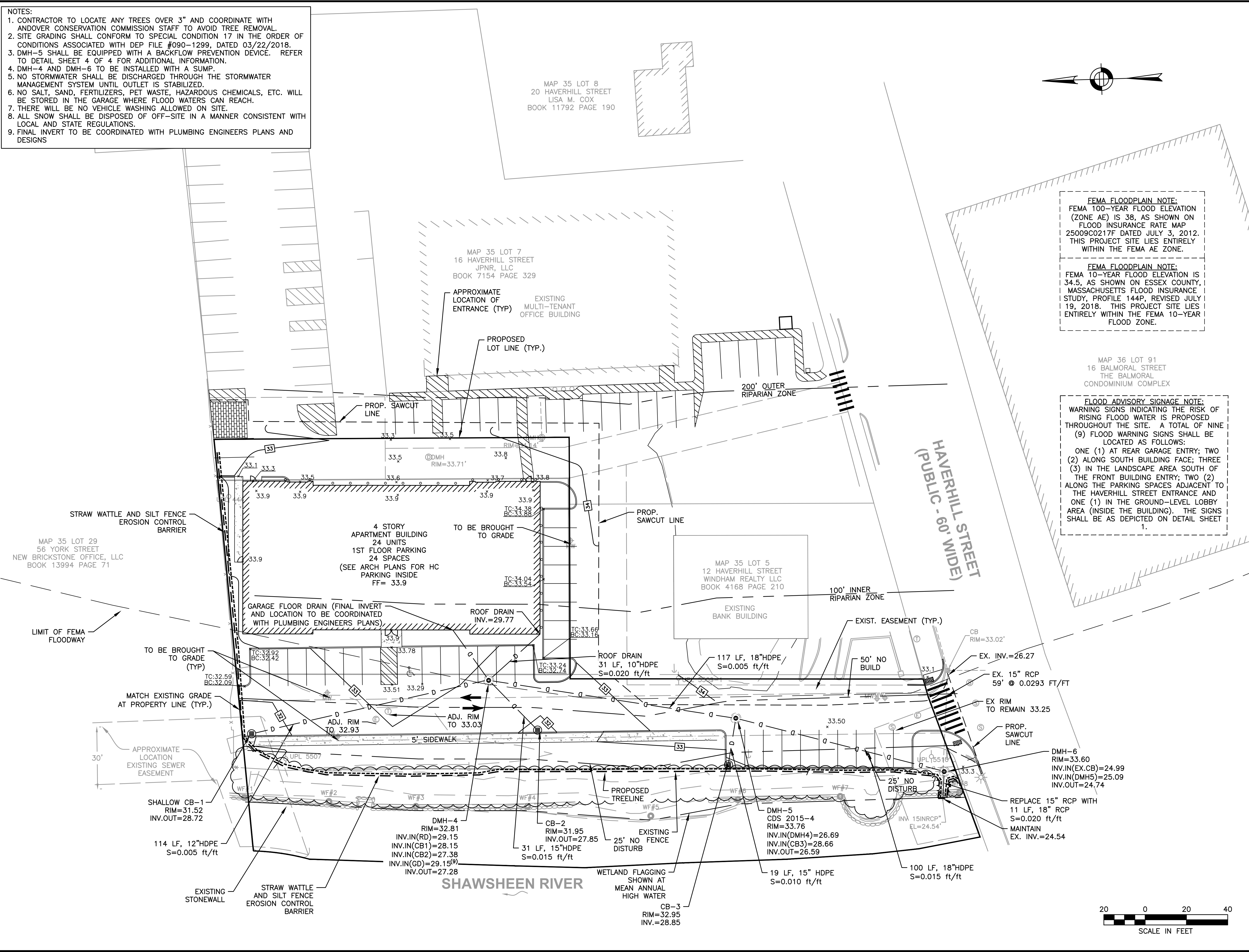


SITE PLAN

GRADING AND DRAINAGE PLAN

DATE: 10-24-2017
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 DESIGNED BY: TM
 DRAWN BY: TM
 CHECKED BY: KE

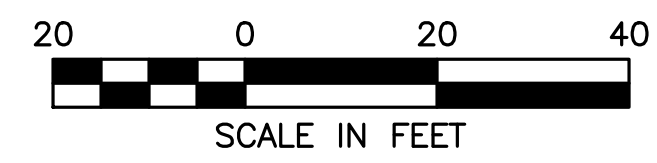
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 Matthew Baker



FEMA FLOODPLAIN NOTE:
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FLOOD ADVISORY SIGNAGE NOTE:
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SITE
PLAN

UTILITY
PLAN

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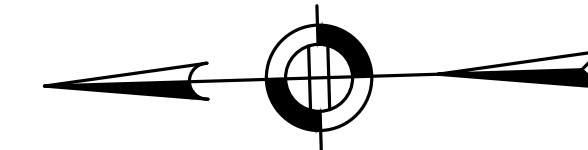
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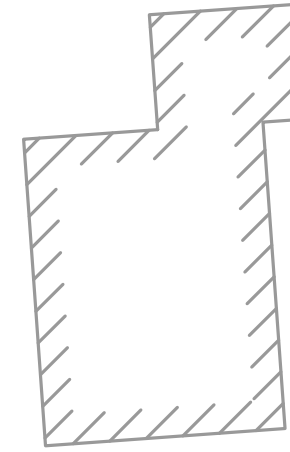
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5

SHEET 5 OF 11



MAP 35 LOT 8
20 HAVERHILL STREET
LISA M. COX
BOOK 11792 PAGE 190



MAP 35 LOT 7
16 HAVERHILL STREET
JPNR, LLC
BOOK 7154 PAGE 329

APPROXIMATE
LOCATION OF
ENTRANCE (TYP.)

PROPOSED
LOT LINE (TYP.)

200' OUTER
RIPARIAN ZONE

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FEMA 100-YEAR FLOOD ELEVATION
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FLOOD ZONE.

MAP 36 LOT 91
16 BALMORAL STREET
THE BALMORAL
CONDOMINIUM COMPLEX

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ALONG THE PARKING SPACES ADJACENT TO
THE HAVERHILL STREET ENTRANCE AND
ONE (1) IN THE GROUND-LEVEL LOBBY
AREA (INSIDE THE BUILDING). THE SIGNS
SHALL BE AS DEPICTED ON DETAIL SHEET
1.

NOTES:
1. DEPTHS AND EXACT LOCATION OF ALL
EXISTING UNDERGROUND UTILITIES UNKNOWN.
TO BE CONFIRMED PRIOR TO CONSTRUCTION
AND CONFLICTS DISCUSSED WITH DESIGN
ENGINEER.
2. CONTRACTOR TO COORDINATE DISCONNECTION
OF EXISTING WATER LINE WITH SEWER, WATER
DEPARTMENT, FIRE DEPARTMENT AND
ENGINEERING.

MAP 35 LOT 29
56 YORK STREET
NEW BRICKSTONE OFFICE, LLC
BOOK 13994 PAGE 71

CONNECT TO EXIST.
GAS SERVICE
COORDINATE WITH
UTILITY COMPANY

BACKFLOW PREVENTER &
CLEANOUT W/ CAST IRON COVER

APPROX. LOCATION
EXISTING SPECIAL
SEWER STRUCTURE

APPROX. LOCATION
EXISTING 36"
INTERCEPTOR SEWER

DEPTHS OF EXISTING UTILITIES
UNKNOWN, TO BE CONFIRMED
PRIOR TO CONSTRUCTION AND CONFLICTS
DISCUSSED W/ DESIGN ENGINEER

CONNECT TO EXIST.
UTILITY POLE
COORDINATE WITH
UTILITY COMPANY

EXISTING SEWER INVERTS WERE
ESTIMATED AND ASSUMED.
CONTRACTOR TO VERIFY INVERTS
PRIOR TO CONSTRUCTION AND
VERIFY ENGINEER IF THERE IS A
SIGNIFICANT VARIATION TO ASSUMED
INVERTS.

PROP. HYDRANT
SEWER SERVICE
INV.=27.44
GAS SERVICE
ELEC./COMM./TELEPHONE
FIRE SERVICE
DOMESTIC
WATER SERVICE

50 LF, 6"SDR35 PVC
S=0.035 ft/ft
CONNECT TO EXISTING
WATER MAIN

5' SIDEWALK
25' NO DISTURB
BUFFER

WYE
CONNECTION
INV.=25.69

APPROX. LOCATION
EXISTING 2-24"
SEWER INTERCEPTORS

EXISTING SEWER LINE
TO BE CAMERA INSPECTED
TO DETERMINE CURRENT CONDITION
& FEASIBILITY OF USABILITY PRIOR TO
CONSTRUCTION IN CONSULTATION
W/ ANDOVER SEWER DEPARTMENT &
ENGINEER OF RECORD. ANY INEFFICIENCIES
IN EXISTING SERVICE ENCOUNTERED DURING
INSPECTION SHALL BE FIXED.

UNDERGROUND
ELECTRIC LINE
(TYP.)

REMOVE EXISTING GATE AND
REPLACE WITH
NEW 10"x8" TEE & GATE VALVE

MAP 35 LOT 5
12 HAVERHILL STREET
WINDHAM REALTY LLC
BOOK 4168 PAGE 210

EXISTING
BANK BUILDING

RECONNECT
EXISTING WATER
SERVICES

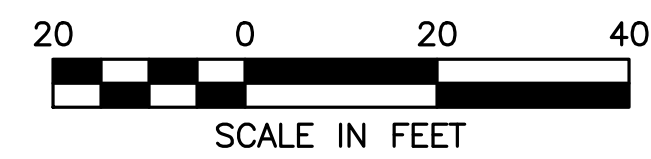
8" CLDI WATER MAIN
REPLACED IN-KIND

TEMPORARY WATER SERVICE SHALL
BE PROVIDED TO EXIST. BANK BUILDING
DURING REPLACEMENT. CONTRACTOR/UTILITY
TO COORDINATE W/ PROPERTY OWNER,
WATER DEPT. AND FIRE CHIEF.

100' INNER
RIPARIAN ZONE

CB
RIM=33.02'

CONNECT TO EXIST.
UNDERGROUND UTILITIES
COORDINATE WITH
UTILITY COMPANY



NOTES:

1. ALL SEED AND HERBACEOUS GROUND COVER AREAS WILL BE TRIMMED DURING FIRST GROWING SEASON TO A HEIGHT OF 8 INCHES.
2. DURING SECOND GROWING SEASON, ANY MATERIAL STANDING FROM THE PREVIOUS YEAR WILL BE TRIMMED TO APPROXIMATELY 2 INCHES IN EARLY SPRING.
3. AFTER SECOND GROWING SEASON, SEEDED AREAS WILL BE TRIMMED IN THE EARLY SPRING AND LATE FALL TO A HEIGHT OF 6 INCHES.
4. PROBLEM WEEDS WILL BE HAND PULLED.
5. PLANTING SPACING AND LAYOUT FOR HERBACEOUS/GROUND COVER PLANTS TO BE INSTALLED IN MIXED GROUPS OF 3, 5, AND 7 VARIETY CLUSTERS, EACH PLANT WITHIN CLUSTER, SPACED APPROXIMATELY 10-INCH ON CENTER.



Lorayne Black ASLA
Landscape Architect

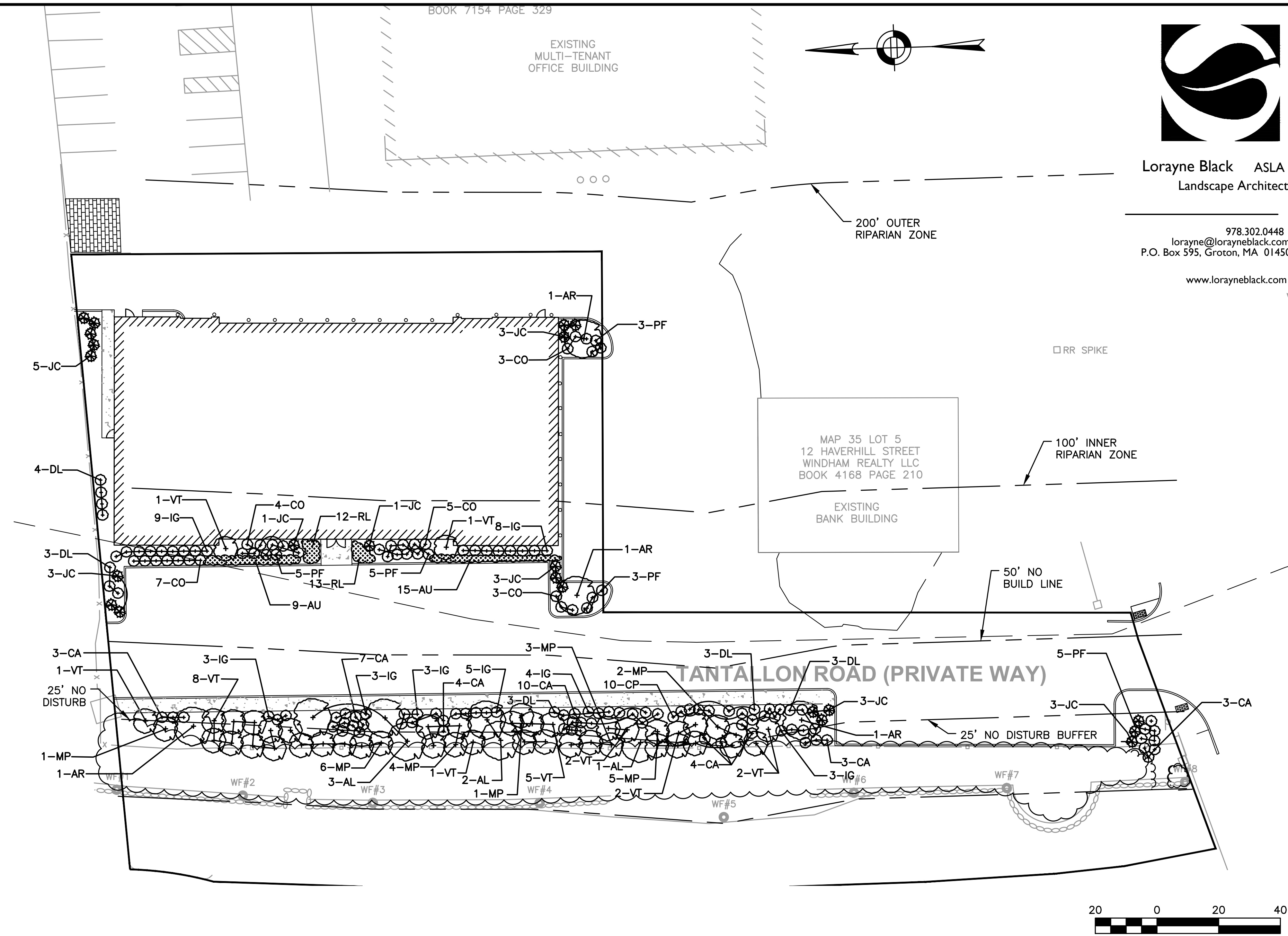
978.302.0448
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HOWARD STEIN HUDSON
114 Turnpike Road, Suite 2C
Chelmsford, MA 01824
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PREPARED FOR:
Neil Rosenberg
7 Tantaloon Road
Andover, MA 01810

**THE TANTALLOON
PROPOSED MULTIFAMILY
REDEVELOPMENT PROJECT**
7 TANTALLOON ROAD
ANDOVER, MA, 01810

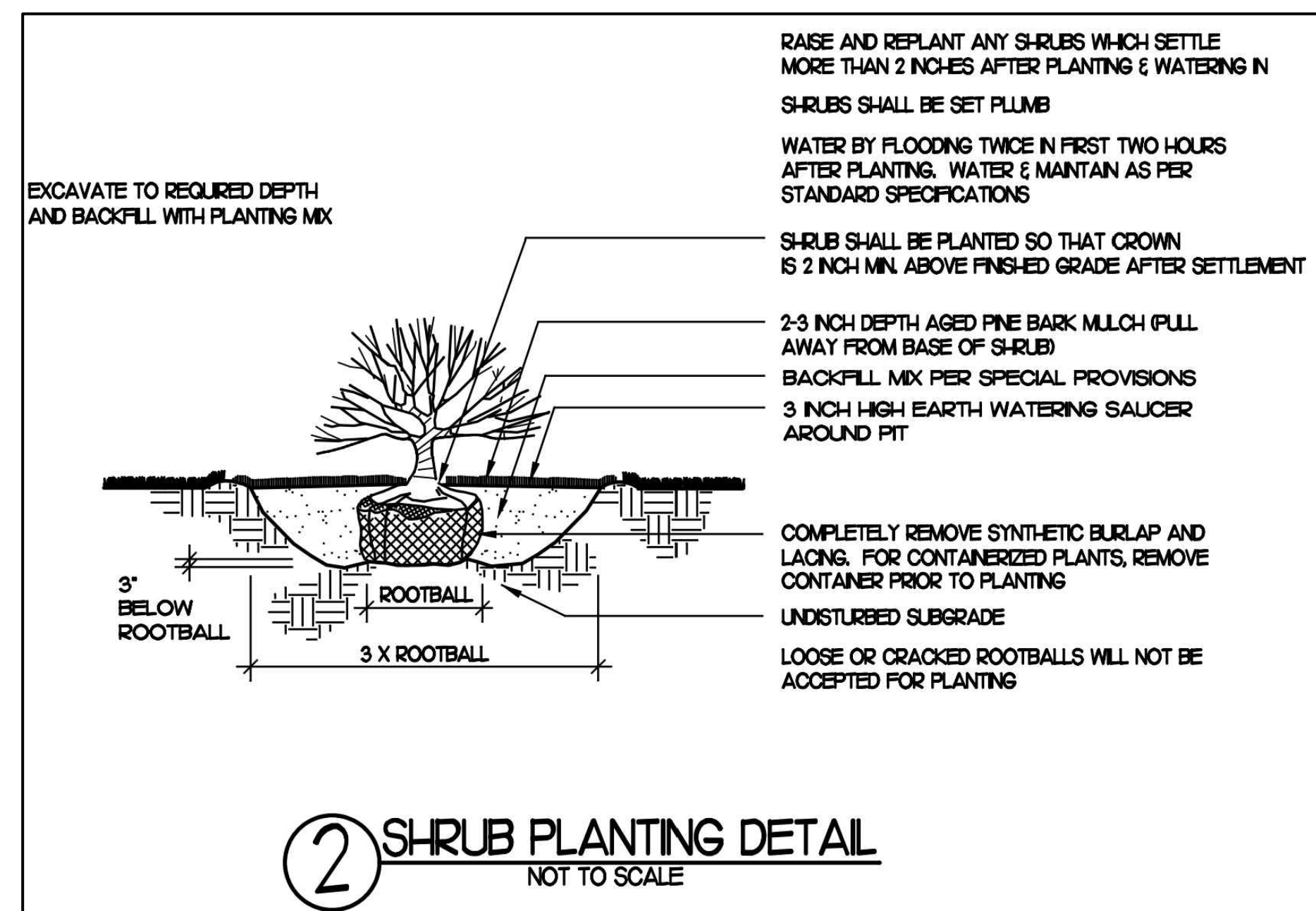


PLANT SCHEDULE: NATIVE PLANTS, AS PER NATIVE PLANT TRUST (WWW.NATIVEPLANTTRUST.ORG)

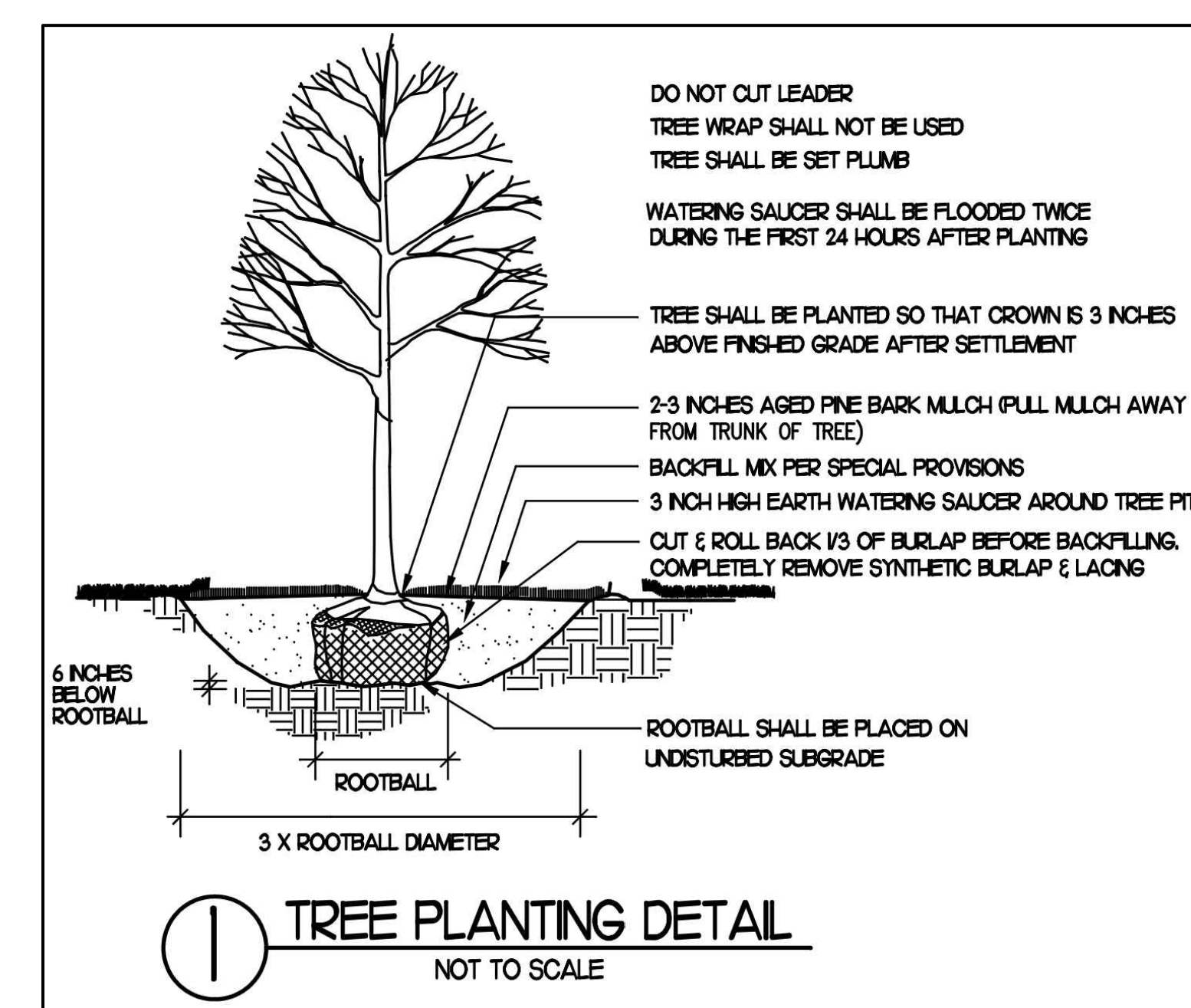
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
TREES					
AL	7	AMELANCHIER LAEVIS	SERVICEBERRY	10-12 FT MULTI-STEM	B&B/POLLINATOR/SUN-PT SHADE/DRY
AR	4	ACER RUBRUM	RED MAPLE	2"-2.5" CAL.	B&B/POLLINATOR/SUN-PT. SHADE
SHRUBS					
AU	24	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	#1 POT	POLLINATOR/SUN/DRY
DL	16	DIERVILLA LONICERA 'KODIAK'	BUSH-HONEYSUCKLE	#2 POT	POLLINATOR/SUN/DRY
CA	34	CLETHRA ANIFOLIA	SWEETSHRUB	#2 POT	SUN/SHADE/TOLERANT DRY OR WET
CO	22	CEANOTHUS AMERICANUS	NEW JERSEY TEA	#2 POT	SUN/UPLAND
CP	10	COMPTONIA PEREGRINA	SWEET FERN	#2 POT	SUN/UPLAND
IG	38	ILEX GLABRA	INKBERRY	#3 POT	POLLINATOR/SUN-PT. SHADE
JC	22	JUNIPERUS COMMUNIS 'BLUEBERRY DELIGHT'	JUNIPER	#2 POT	SUN/DRY
MP	22	MYRICA PENNSYLVANICA	BAYBERRY	#3 POT	SUN/UPLAND
PF	21	POTENTILLA FRUTICOSA	POTENTILLA	#2 POT	SUN/UPLAND
VT	21	VIBURNUM TRILOBUM	AMERICAN CRANBERRY BUSH	#3 POT	POLLINATOR/SUN-PT. SHADE
HERBACEOUS GROUND COVER MIX (PLANT 10" O.C.)					
RL	25	RUDBECKIA LACINIATA	CONEFLOWER	2" PLUG	SHOWY FLOWERING PERENNIAL

REVISIONS:

NO	BY	DATE	DESCRIPTION
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11	KE	4/20/20	REV LANDSCAPE PLAN
12	MB	9/08/20	REV LANDSCAPE PLAN
13	PB	7/27/21	NOI SUBMISSION
14	MB	08/31/22	NOI SUBMISSION
15	MB	10/26/22	PER REVIEW COMMENTS
16	MB	11/01/22	REV PARKING



2 SHRUB PLANTING DETAIL
NOT TO SCALE



1 TREE PLANTING DETAIL
NOT TO SCALE

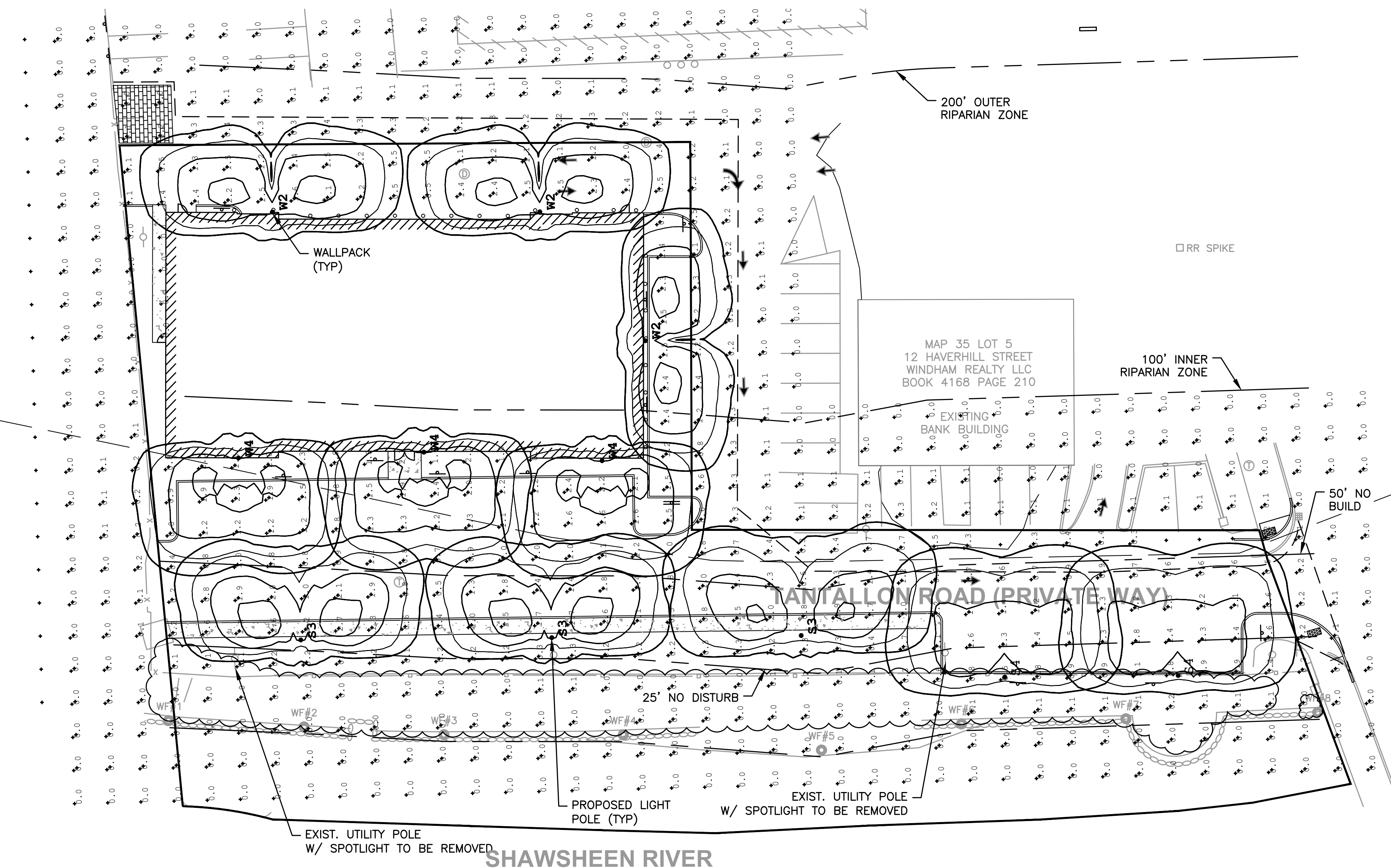
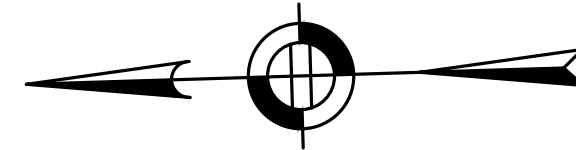
SITE PLAN

LANDSCAPE PLAN

DATE: 10-24-2017
PROJECT NUMBER: 17024
DESIGNED BY: TM
DRAWN BY: TM
CHECKED BY: KE



NOTE: THIS LIGHTING PLAN SHOWS PROPOSED ILLUMINATION LEVELS CALCULATED BY THE NOTED LIGHTING DESIGNER USING DATA PROVIDED BY THE NOTED LUMINAIRE MANUFACTURER. ACTUAL ILLUMINATION LEVELS IN THE FIELD MAY VARY DUE TO EQUIPMENT MANUFACTURING TOLERANCES, INSTALLATION METHODS, AND OTHER FIELD CONDITIONS. THIS LIGHTING PLAN USES A LIGHT LOSS FACTOR (LLF) OF 0.9 FOR THE PROPOSED LED LUMINAIRES IN AN EFFORT TO MODEL THE MATURE LIGHTING PROFILE OF THE LUMINAIRE. THIS LIGHTING PLAN SHOWS ONLY THE PROPOSED LOCATIONS AND TYPES OF LUMINAIRES; ASSOCIATED REQUIREMENTS SUCH AS POWER, CONDUITS, WIRING, OTHER ELECTRICAL FEATURES, AND FOUNDATIONS ARE THE RESPONSIBILITY OF OTHERS.



Symbol	Qty	Label	Arrangement	Description
⊙	3	S3	Single	SIG2-III-48VLED-NW-350-HS-PT / RNTS124-11-PT27
⊙	2	S4	Single	SIG2-IV-48VLED-NW-350-HS-PT / RNTS124-11-PT27
⊙	3	W2	Single	SIG2-II-48VLED-NW-350-HS-WM / WALL MTD 10' AFG
⊙	3	W4	Single	SIG2-IV-48VLED-NW-350-HS-WM / WALL MTD 10' AFG

StatArea 1
SOUTHERN PARKING LOT
Illuminance (Fc)
Average = 1.00
Maximum = 1.8
Minimum = 0.3
Avg/Min Ratio = 3.33
Max/Min Ratio = 6.00

StatArea 2
PARKING AREA WEST OF BUILDING
Illuminance (Fc)
Average = 1.36
Maximum = 2.4
Minimum = 0.5
Avg/Min Ratio = 2.72
Max/Min Ratio = 4.80



SOLID STATE AREA LIGHTING

SIGMA SERIES-LED

SPECIFICATIONS

HOUSING
Heavy cast low copper aluminum assembly (A356 alloy, <0.2% copper). Minimum wall thickness is .188". Traditional styling of the housing provided with cast aluminum housing top hinges for easy access.

LED OPTICAL MODULE
Low copper A356 alloy (<0.2% copper) cast aluminum housing, integrated clear tempered 3/16" glass lens sealed with a continuous silicone gasket protects emitters (LED's) and emitter Reflector-Prism optics, and seals the module from water intrusion and environmental contaminants. LED's are available in standard Neutral White (4000K), or optional Cool White (5000K) or Warm White (3000K). Each emitter is optically controlled by a Reflector-Prism injection molded from H12 acrylic (3 types per module; one from 0° - 50°, one from 50° - 65°, one from 65° - 72°). Each Reflector-Prism has indexing pins for aiming and is secured to an optical plate made of matte black anodized aluminum. The optical plate locates every Reflector-Prism over an emitter. Reflector-Prisms are secured to the optical plate with a UV curing adhesive. The Reflector-Prisms are arrayed to produce IES type II, III, IV, and V-SQ distributions. The entire Optical Module is field rotatable in 90° increments. Both module and drivers are factory wired using water resistant, insulated cord. Lens, module and drivers are field replaceable.

LED EMITTERS
High Output LED's are driven at 350mA for nominal 1 Watt output each. LED's are available in standard Neutral White (4000K), or optional Cool White (5000K) or Warm White (3000K). Consult Factory for 347-480VAC. Driver is mechanically fastened to a retaining bracket. Main power quick disconnect provided. Driver has a minimum 4KV of internal surge protection, 10KV & 20KV Surge Protector optional. Dimming and High-Low Driver options available.

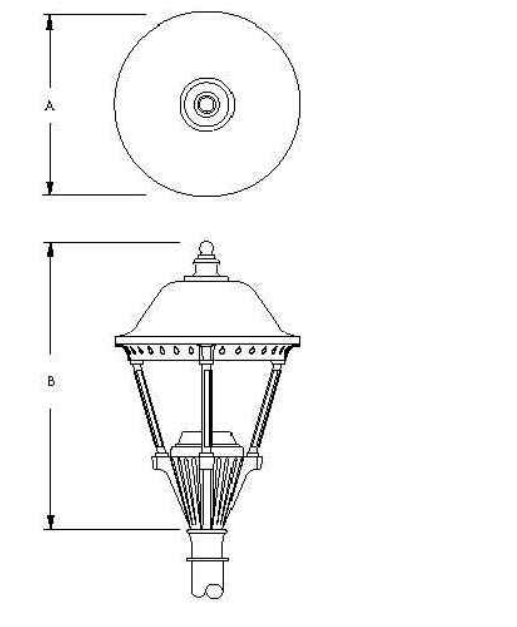
LED DRIVER
UL and CUL recognized High Power Factor, Constant Current LED drivers operate on input voltages from 120-277VAC, 50/60Hz. Consult Factory for 347-480VAC. Driver is mechanically fastened to a retaining bracket. Main power quick disconnect provided. Driver has a minimum 4KV of internal surge protection, 10KV & 20KV Surge Protector optional. Dimming and High-Low Driver options available.

FINISH
Electrostatically applied TGIC Polyester Powder Coat on substrate prepared with 20 PSI power wash at 140°F. Four step iron phosphate pretreatment for protection and paint adhesion. 400°F bake for maximum hardness and durability. Texture finish is standard.

PROJECT NAME: _____
FIGURE TYPE: _____



SIGMA



Filter supplied to fit over 2 7/8" X 3" (73mm X 76mm) lens.

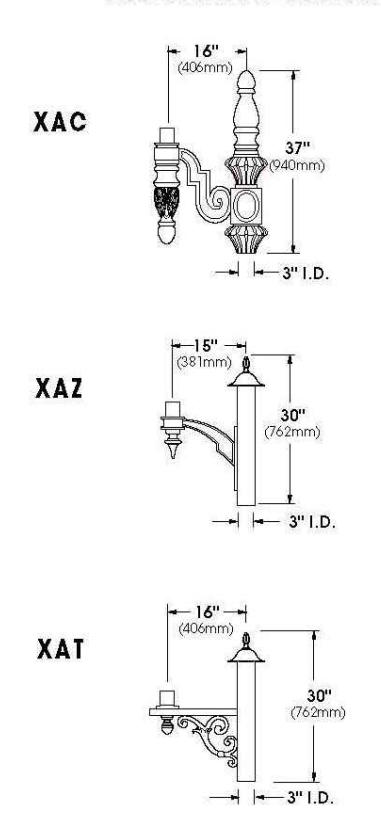
FIGURE	A	B
SIG1	24"	37"
	450mm	940mm
SIG2	18.5"	28"
	469mm	711mm



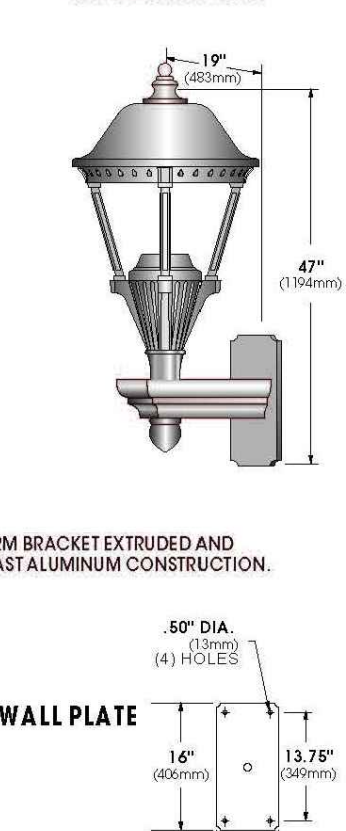
SIGMA SERIES - LED

SPECIFICATIONS

MOUNTING STYLES



WALL MOUNT



LED MODULES



ORDERING INFORMATION

LUMINAIRE	OPTICS	LED	MOUNTING	FINISH	OPTIONS
LUMINAIRE	LED'S DISTRIBUTION TYPE	NO. LEDS	ARM MOUNT	STANDARD TEXTURED FINISH	INTERNAL HOUSE SIDE SHIELD - IH
<input type="checkbox"/> SIG1	<input type="checkbox"/> VLED-II (Type 1)	<input type="checkbox"/> SIG1	<input type="checkbox"/> PT	<input type="checkbox"/> BLACK RAL-9005-T	<input type="checkbox"/> EXTERNAL HOUSE SIDE SHIELD - EHS
<input type="checkbox"/> SIG2	<input type="checkbox"/> VLED-III (Type 2)	<input type="checkbox"/> 100LED (100 LEDs)	<input type="checkbox"/> 2-180	<input type="checkbox"/> WHITE RAL-9003-T	<input type="checkbox"/> DIMMABLE DRIVERS (0-10V)
	<input type="checkbox"/> VLED-IV (Type 3)	<input type="checkbox"/> 80LED (80 LEDs)	<input type="checkbox"/> 2-90	<input type="checkbox"/> GREY RAL-7004-T	<input type="checkbox"/> HIGH C/W DRIVING FOR HAZARDOUS SWITCHING OR NON-INCANDESCENT MOTOR SENSORS
	<input type="checkbox"/> VLED-V (Type 4)	<input type="checkbox"/> 64LED (64 LEDs)	<input type="checkbox"/> 3-120	<input type="checkbox"/> DARK BRONZE RAL-8019-T	<input type="checkbox"/> PHOTO CELL VOLTAGE (EXAMPLE: PCS30)
	<input type="checkbox"/> VLED-VSQ (Type 5)	<input type="checkbox"/> 48LED (48 LEDs)	<input type="checkbox"/> 4-90	<input type="checkbox"/> GREEN RAL-6005-T	<input type="checkbox"/> 10KV SURGE PROTECTOR
		<input type="checkbox"/> SIG2	<input type="checkbox"/> WALL MOUNT	FOR SMOOTH FINISH REMOVE SURF-TX (EXAMPLE: RAL-9003)	<input type="checkbox"/> 20KV SURGE PROTECTOR (20KV & 48V ONLY) - 20SP
		<input type="checkbox"/> 48LED (48 LEDs)			
		<input type="checkbox"/> 64LED (64 LEDs)			



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NO	BY	DATE	DESCRIPTION
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15	MB	10/26/22	PER REVIEW COMMENTS
16	MB	11/01/22	REV PARKING

SITE PLAN

LIGHTING PLAN

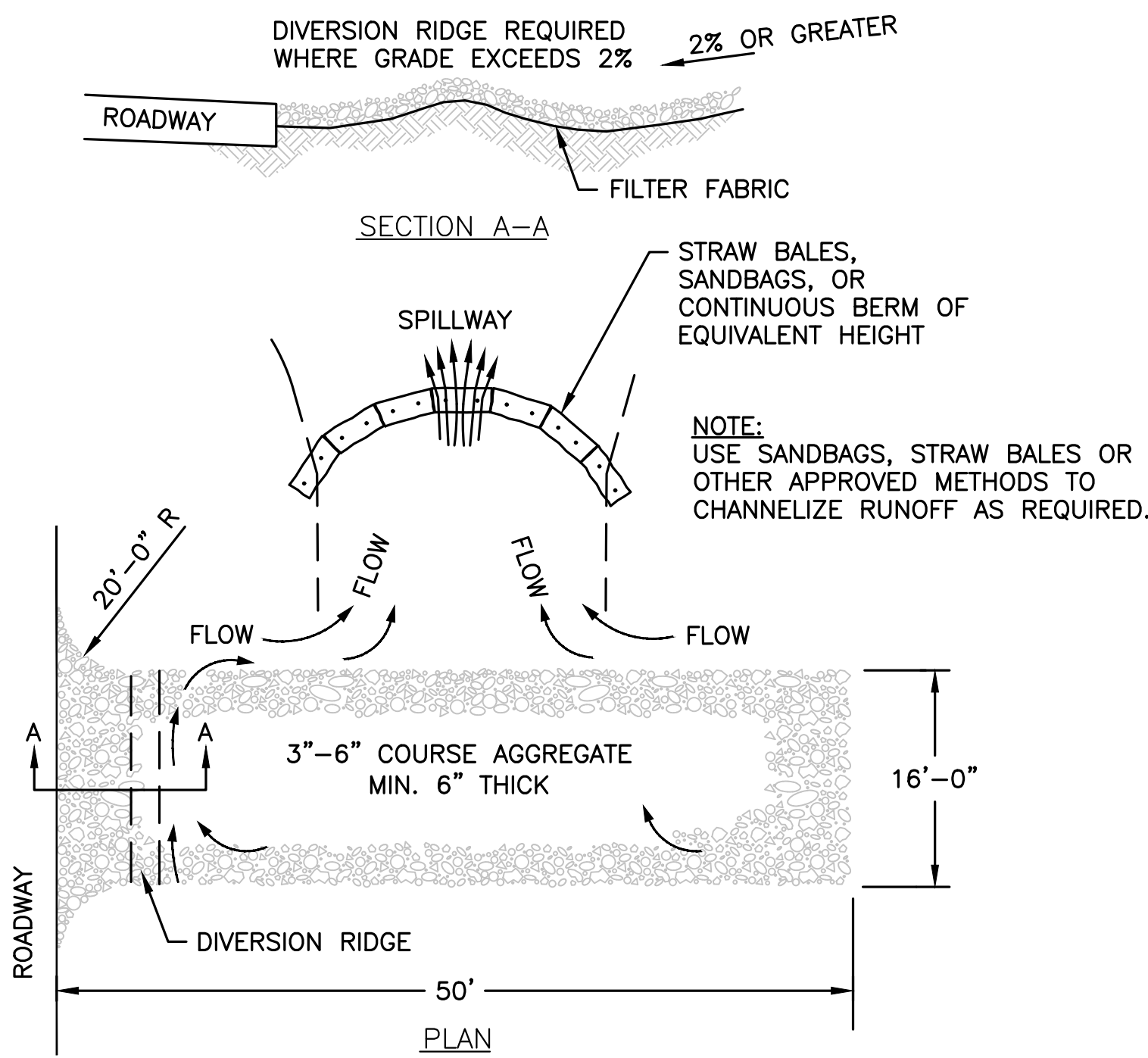
DATE: 10-24-2017
PROJECT NUMBER: 17024
DESIGNED BY: TM
DRAWN BY: TM
CHECKED BY: KE

EROSION AND SEDIMENT CONTROL NOTES

1. EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED AND UPGRADED AS NECESSARY DURING CONSTRUCTION BY THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND INSTALL ADDITIONAL CONTROL MEASURES AS NEEDED DURING CONSTRUCTION.
2. ALL CATCH BASINS RECEIVING DRAINAGE FROM THE PROJECT SITE MUST BE PROVIDED WITH A CATCH BASIN FILTER.
3. STABILIZATION OF ALL RE-GRADED AND SOIL STOCKPILE AREAS MUST BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
4. SEDIMENT REMOVED FROM EROSION AND SEDIMENT CONTROL DEVICES MUST BE PROPERLY REMOVED AND DISPOSED OF IN A LEGAL MANNER. ALL DAMAGED CONTROLS MUST BE REMOVED AND REPLACED.
5. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL PLAN. THIS INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFYING THE PROPER TOWN DEPARTMENT(S) OF ANY TRANSFER OF THIS RESPONSIBILITY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING WIND EROSION AND DUST THROUGHOUT THE LIFE OF HIS CONTRACT. DUST CONTROL MAY INCLUDE, BUT IS NOT LIMITED TO, SPRINKLING OF WATER ON EXPOSED SOILS AND STREET SWEEPING ADJACENT ROADWAYS.
7. IF FINAL GRADING IS TO BE DELAYED FOR MORE THAN 21 DAYS AFTER LAND DISTURBANCE ACTIVITIES CEASE, TEMPORARY VEGETATION OR MULCH SHALL BE USED TO STABILIZE SOILS WITHIN 14 DAYS OF THE LAST DISTURBANCE.
8. IF A DISTURBED AREA WILL BE EXPOSED FOR GREATER THAN ONE YEAR, PERMANENT GRASSES OR OTHER APPROVED COVER MUST BE INSTALLED.
9. THE CONTRACTOR MUST KEEP ON-SITE AT ALL TIMES ADDITIONAL SILT FENCE AND HAY BALES FOR THE INSTALLATION AT THE DIRECTION OF THE ENGINEER OR THE TOWN TO MITIGATE ANY EMERGENCY CONDITION.
10. THE CONSTRUCTION FENCING AND EROSION AND SEDIMENT CONTROLS AS SHOWN MAY NOT BE PRACTICAL DURING ALL STAGES OF CONSTRUCTION. EARTHWORK ACTIVITY ON-SITE MUST BE DONE IN A MANNER SUCH THAT RUNOFF IS DIRECTED TO A SEDIMENT CONTROL DEVICE OR INFILTRATED TO THE GROUND.
11. DEMOLITION AND CONSTRUCTION DEBRIS MUST BE PROPERLY CONTAINED AND DISPOSED OF.
12. DISPOSAL OF ALL DEMOLISHED MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE HAULED OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.

GENERAL CONSTRUCTION SEQUENCE

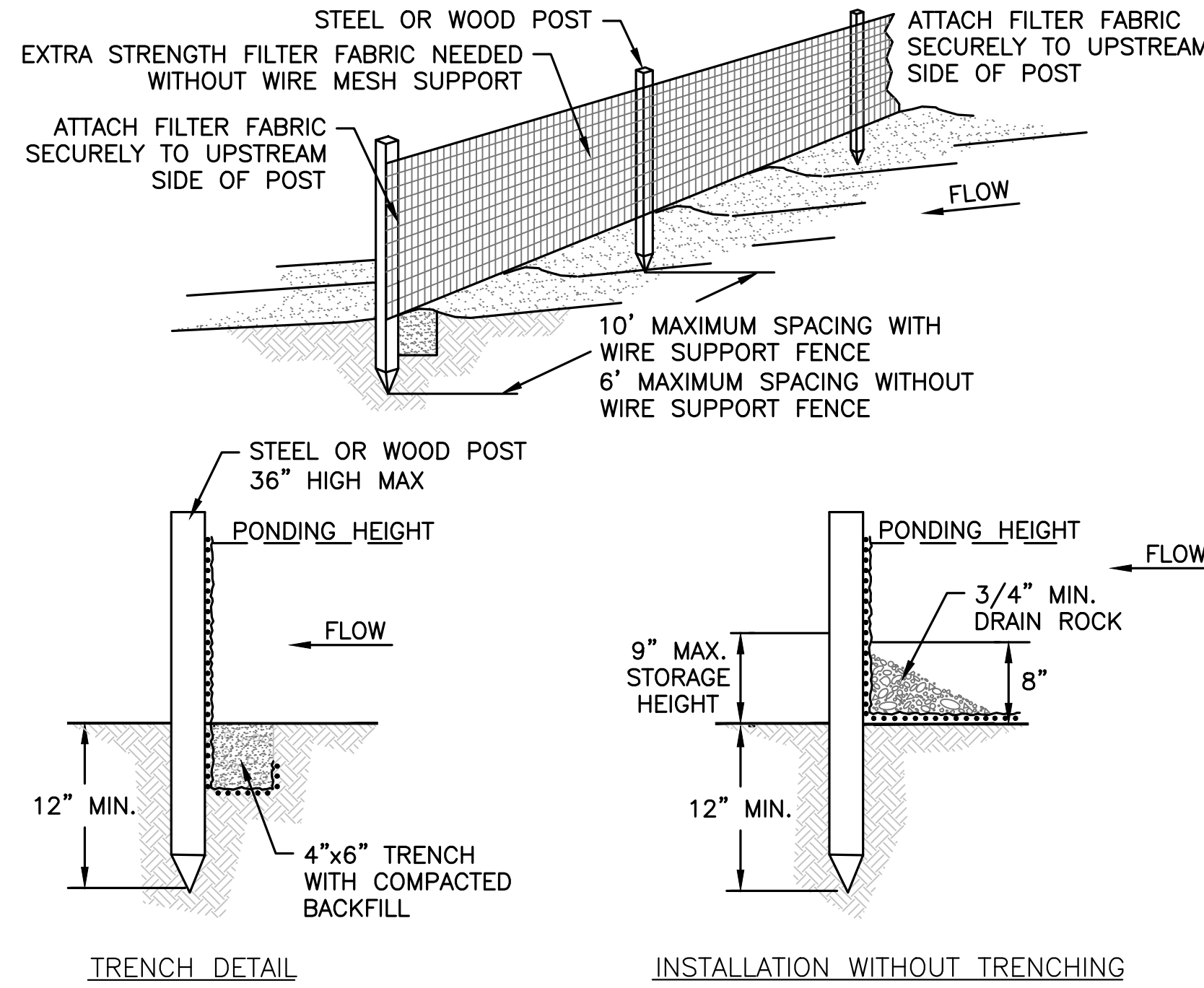
1. INSTALL EROSION AND SEDIMENT CONTROLS PRIOR TO STARTING ANY EARTHWORKS ACTIVITY.
2. INSTALL CONSTRUCTION ENTRANCE.
3. BEGIN BUILDING, PAVEMENT, AND UTILITY DEMOLITION.
4. CONSTRUCT STORMWATER MANAGEMENT SYSTEM AND UTILITY REPLACEMENT/EXTENSIONS.
5. INSTALL SITE FURNISHINGS.
6. INSTALL PAVEMENT AND CURBS.
7. INSTALL LANDSCAPING.
8. EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED UNTIL PERMANENT COVER IS ESTABLISHED, AND THE AUTHORIZATION TO REMOVE SUCH CONTROLS HAS BEEN ISSUED IN WRITING BY THE TOWN OF ANDOVER CONSERVATION DEPARTMENT.



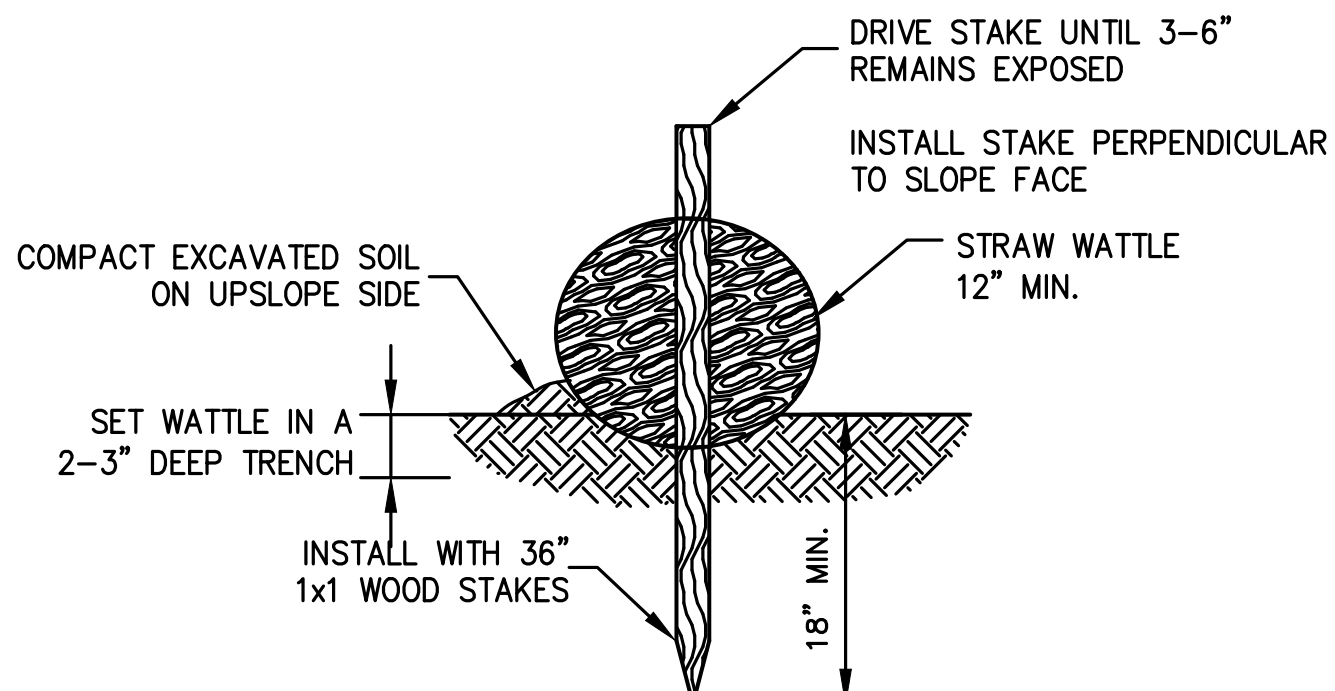
NOTES:

1. THIS ENTRANCE SHALL BE ADJUSTED IN SIZE AND LOCATED ON THE SITE BY THE CONTRACTOR, IN COORDINATION WITH THE TOWN OF ANDOVER CONSERVATION DEPARTMENT. SITE CIRCULATION FOR ADJACENT BUSINESSES SHALL BE MAINTAINED AT ALL TIMES.
2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
3. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
4. TEMPORARY CONSTRUCTION ENTRANCE SHALL BE APPLIED WHERE NECESSARY TO KEEP PUBLIC WAYS FREE OF SEDIMENT INCLUDING STAGING AREAS

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

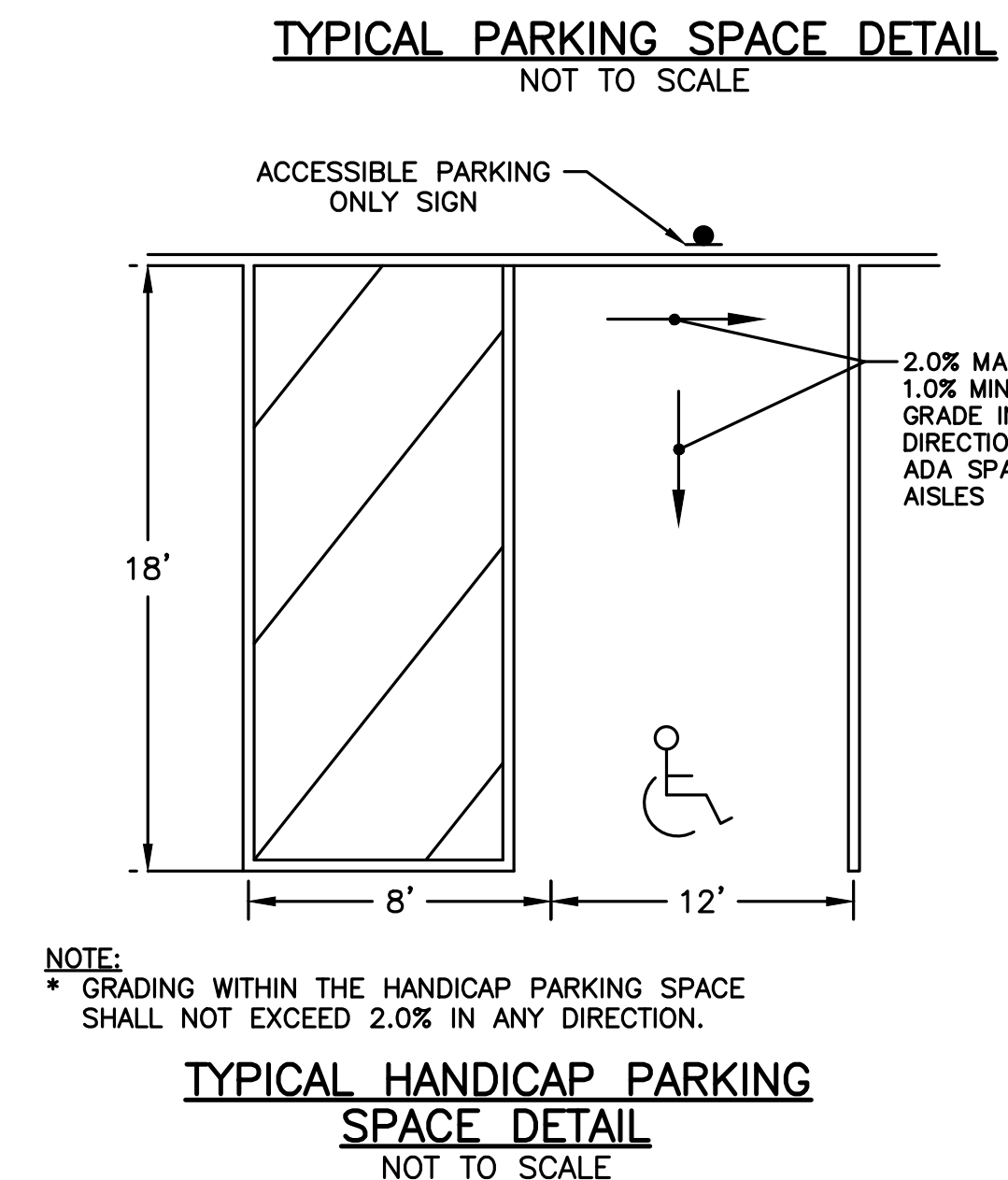
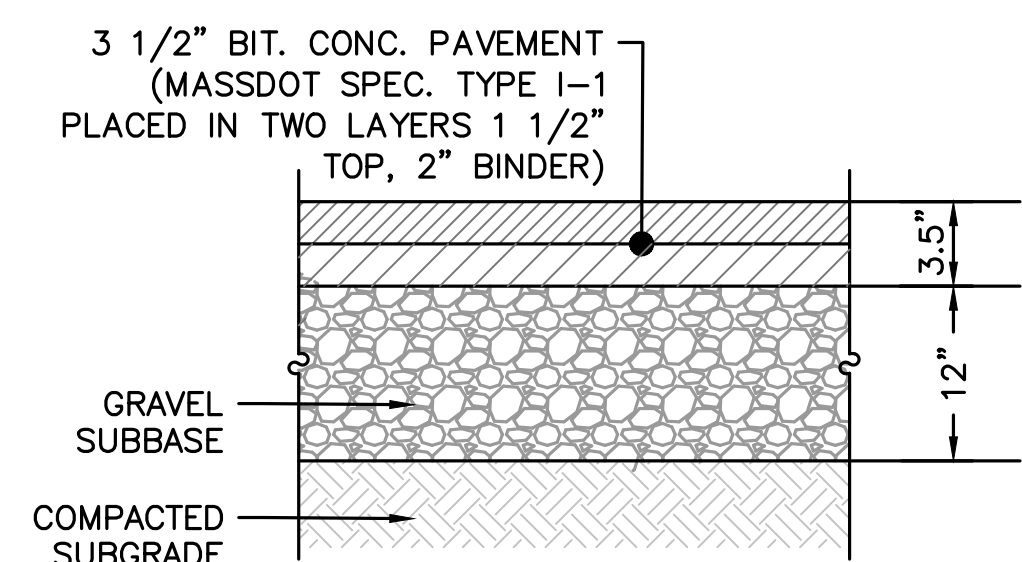
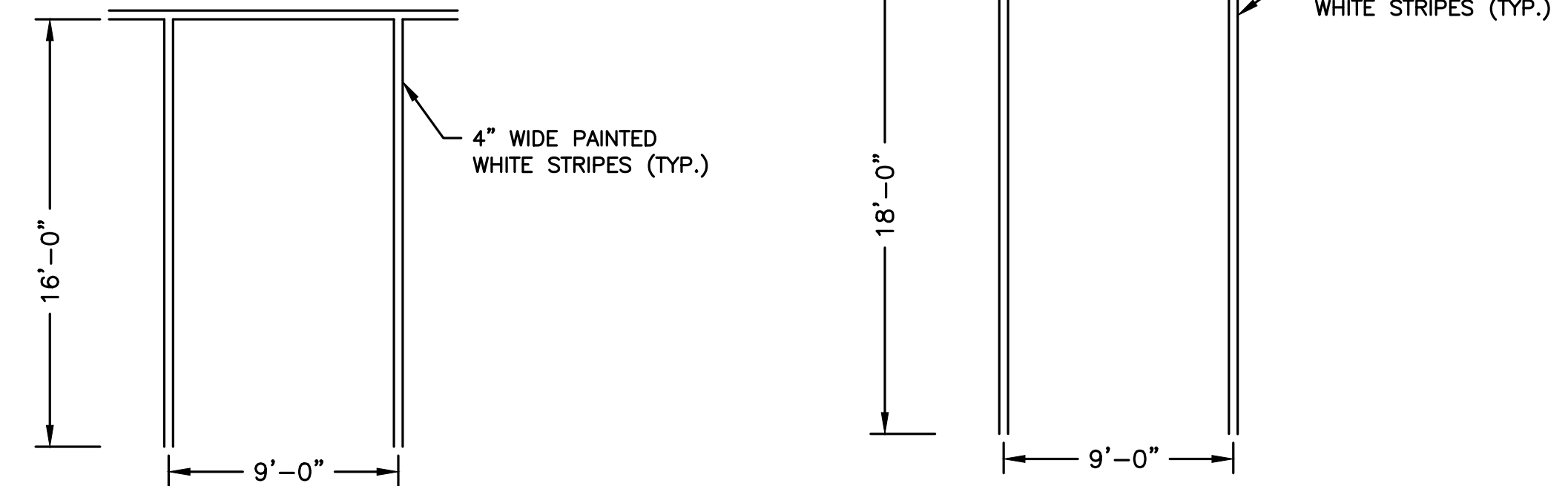
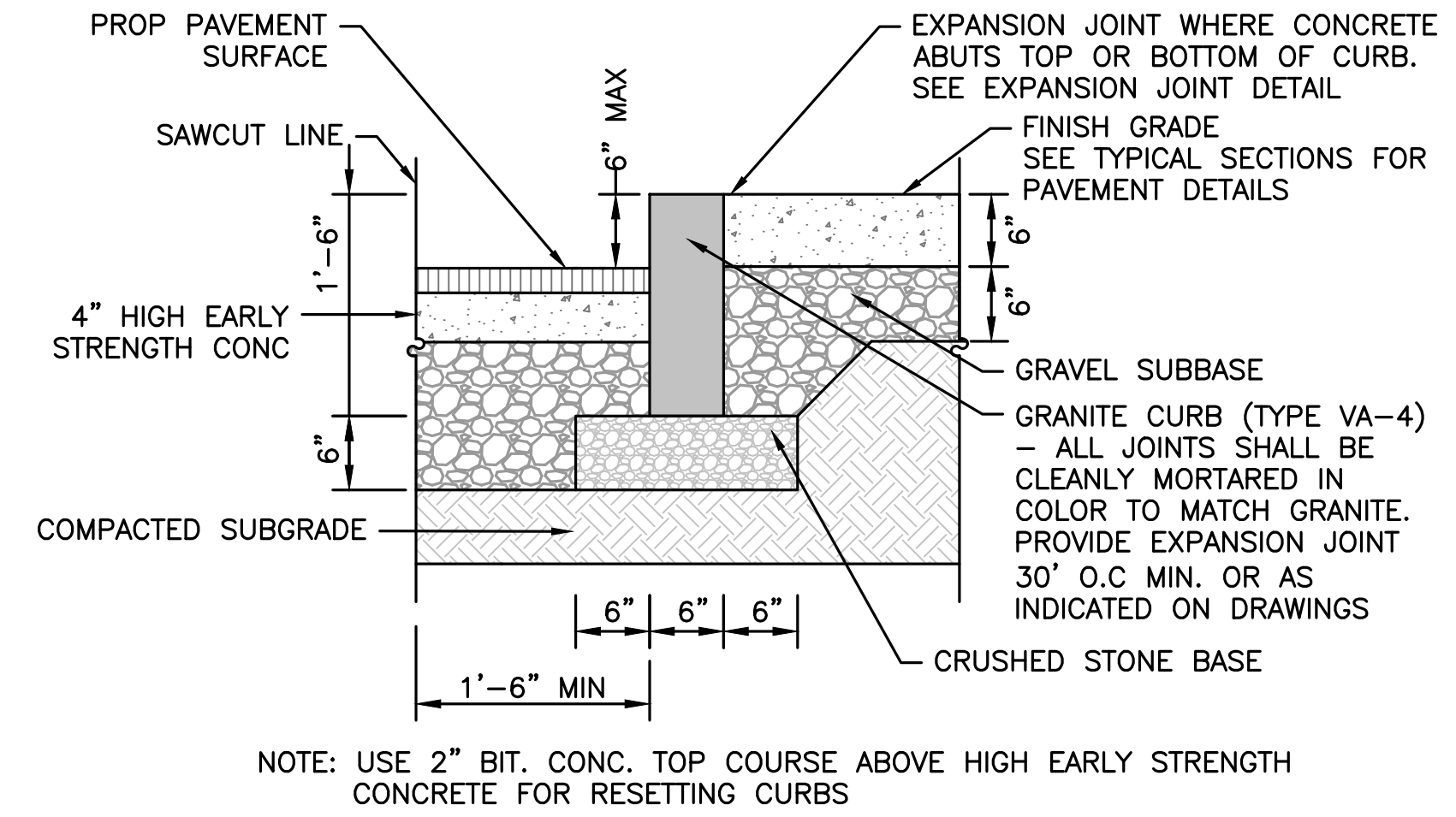
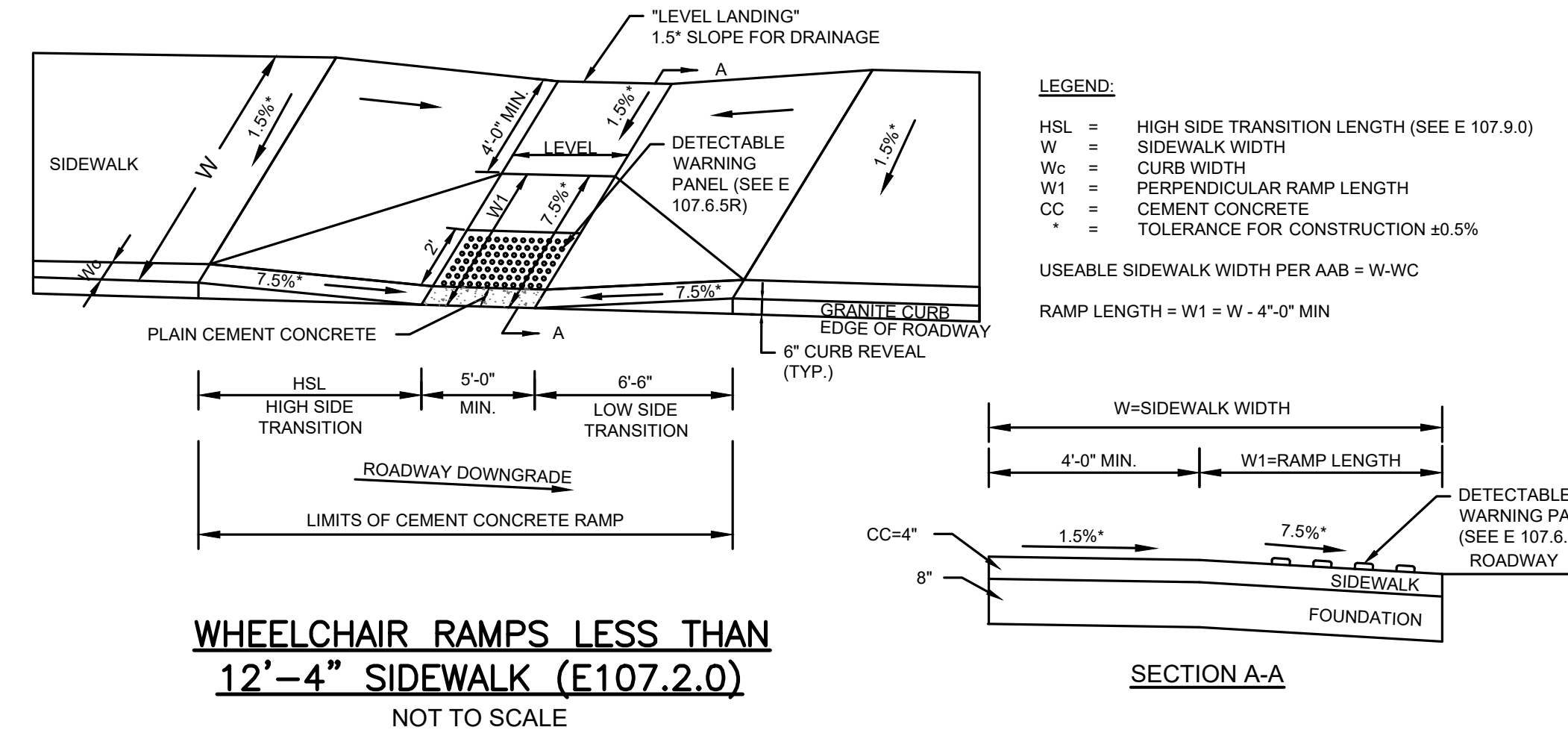


SILT FENCE BARRIER
NOT TO SCALE



1. BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2-3"(5-7.5 CM) DEEP X 9"(22.9 CM) WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP-SLOPE FROM THE ANCHOR TRENCH.
2. PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
3. SECURE THE WATTLE WITH 18-24" (45.7-61 CM) STAKES EVERY 3-4' (0.9 - 1.2 M) AND WITH A STAKE ON EACH END. (STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2-3" (5-7.5 CM) OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.

STRAW WATTLE DETAIL
NOT TO SCALE



PREPARED FOR:
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7 Tantalton Road
Andover, MA 01810

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15	MB	10/26/22	PER REVIEW COMMENTS
16	MB	11/01/22	REV PARKING



SITE PLAN

DETAIL SHEET 1 OF 4

DATE: 10-24-2017
PROJECT NUMBER: 17024
DESIGNED BY: TM
DRAWN BY: TM
CHECKED BY: KE



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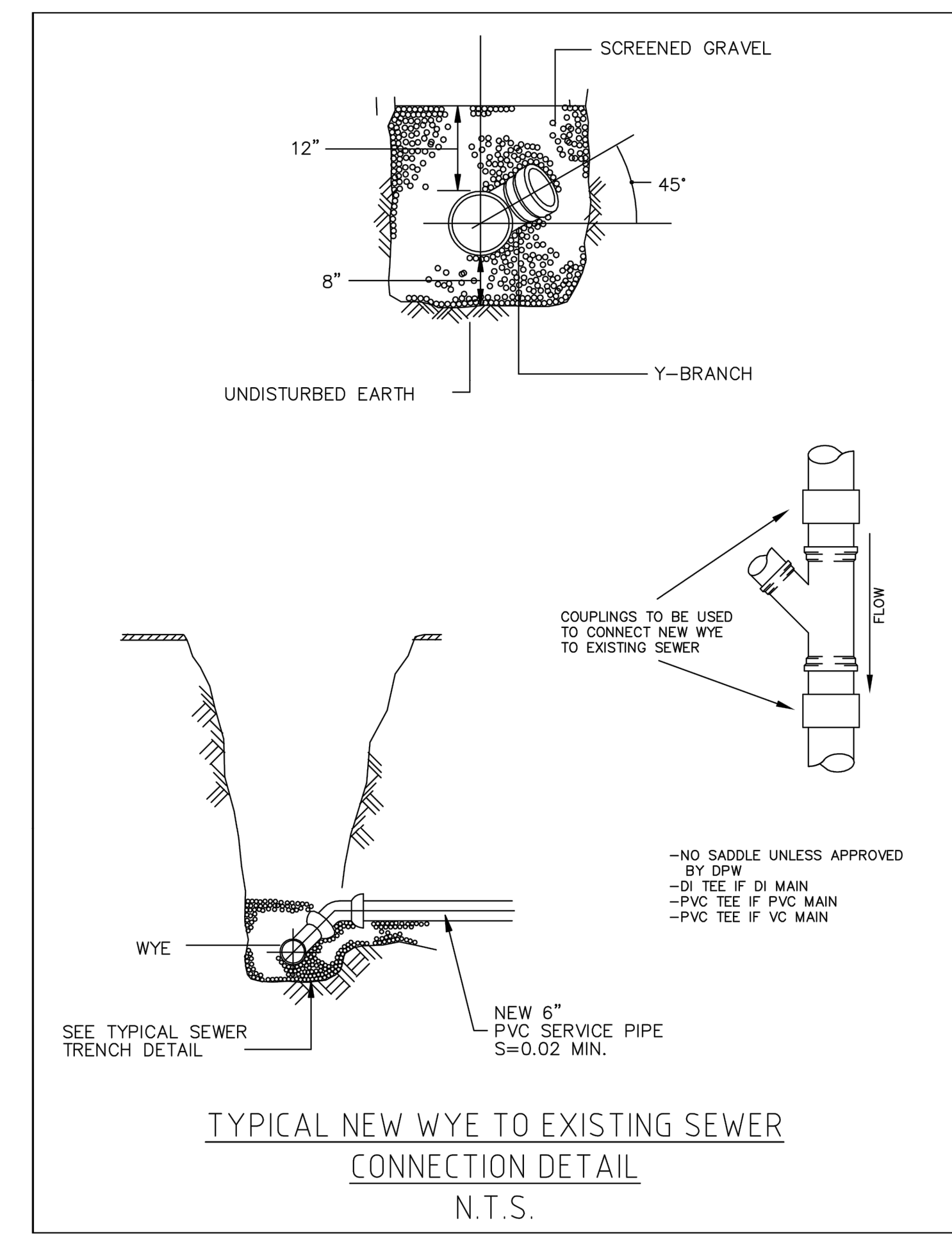
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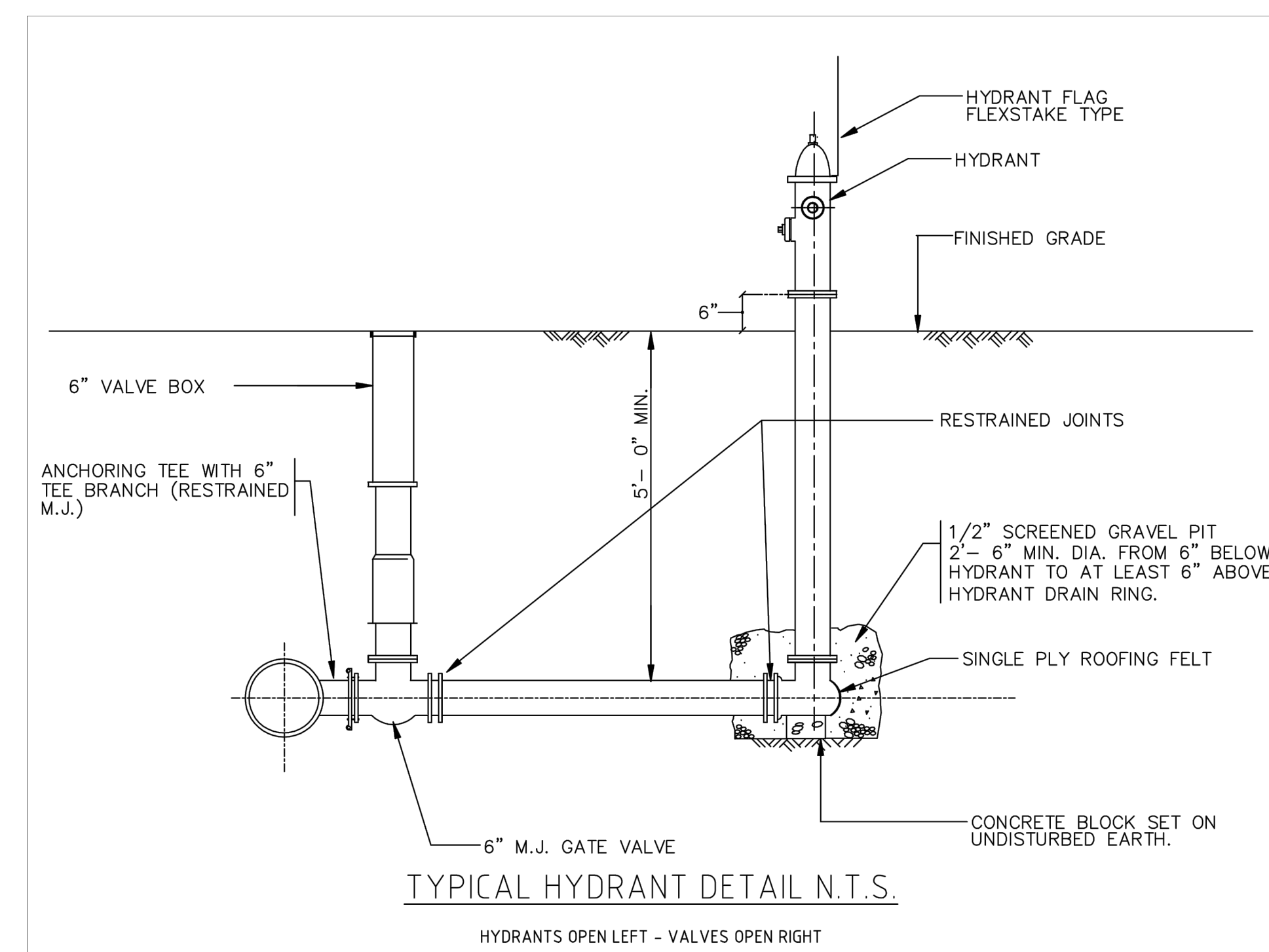
SITE PLAN

DETAIL SHEET
 2 OF 4

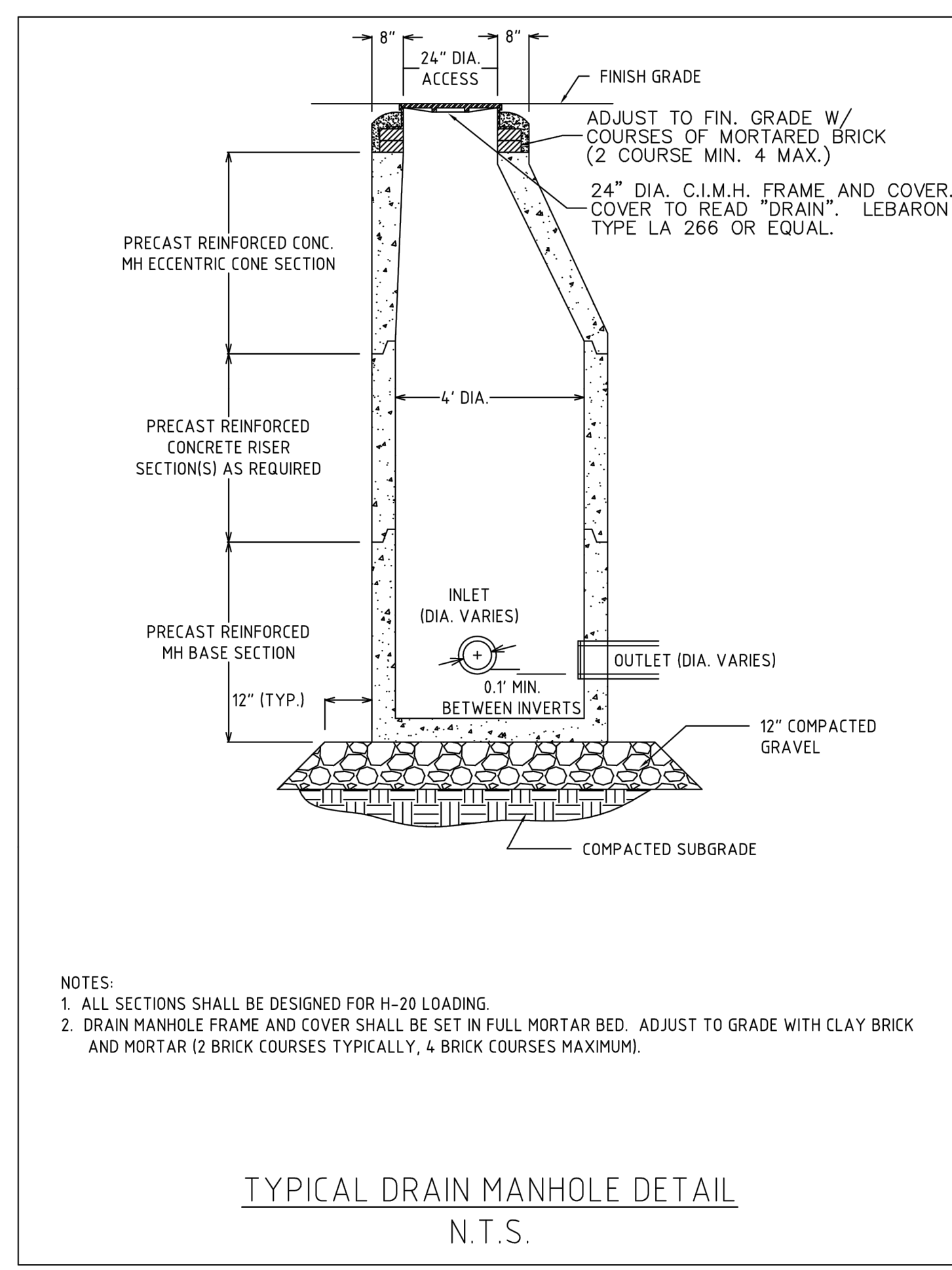
DATE:	10-24-2017
PROJECT NUMBER:	17024
DESIGNED BY:	TM
DRAWN BY:	TM
CHECKED BY:	KE



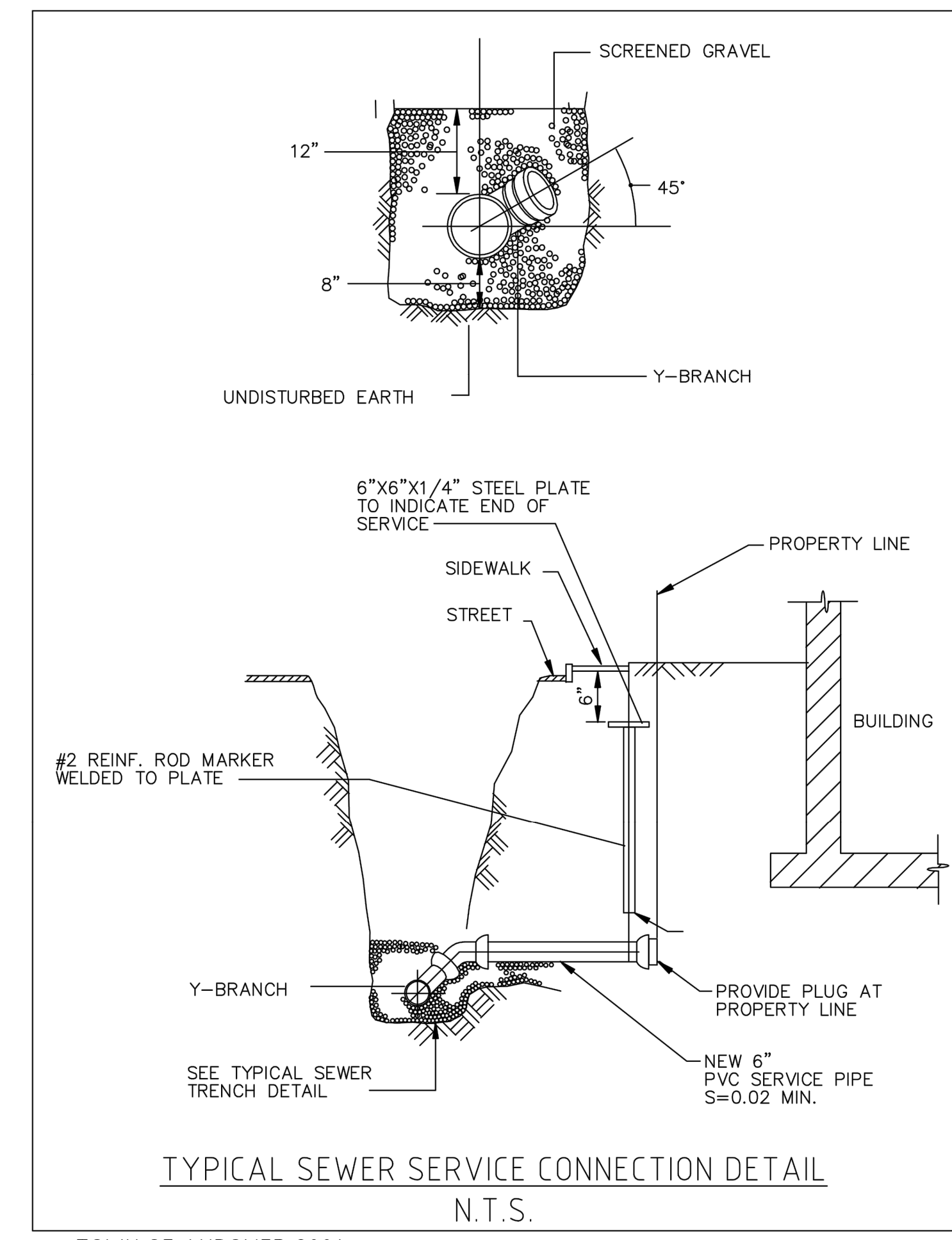
TOWN OF ANDOVER 2013



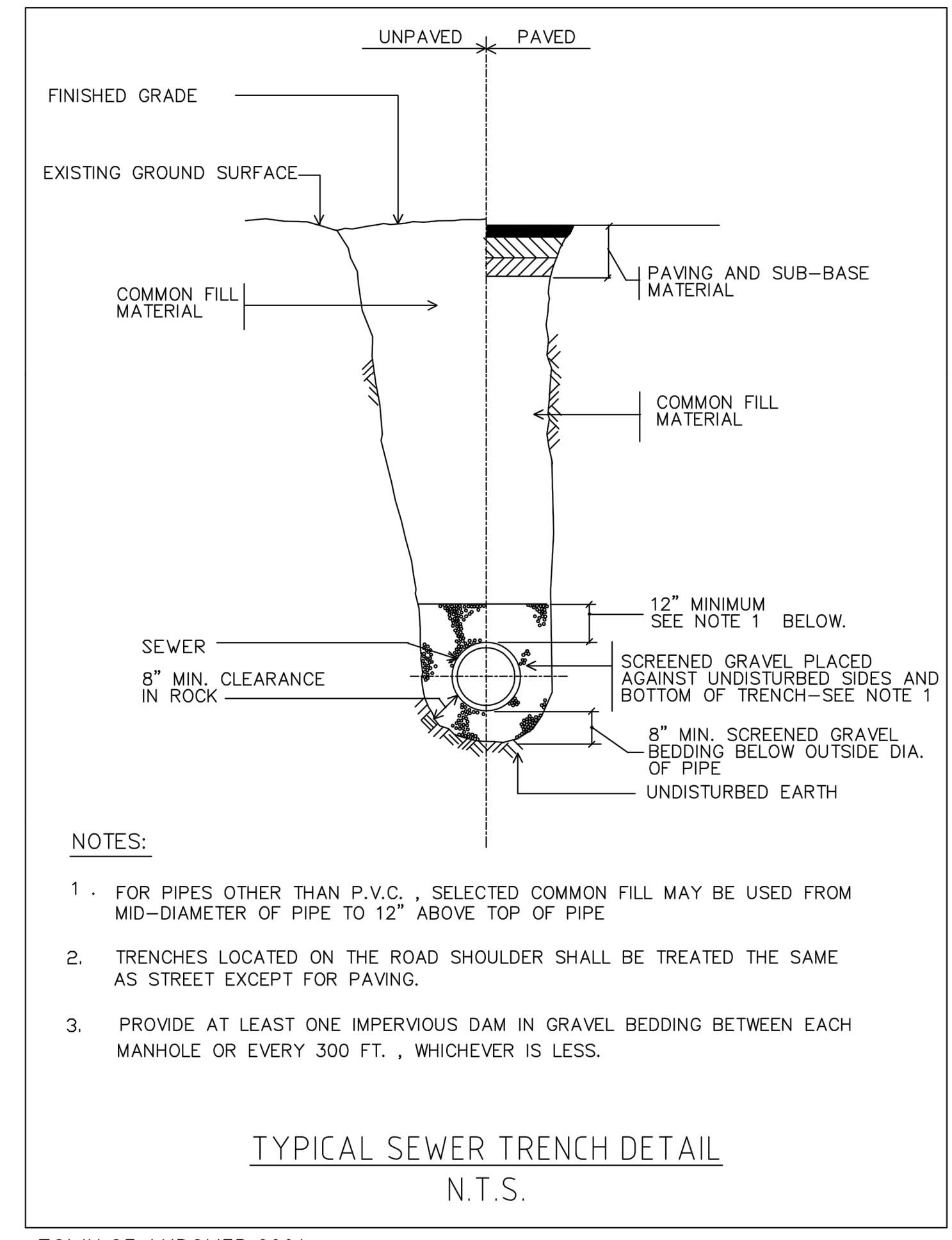
TOWN OF ANDOVER 2013



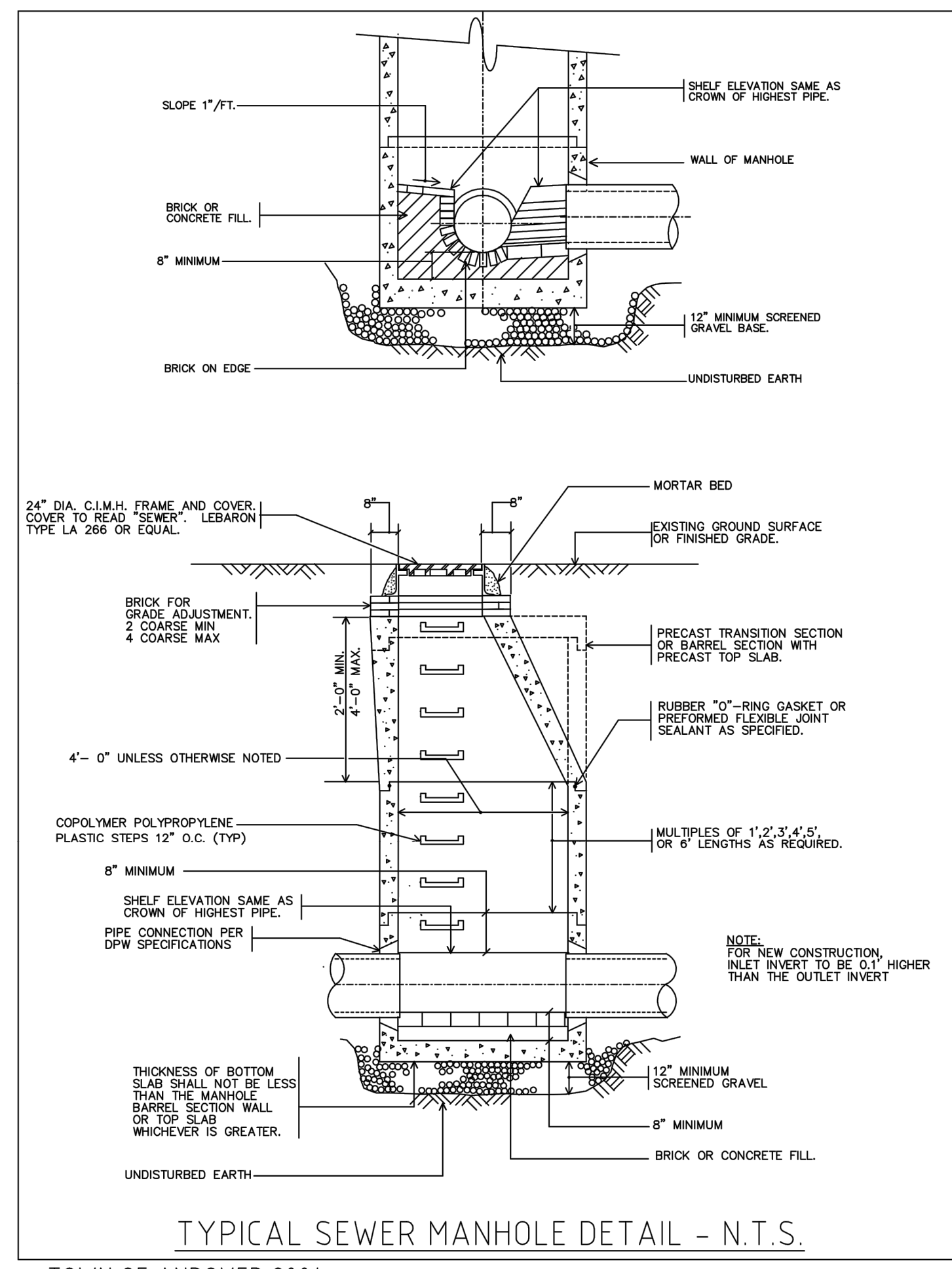
TOWN OF ANDOVER 2004



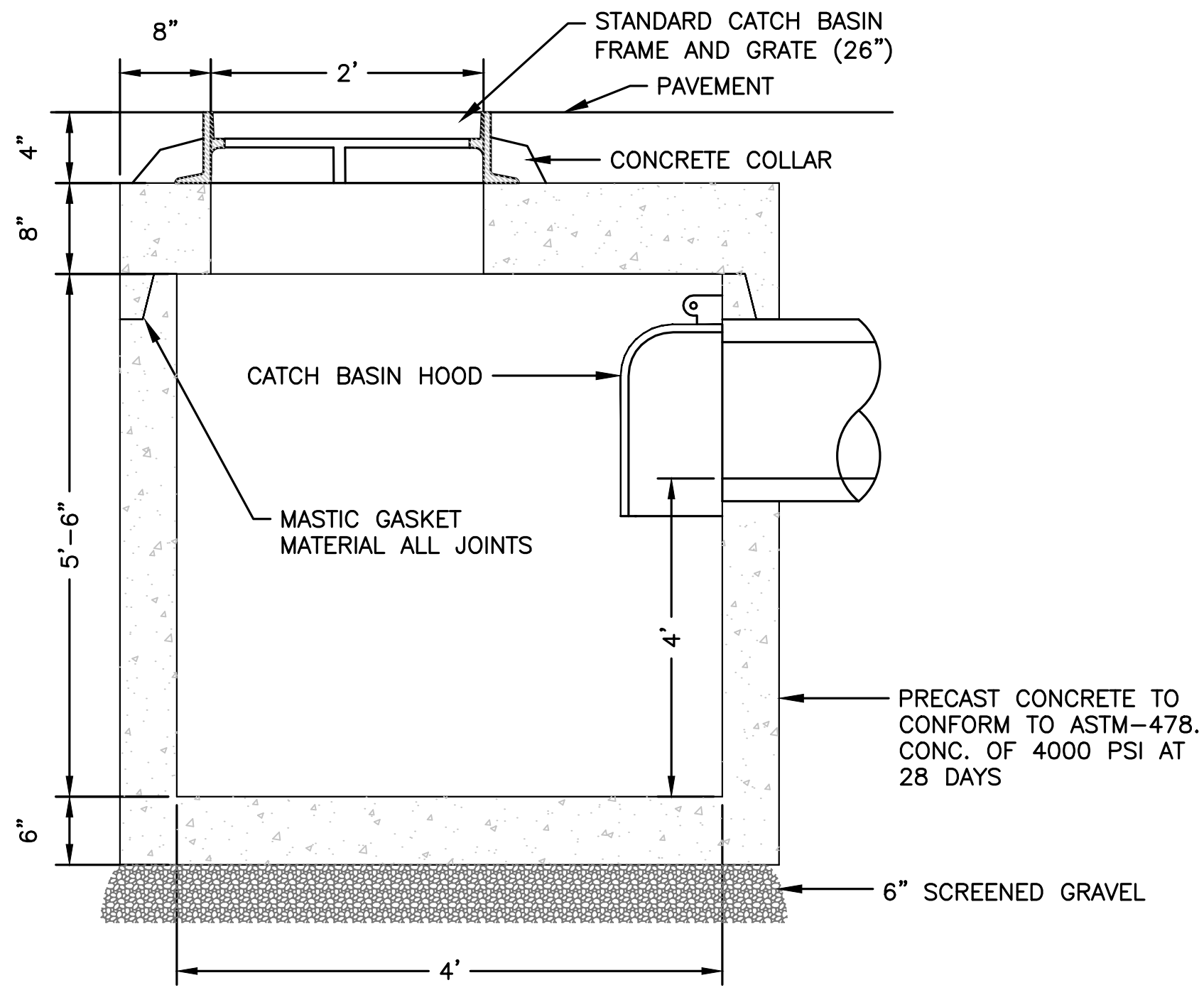
TOWN OF ANDOVER 2004



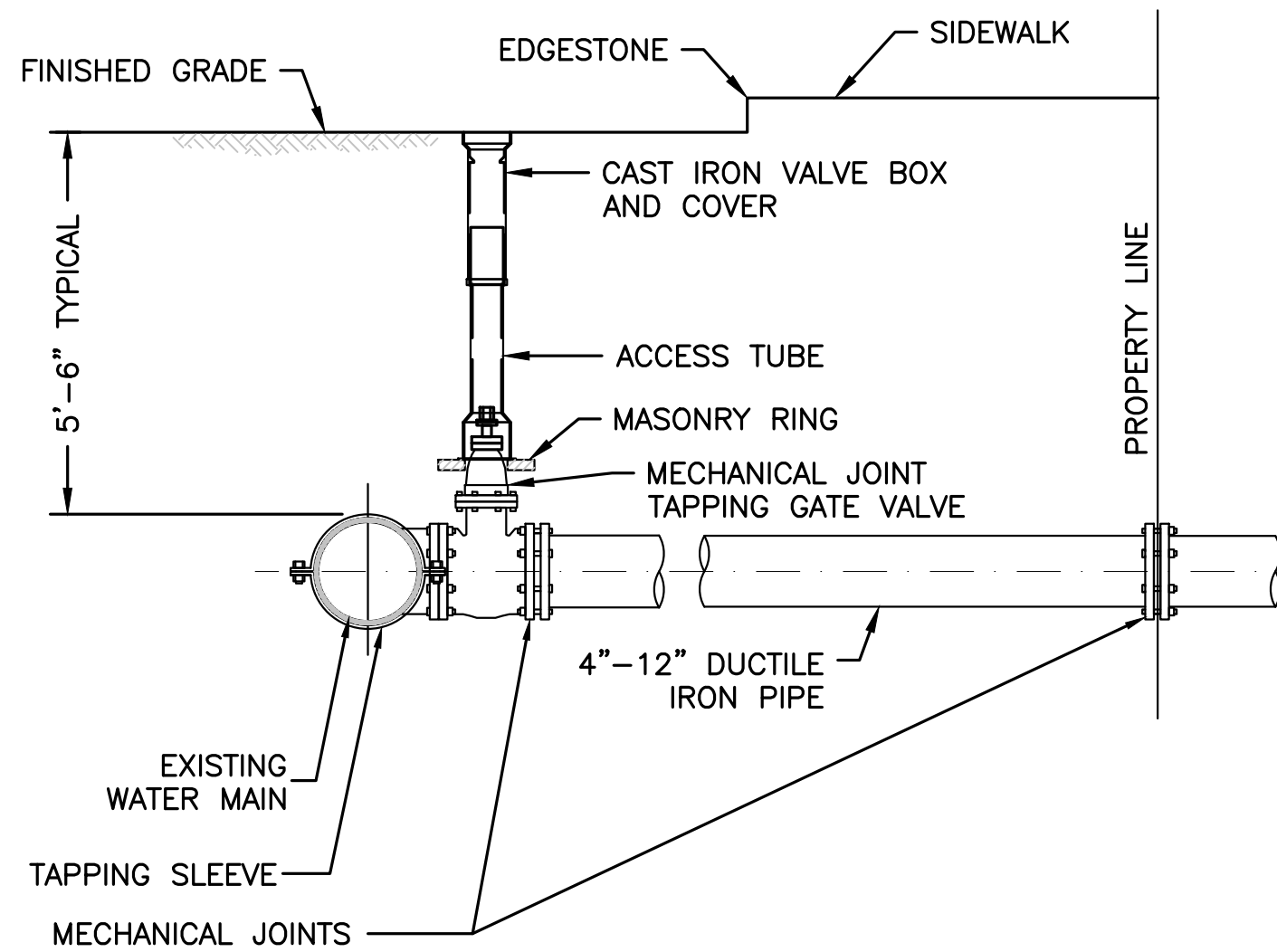
TOWN OF ANDOVER 2004



TOWN OF ANDOVER 2004



SHALLOW CATCH BASIN DETAIL
NOT TO SCALE



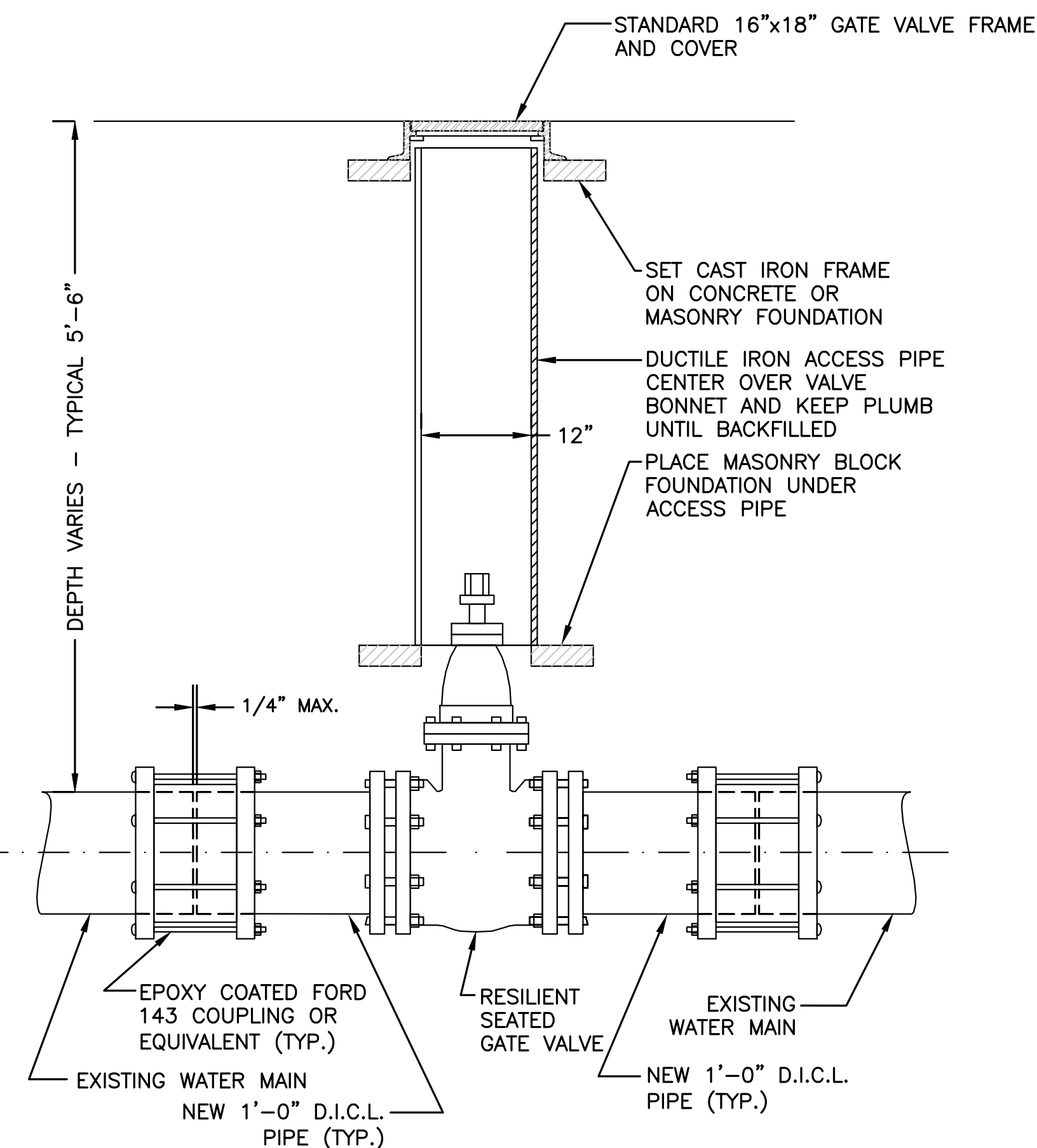
NOTES:

1. CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH.
2. USE RESTRAINED JOINT FITTINGS OR TIE RODS WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE.
3. SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS.

TAPPING SLEEVE & VALVE
NOT TO SCALE



FLOOD SIGNAGE
NOT TO SCALE

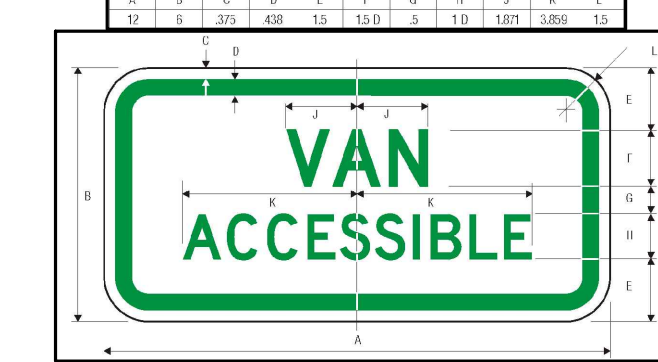


- NOTE:**
1. ALL EXCAVATION AND BACKFILLING AND PAVING SHALL BE IN ACCORDANCE WITH THE CITY OF BOSTON REQUIREMENTS.

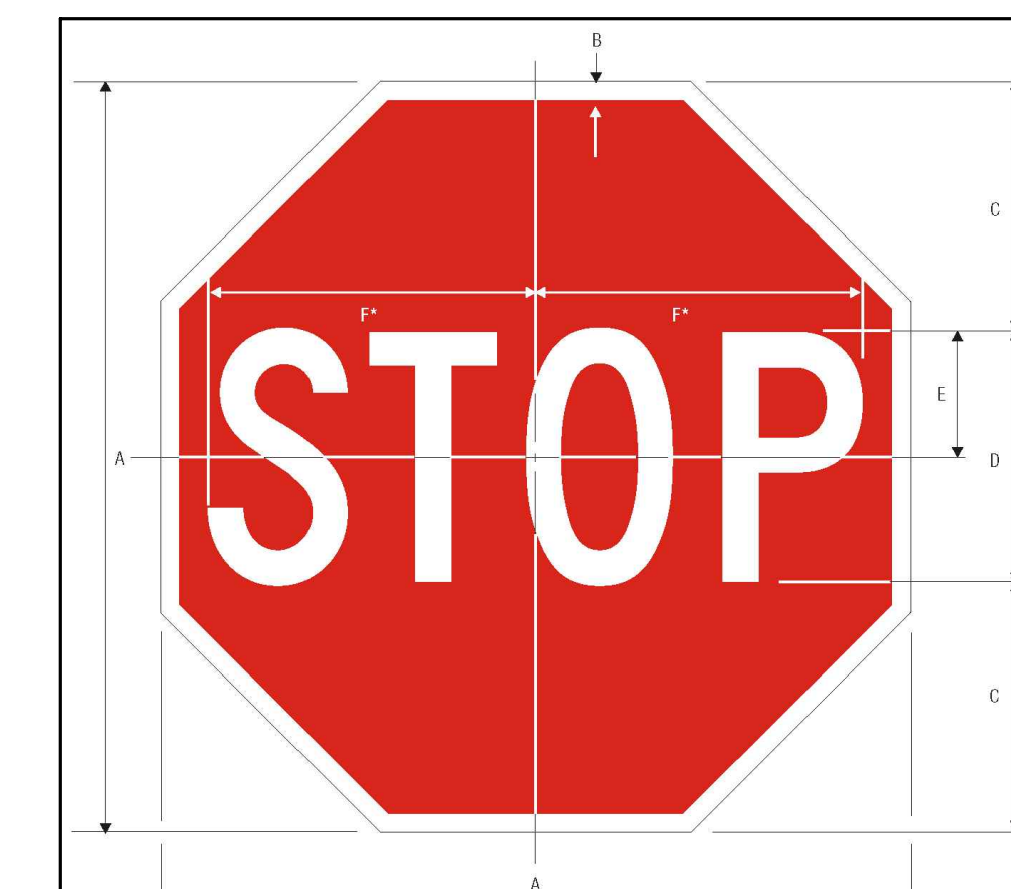
TYPICAL GATE VALVE INSTALLATION
NOT TO SCALE



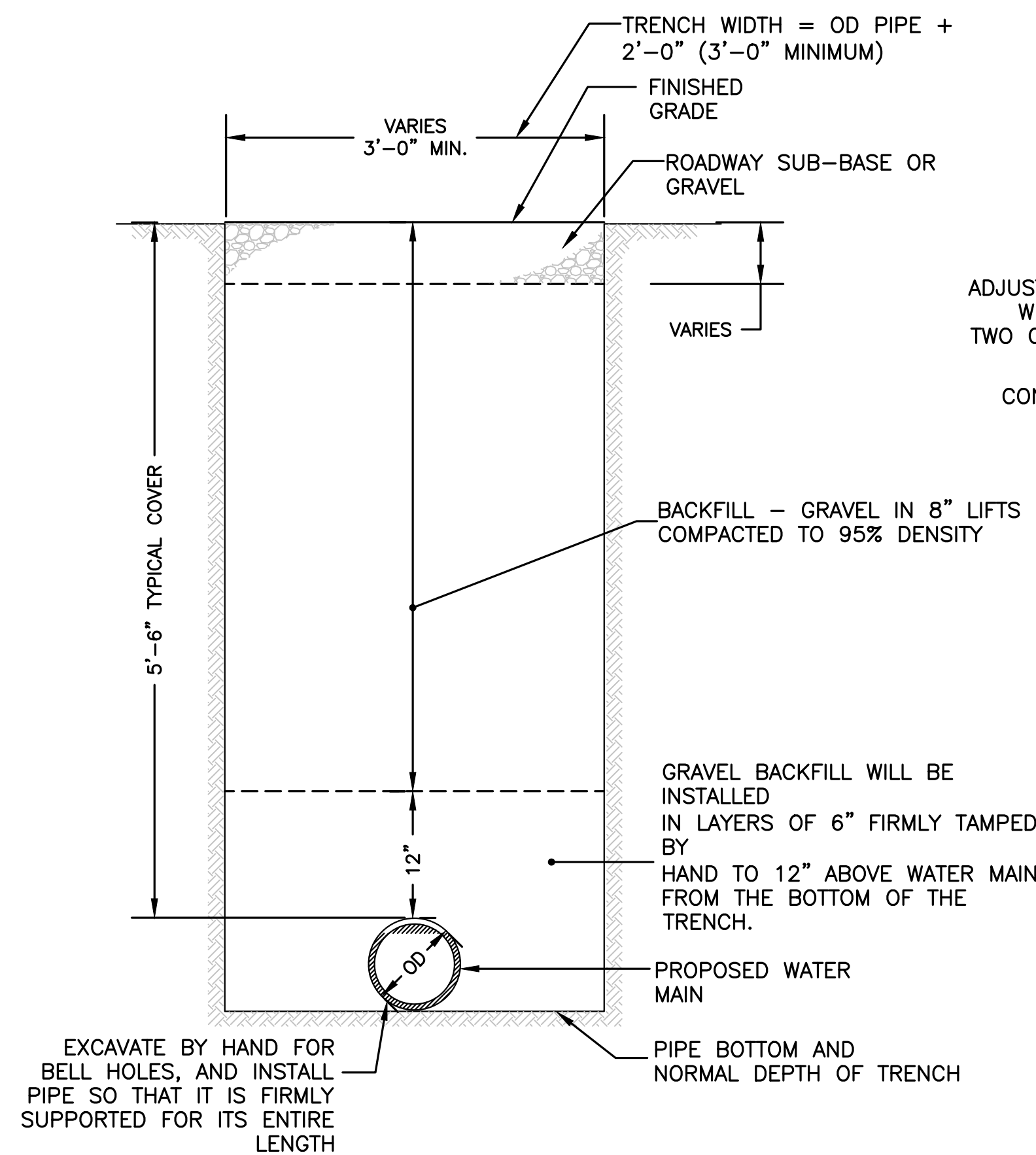
LEGEND - GREEN (RETROREFL), WHITE SYMBOL ON BLUE (RETROREFL) BACKGROUND - WHITE (RETROREFL)



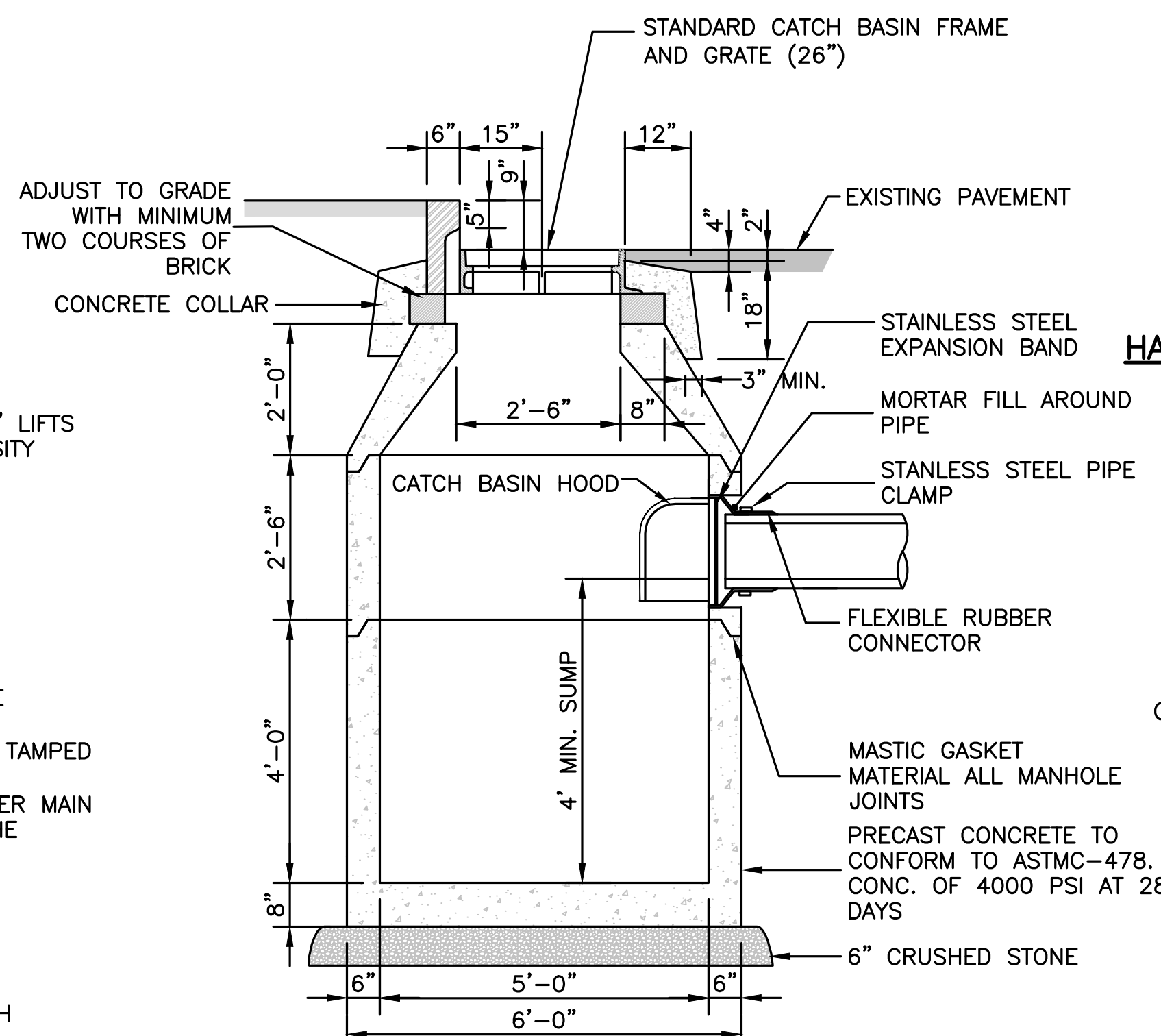
HANDICAP & VAN ACCESSIBLE SIGNS DETAIL
NOT TO SCALE



STOP SIGN R1-1 DETAIL
NOT TO SCALE



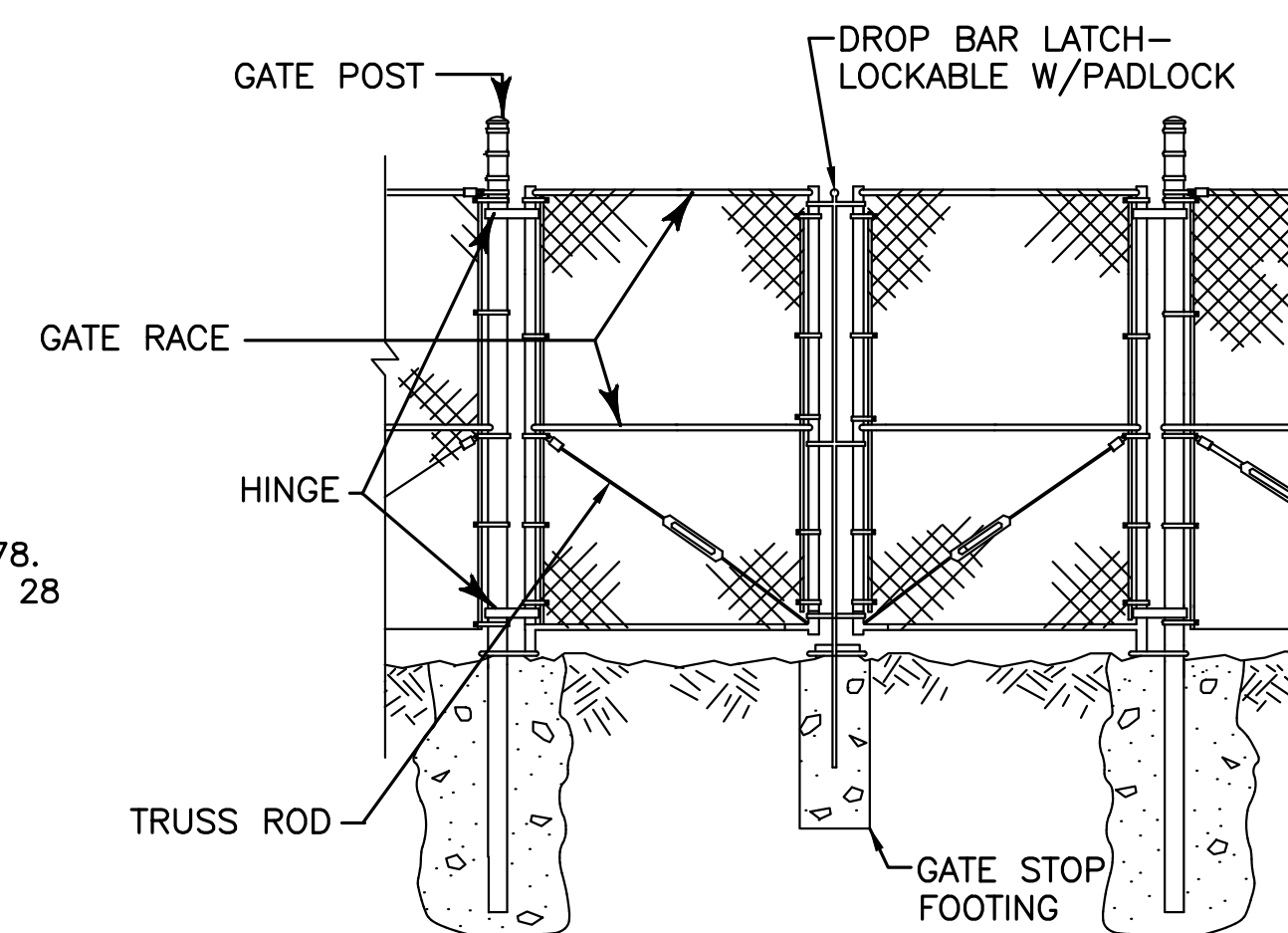
TRENCH DETAIL - WATER MAIN
NOT TO SCALE



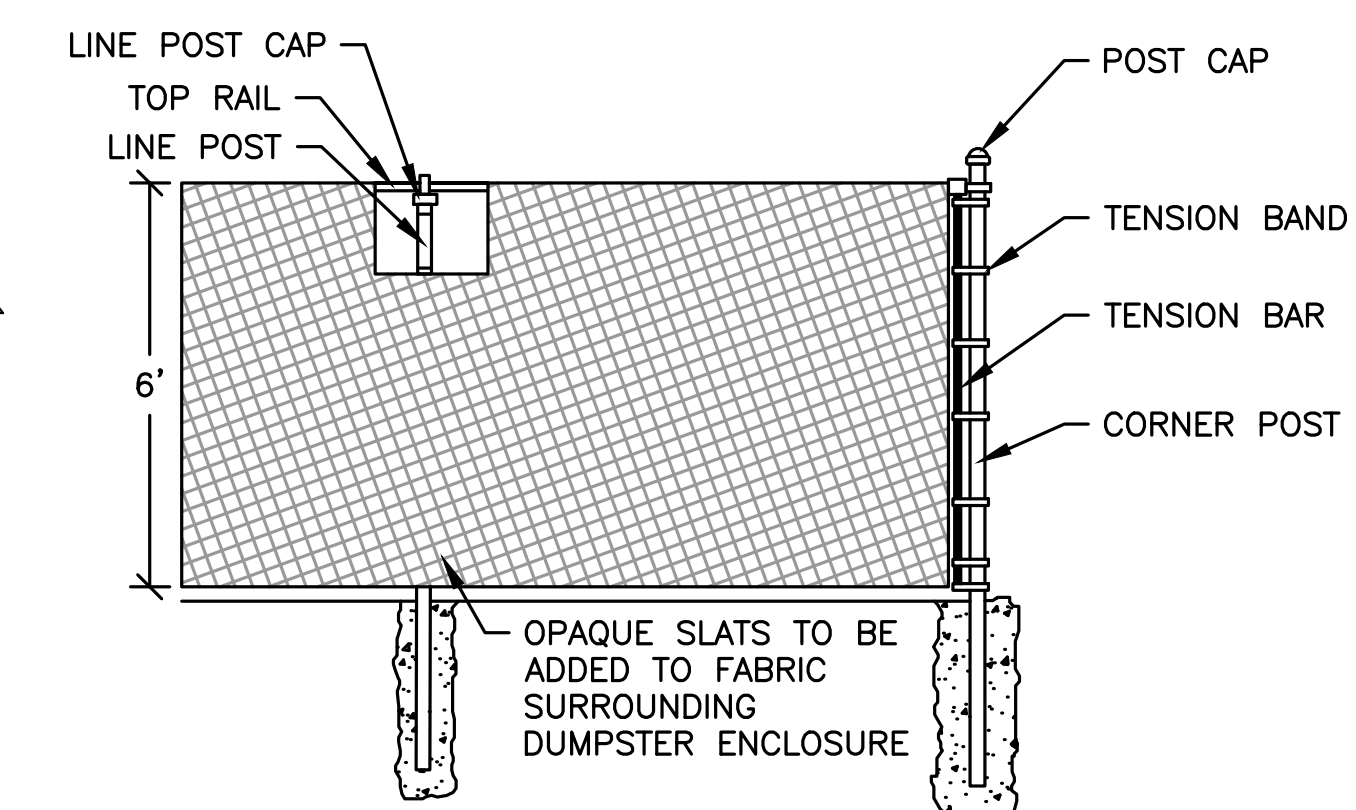
NOTES:

1. ADEQUATE FOR H-20 MINIMUM LOADING.

CATCH BASIN
NOT TO SCALE



CHAIN LINK FENCE DETAIL
NOT TO SCALE



STOP SIGN R1-1 DETAIL
NOT TO SCALE

PREPARED FOR:
Neil Rosenberg
7 Tantalum Road
Andover, MA 01810

**THE TANTALLON
PROPOSED MULTIFAMILY
REDEVELOPMENT PROJECT
7 TANTALLON ROAD
ANDOVER, MA, 01810**

REVISIONS:

NO	BY	DATE	DESCRIPTION
9	PB	8/28/19	PER REVIEW COMMENTS
10	SM	2/17/20	LAYOUT/DRAINAGE REVS.
11	KE	4/20/20	REV LANDSCAPE PLAN
12	MB	9/08/20	REV LANDSCAPE PLAN
13	PB	7/27/21	NOI SUBMISSION
14	MB	08/31/22	NOI SUBMISSION
15	MB	10/26/22	PER REVIEW COMMENTS
16	MB	11/01/22	REV PARKING



SITE PLAN

**DETAIL SHEET
3 OF 4**

DATE:	10-24-2017
PROJECT NUMBER:	17024
DESIGNED BY:	TM
DRAWN BY:	TM
CHECKED BY:	KE

PREPARED FOR:
 Neil Rosenberg
 7 Tantalum Road
 Andover, MA 01810

**THE TANTALLON
 PROPOSED MULTIFAMILY
 REDEVELOPMENT PROJECT**
 7 TANTALLON ROAD
 ANDOVER, MA, 01810

REVISIONS:

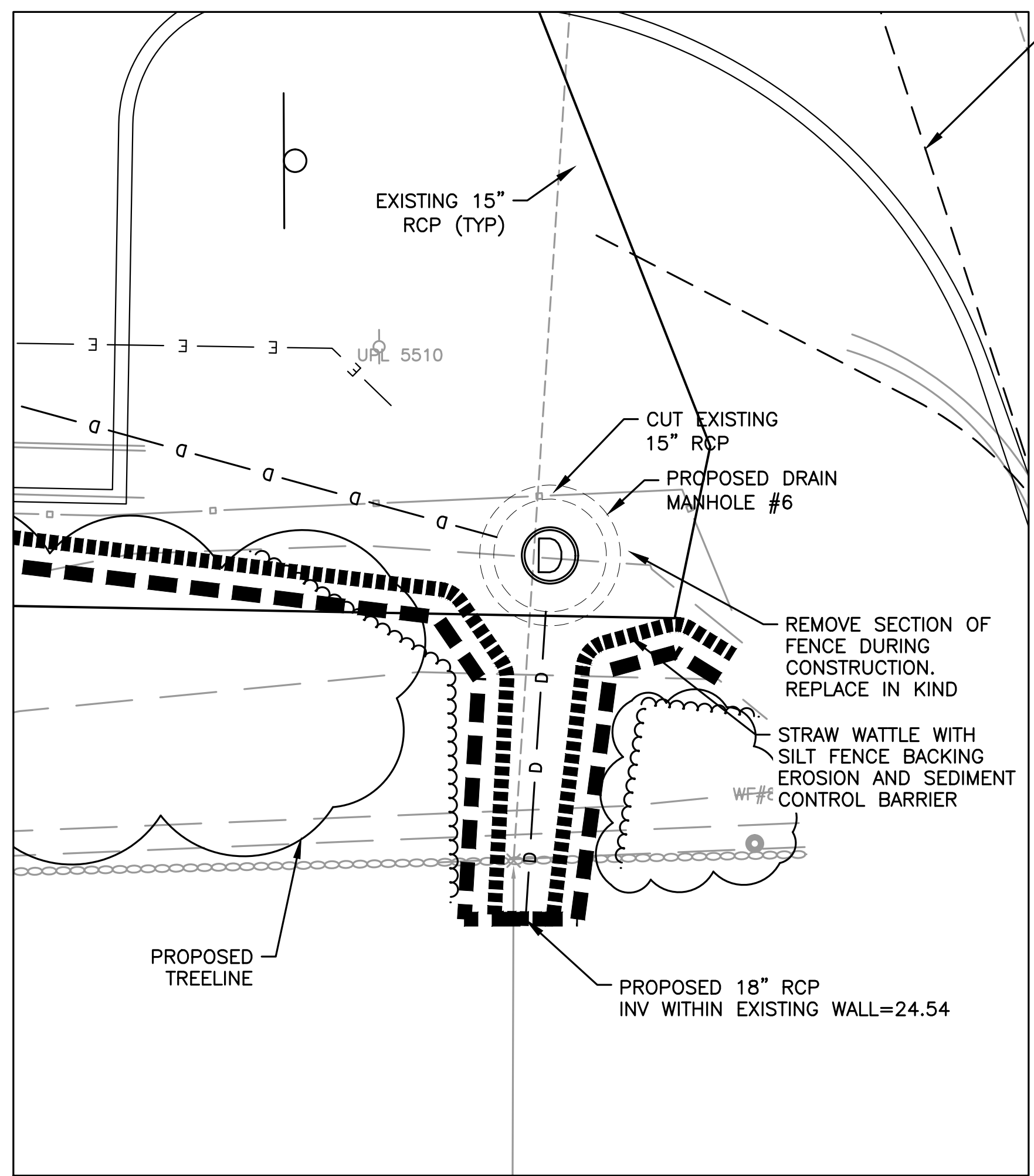
NO	BY	DATE	DESCRIPTION
9	PB	8/28/19	PER REVIEW COMMENTS
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SITE PLAN

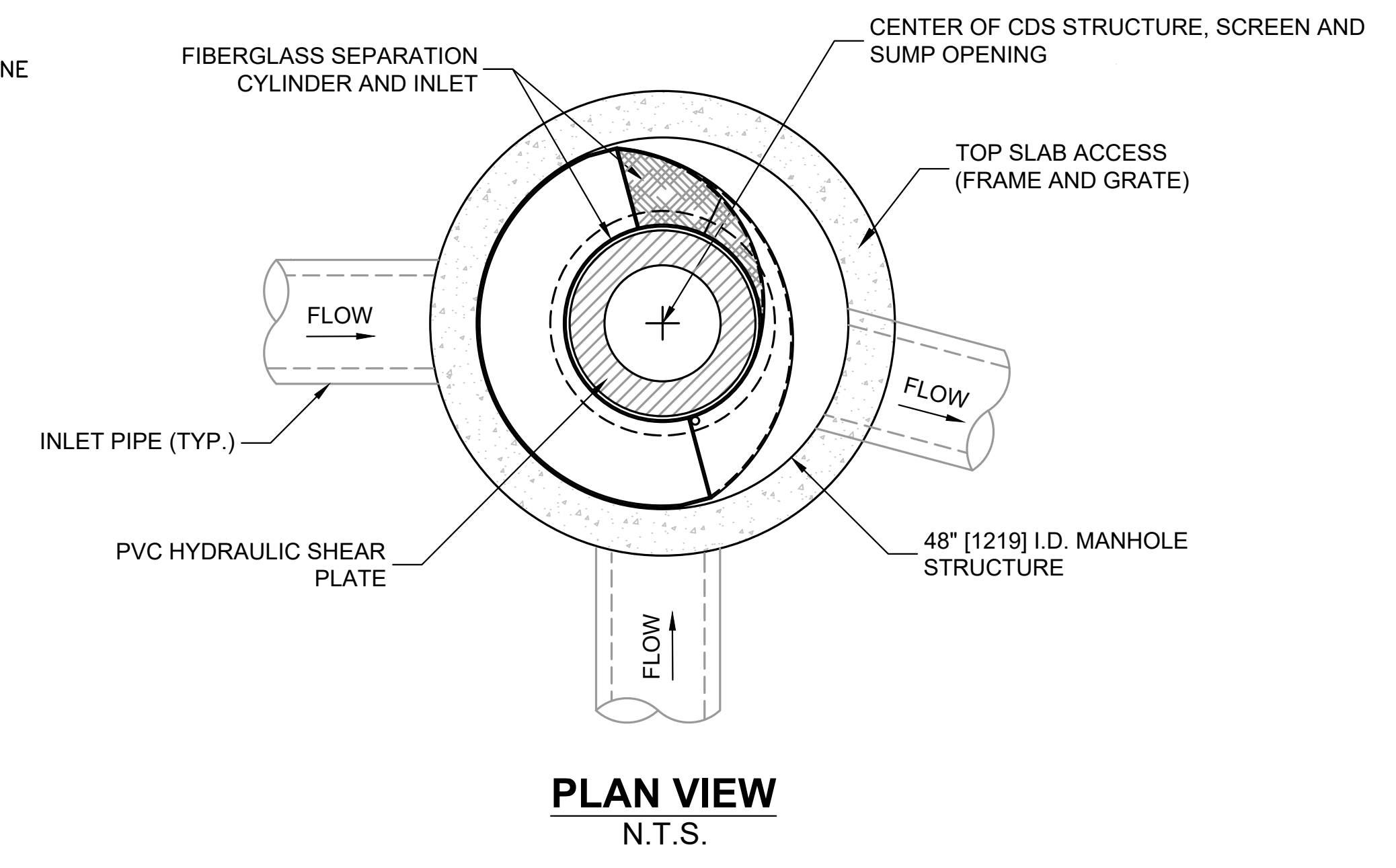
DETAIL SHEET
 4 OF 4

DATE:	10-24-2017
PROJECT NUMBER:	17024
DESIGNED BY:	TM
DRAWN BY:	TM
CHECKED BY:	KE



OUTLET REPLACEMENT DETAIL
 SCALE 1"=4'

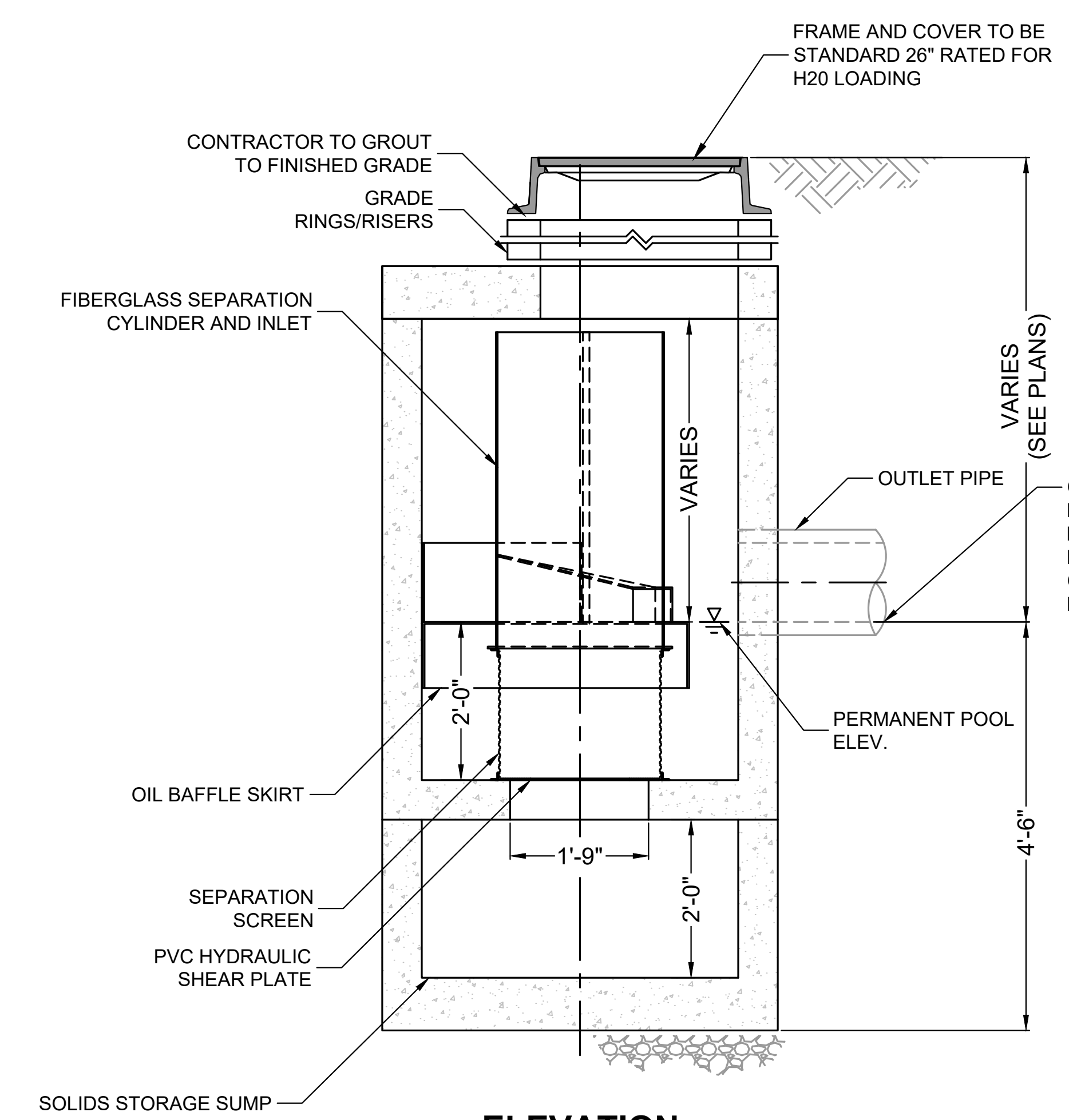
- INSTALLATION NOTES**
1. PLACE EROSION CONTROLS, BOTH STRAW WATTLE AND SILT FENCE AT LIMIT OF WORK.
 2. REMOVE STONES PLACED AT OUTLET BY HAND. PLACE STONES ADJACENT TO PIPE INSTALLATION FOR REUSE.
 3. EXCAVATE PIPE AND CUT TO INSTALL NEW DRAINAGE MANHOLE.
 4. INSTALL NEW DRAINAGE MANHOLE #6.
 5. INSTALL NEW 18" RCP MAINTAINING THE SAME INVERT ELEVATION.
 6. PLACE STONES AND ROCKS AROUND PIPE AND CAP IN KIND TO EXISTING WALL.
 7. TO SECURE SLOPE LOAM AND SEED EXPOSED SOILS, INSTALL BIODEGRADABLE EROSION CONTROL BLANKET, PLANT SHRUBS PER LANDSCAPE PLAN.
 8. LEAVE EROSION CONTROLS IN PLACE UNTIL ALL VEGETATION IS STABILIZED.



PLAN VIEW
 N.T.S.

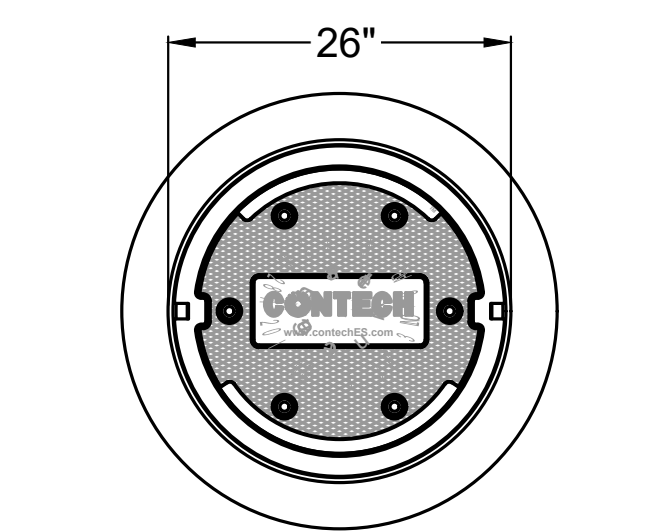
- GENERAL NOTES**
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ContechES.com
 3. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
 4. STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0'-2', AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
 5. IF REQUIRED, PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
 6. CDS STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

- INSTALLATION NOTES**
- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
 - C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
 - D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
 - E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



ELEVATION
 N.T.S.

OUTLET PIPE TO BE EQUIPPED WITH BACKFLOW PREVENTION DEVICE, WAPROWASTOP OR AN APPROVED EQUIVALENT.



FRAME AND COVER
 N.T.S.
 (PROVIDED BY CONTECH)

DRAIN MANHOLE #6
CONTECH CDS 2015-4 WATER QUALITY UNIT
 NOT TO SCALE
 *DETAIL PROVIDED BY CONTECH