

ANDOVER TOWN YARD

11 LEWIS ST, ANDOVER, MA 01810

ARROWSTREET
ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com



SHEET NUMBER	SHEET NAME
ARCHITECTURAL	
A1.0	VIEW FROM THE PLAZA
A1.1	VIEW FROM LEWIS STREET
A1.2	AERIAL VIEW
A1.3	VIEW TOWARDS COMMUNITY BUILDING
A1.4	VIEW FROM BUXTON COURT
A1.5	ELEVATION 1
A1.6	ELEVATION 2
A1.7	ELEVATION 3
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C1.1	General Notes, Legend, Abbreviations
C2.0	Existing Conditions Plan
C2.1	Existing Conditions Plan
C2.2	Pre-Development Watershed Plan
C3.0	Demolition & Site Preparation Plan
C3.1	Demolition & Site Preparation Plan
C4.0	Zoning Analysis Plan
C4.1	Site Layout Plan
C4.2	Site Layout Plan
C5.0	Grading & Drainage Plan
C5.1	Grading & Drainage Plan
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C5.3	Rational Calculation Areas Plan
C6.0	Utility Plan
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L1.1	Site Materials Plan
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L2.2	Landscape Plan
L2.3	Landscape Plan Enlargement
L3.1	Representative Photos
L4.1	Landscape Details
P1.0	Photometric Lighting Plan
P1.1	Photometric Lighting Plan

PROJECT TEAM

APPLICANT

ANDOVER TOWN YARD, LLC
231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845
TEL: 978.687.6200

ARCHITECT

ARROWSTREET INC.
10 POST OFFICE SQ, STE 700N
BOSTON, MA 02109
TEL: 617.623.5555

CIVIL

THE MORIN-CAMERON GROUP, INC.
66 ELM STREET
DANVERS, MA 01923
TEL: 978.777.8586

LANDSCAPE

HALVORSON TIGHE & BOND STUDIO
25 KINGSTON STREET, 5TH FLOOR
BOSTON, MA 02111
TEL: 617.536.0380

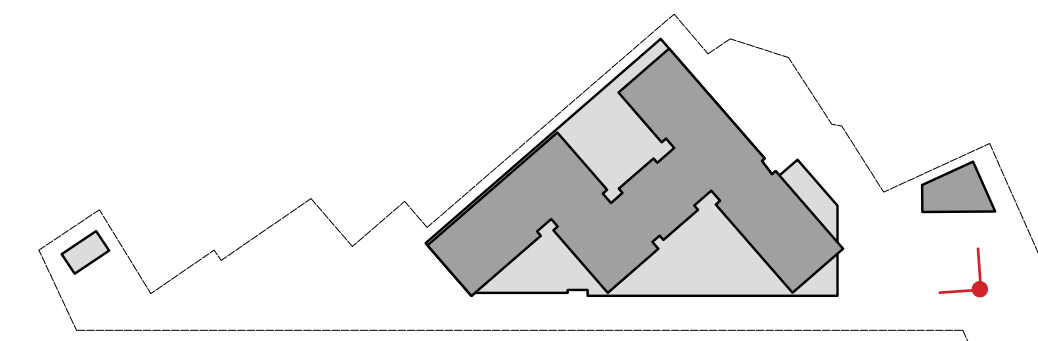
TRAFFIC

VANASSE & ASSOCIATES INC.
35 NEW ENGLAND
BUSINESS CENTER DR STE 140
ANDOVER, MA 01810
TEL: 978.474.8800

11/15/23

SPECIAL PERMIT APPLICATION

KEY PLAN



APPLICANT

ANDOVER TOWN YARD, LLC

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT

ARROWSTREET ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
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CONSULTANT

PROJECT INFORMATION

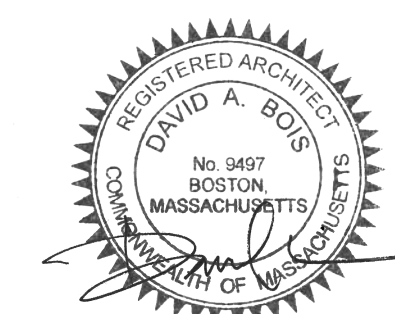
ANDOVER TOWN YARD

11 LEWIS ST, ANDOVER, MA 01810

ISSUANCE

SPECIAL PERMIT APPLICATION

STAMP



REVISIONS

No.	Date	Description

DRAWING TITLE

VIEW FROM THE PLAZA

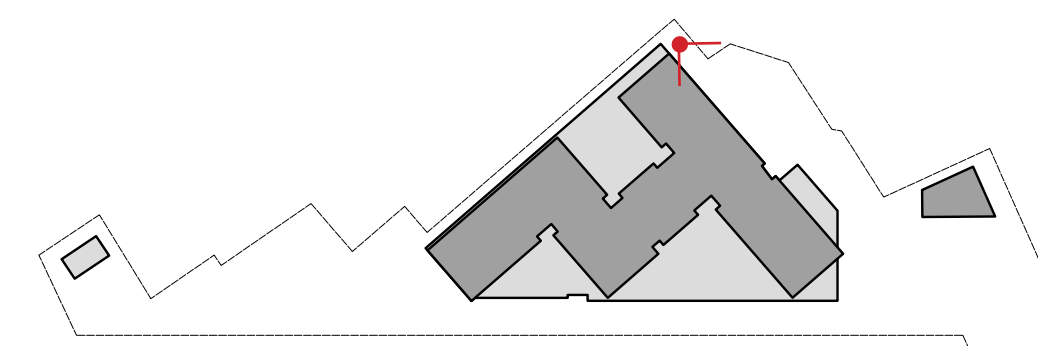
Project No.	21035
Drawn By	
Date	11/15/23
Scale	NONE

DRAWING NUMBER:

A1.0



KEY PLAN



APPLICANT

ANDOVER TOWN YARD, LLC

231 SUTTON STREET, SUITE 1B
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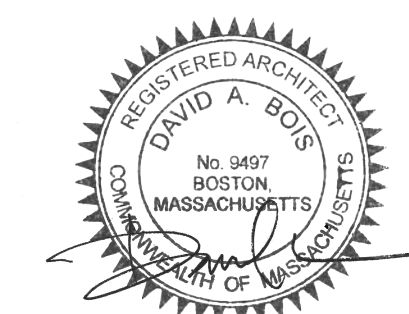
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STAMP



REVISIONS

No.	Date	Description

DRAWING TITLE

VIEW FROM LEWIS STREET

Project No. 21035

Drawn By

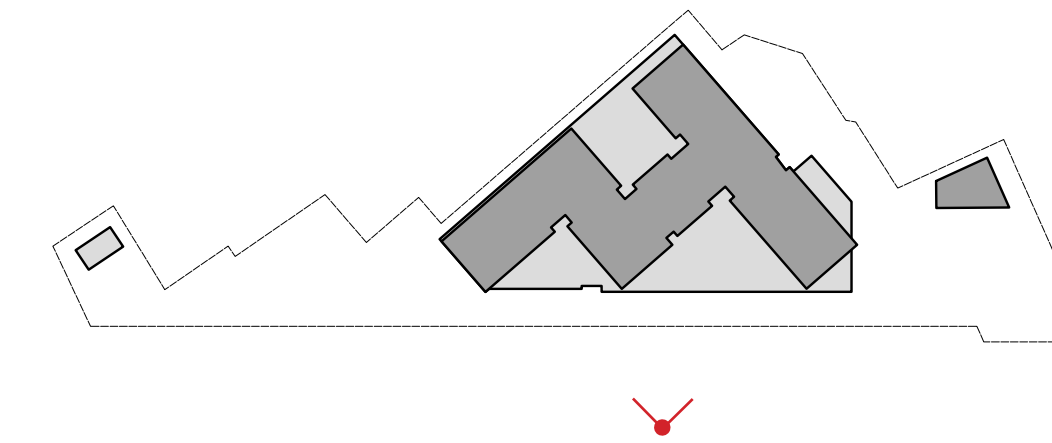
Date 11/15/23

Scale NONE

DRAWING NUMBER:

A1.1

KEY PLAN



APPLICANT

ANDOVER TOWN YARD, LLC

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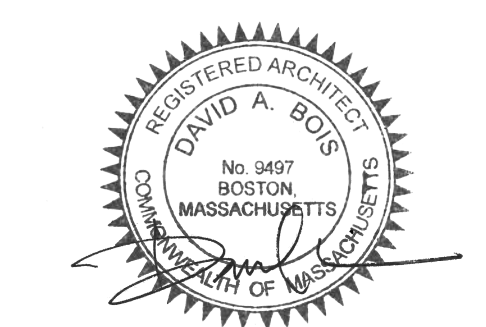
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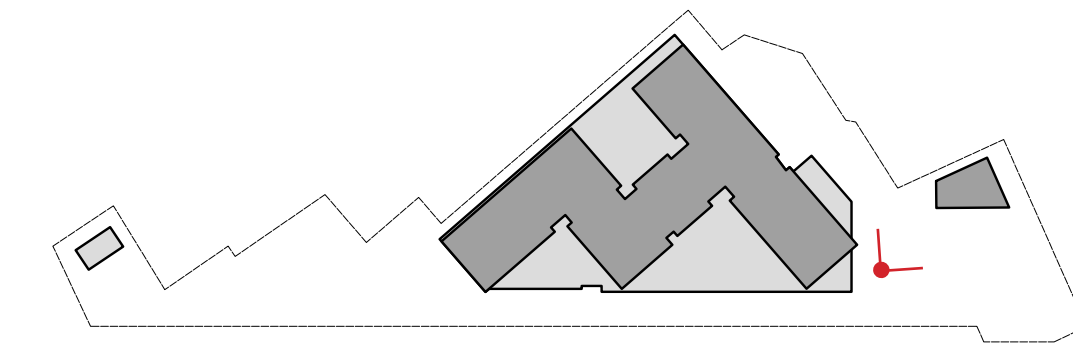
AERIAL VIEW

Project No.	21035
Drawn By	
Date	11/15/23
Scale	NONE

DRAWING NUMBER:

A1.2

KEY PLAN



APPLICANT

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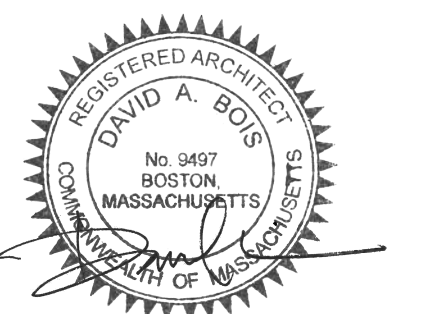
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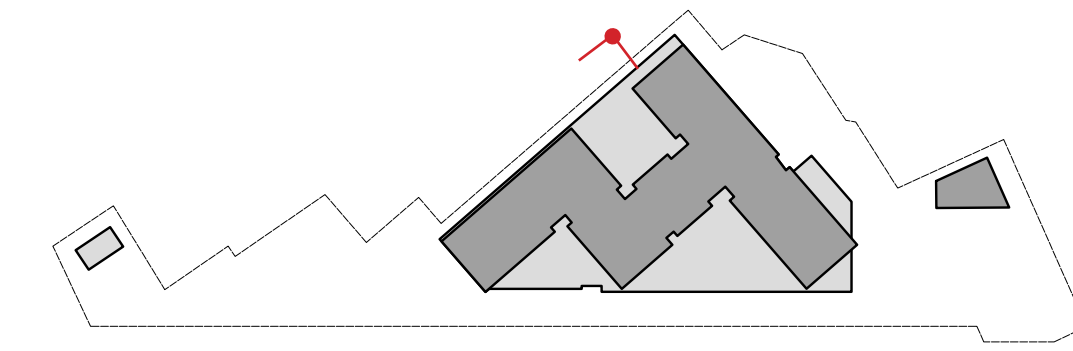
VIEW TOWARDS COMMUNITY BUILDING

Project No. 21035
 Drawn By
 Date 11/15/23
 Scale NONE

DRAWING NUMBER:

A1.3

KEY PLAN



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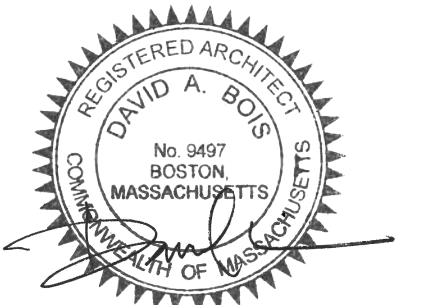
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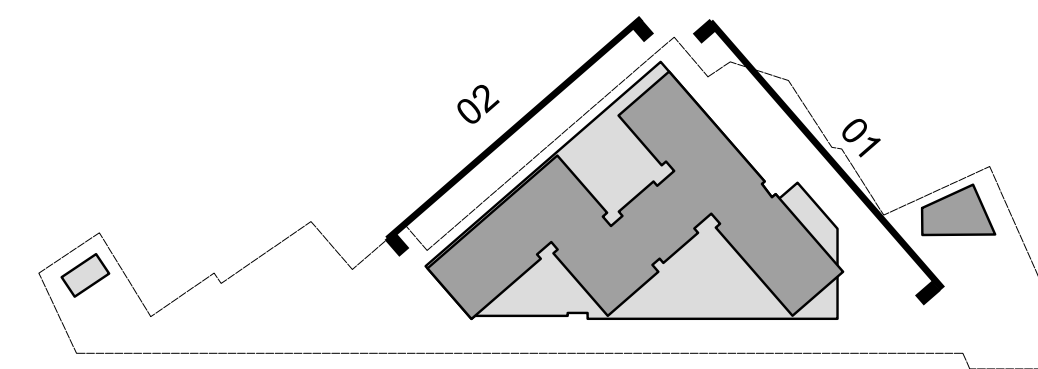
VIEW FROM BUXTON COURT

Project No.	21035
Drawn By	
Date	11/15/23
Scale	NONE

DRAWING NUMBER:

A1.4

KEY PLAN



01 SOUTH ELEVATION
1/16" = 1'-0"



02 EAST ELEVATION
1/16" = 1'-0"

APPLICANT

ANDOVER TOWN YARD, LLC

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NORTH ANDOVER, MA 01845

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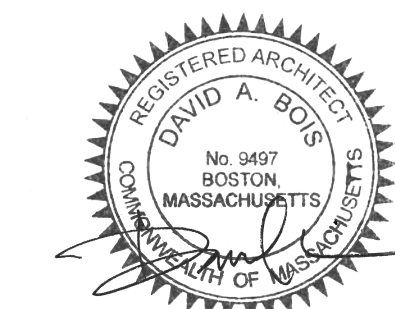
ANDOVER TOWN YARD

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ISSUANCE

SPECIAL PERMIT APPLICATION

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REVISIONS

No.	Date	Description

DRAWING TITLE

ELEVATION 1

Project No. 21035

Drawn By

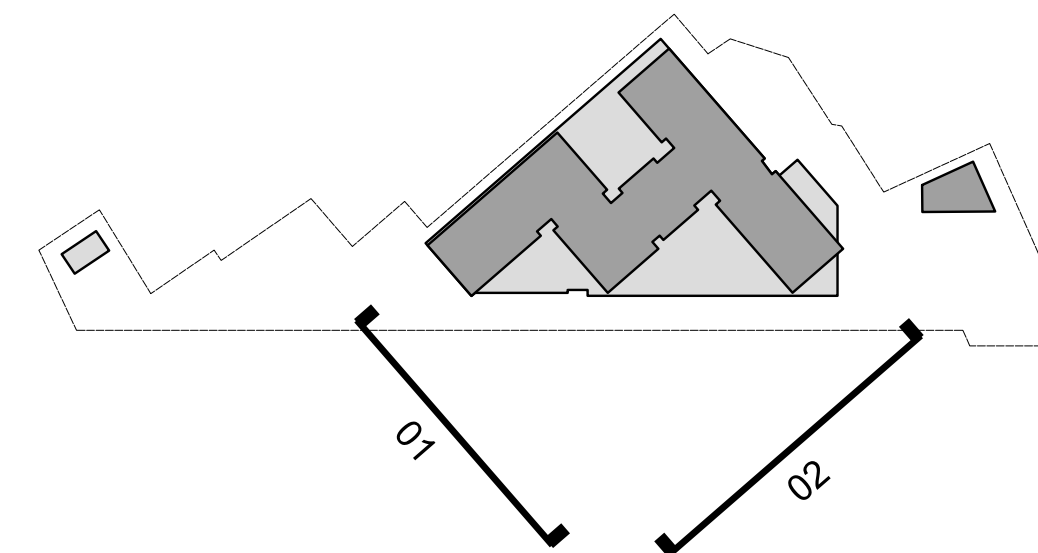
Date 11/15/23

Scale 1/16" = 1'-0"

DRAWING NUMBER:

A1.5

KEY PLAN



T.O. STRUCTURE	162'-0"
LEVEL 4	146'-0"
LEVEL 3	137'-0"
LEVEL 2	127'-0"
LEVEL 1	118'-0"
AVERAGE GRADE	104'-0"
GARAGE	100'-0"

01 NORTH ELEVATION
1/16" = 1'-0"

APPLICANT

ANDOVER TOWN YARD, LLC

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

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ARROWSTREET
ARCHITECTURE & DESIGN

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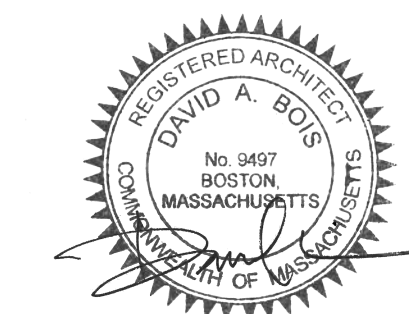
ANDOVER TOWN YARD

11 LEWIS ST, ANDOVER, MA 01810

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SPECIAL PERMIT APPLICATION

STAMP



REVISIONS

No.	Date	Description

DRAWING TITLE

ELEVATION 2

Project No. 21035

Drawn By

Date 11/15/23

Scale 1/16" = 1'-0"

DRAWING NUMBER:

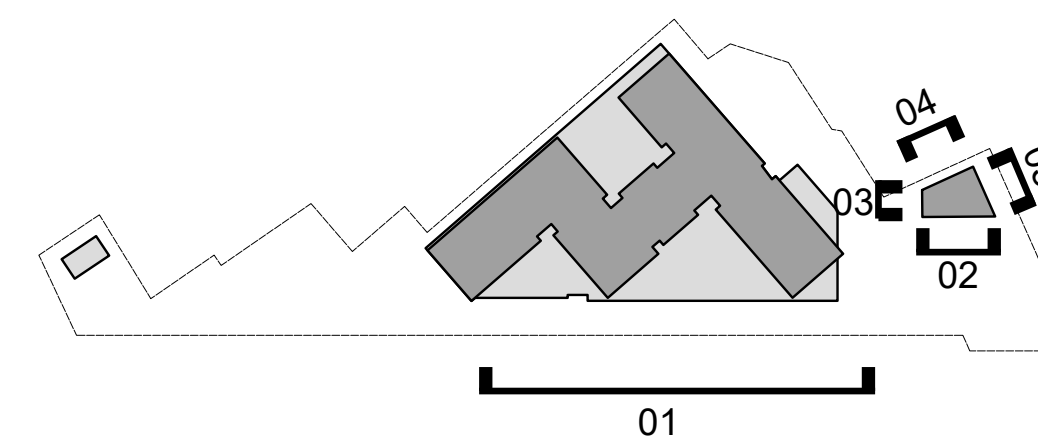
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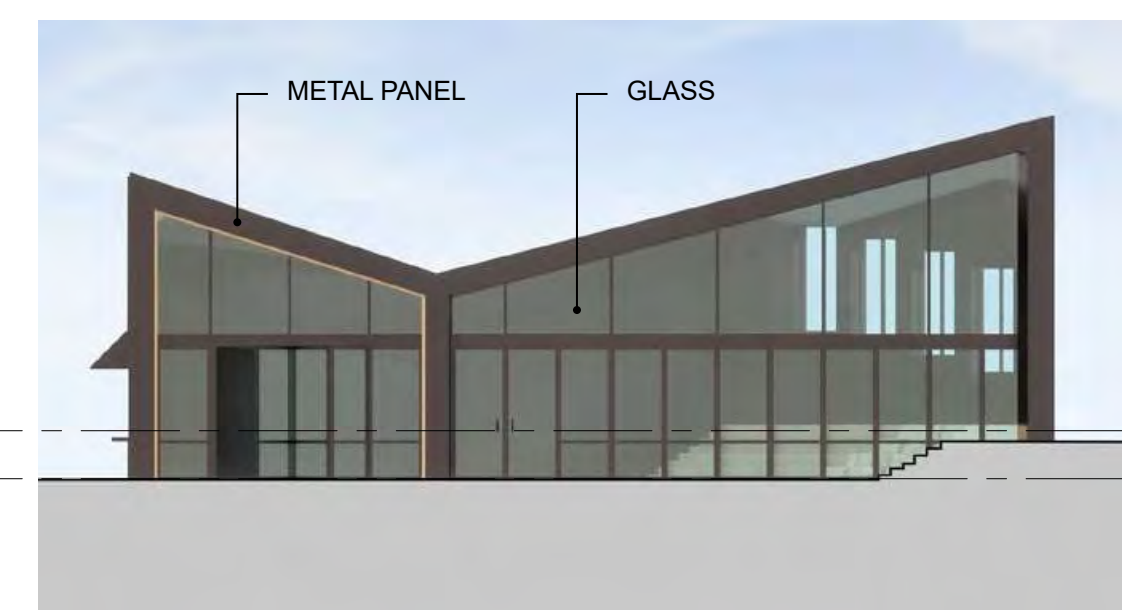
T.O. STRUCTURE	162'-0"
LEVEL 4	146'-0"
LEVEL 3	137'-0"
LEVEL 2	127'-0"
LEVEL 1	118'-0"
AVERAGE GRADE	104'-0"
GARAGE	100'-0"

02 WEST ELEVATION
1/16" = 1'-0"

KEY PLAN



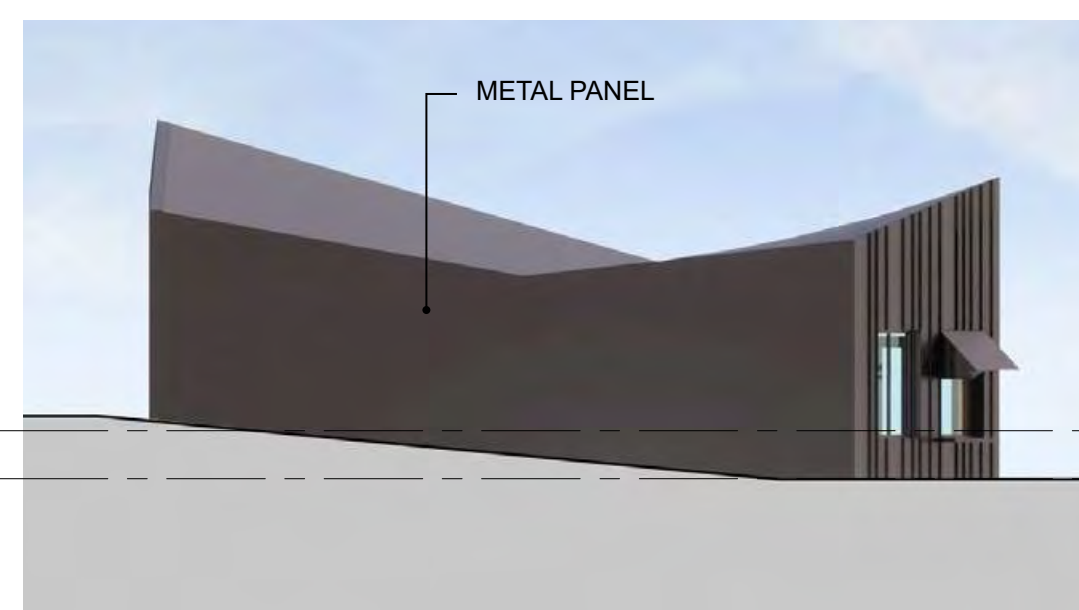
01 NORTHWEST ELEVATION
1/16" = 1'-0"



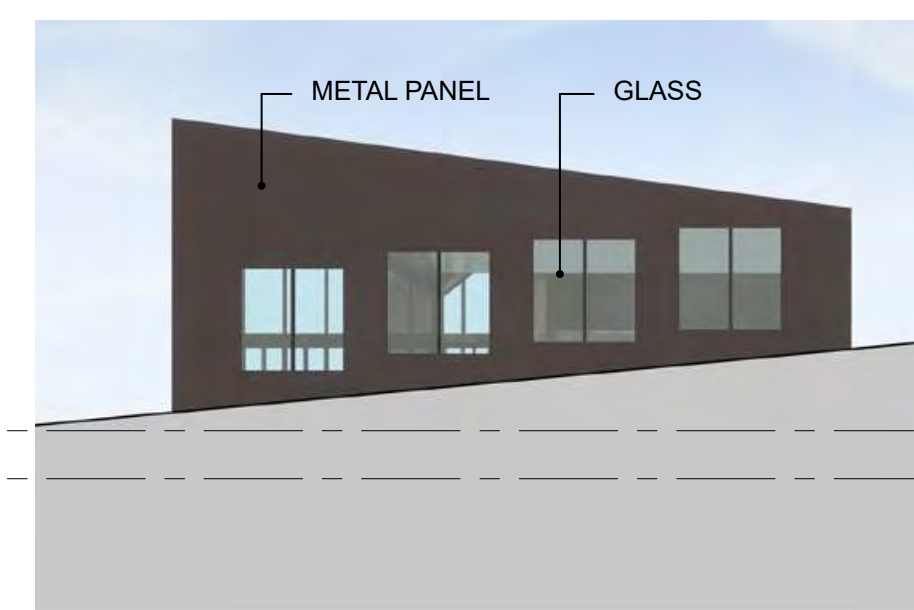
02 WEST ELEVATION - COMMUNITY BUILDING
1/16" = 1'-0"



03 NORTH ELEVATION - COMMUNITY BUILDING
1/16" = 1'-0"



04 EAST ELEVATION - COMMUNITY BUILDING
1/16" = 1'-0"



05 SOUTH ELEVATION - COMMUNITY BUILDING
1/16" = 1'-0"

APPLICANT

ANDOVER TOWN YARD, LLC

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT

ARROWSTREET ARCHITECTURE & DESIGN

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617.623.5555
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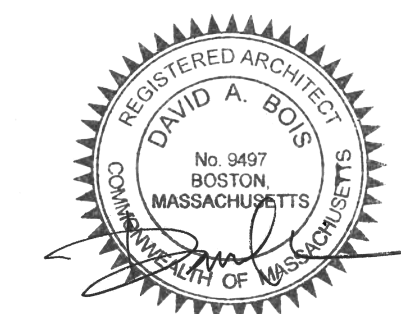
ANDOVER TOWN YARD

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ISSUANCE

SPECIAL PERMIT APPLICATION

STAMP



REVISIONS

No.	Date	Description

DRAWING TITLE

ELEVATION 3

Project No. 21035

Drawn By

Date 11/15/23

Scale 1/16" = 1'-0"

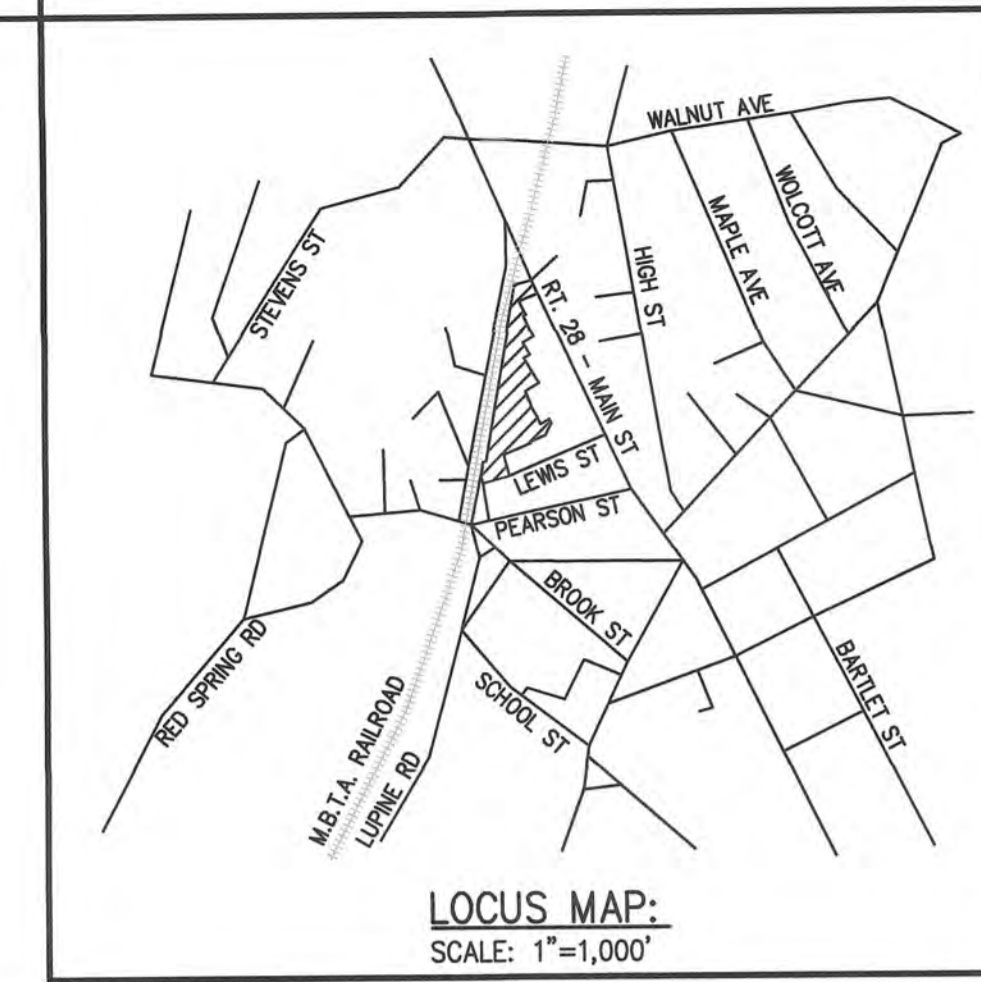
DRAWING NUMBER:

A1.7

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SITE DEVELOPMENT PLANS

2-4 BUXTON COURT, 7-9 & 11 LEWIS STREET, 35 PEARSON STREET & 122 NORTH MAIN STREET ANDOVER, MASSACHUSETTS (ASSESSOR'S MAP 38, LOT 32A, 16, 15, 4, & 35)



APPLICANT
ANDOVER TOWN YARD, LLC

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

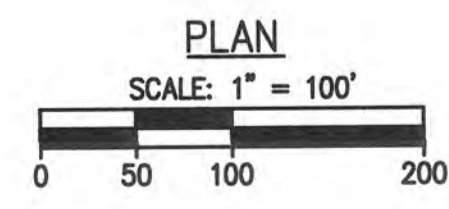
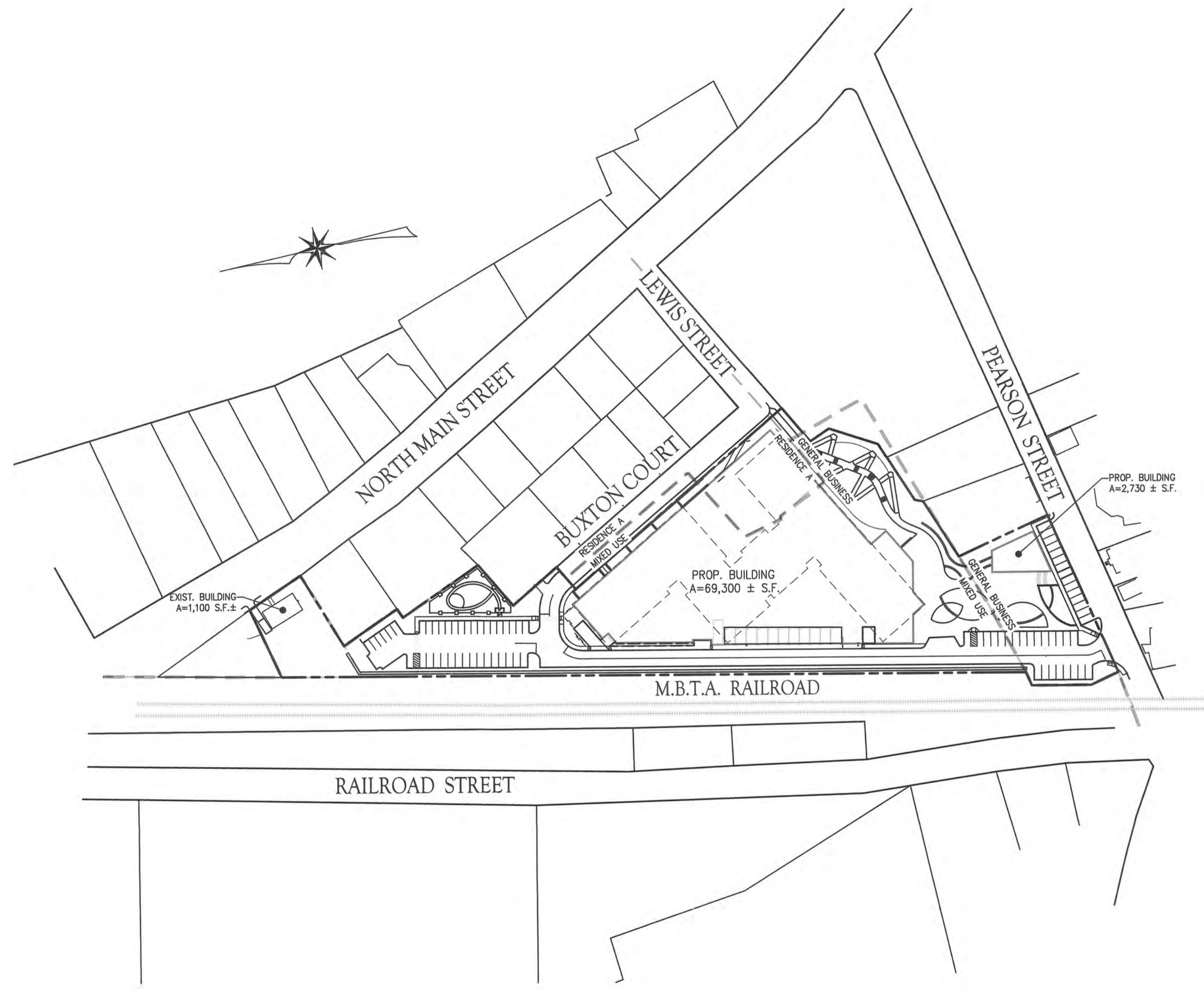
ARCHITECT
ARROWSTREET ARCHITECTURE & DESIGN

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SUITE 700N
BOSTON MA 02109
617-623-5555
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SCHEDULE OF PLAN SET DRAWINGS:

- C1.0 COVER SHEET
- C-1.1 GENERAL NOTES, ABBREVIATIONS, & LEGEND
- C2.0 EXISTING CONDITIONS
- C2.1 EXISTING CONDITIONS
- C3.0 PRE-DEVELOPMENT WATERSHED PLAN
- C3.1 DEMOLITION AND SITE PREPARATION PLAN
- C4.0 ZONING ANALYSIS PLAN
- C4.1 SITE LAYOUT PLAN
- C4.2 SITE LAYOUT PLAN
- C5.0 GRADING AND DRAINAGE PLAN
- C5.1 GRADING AND DRAINAGE PLAN
- C5.2 POST-DEVELOPMENT WATERSHED PLAN
- C5.3 RATIONAL CALCULATION AREAS PLAN
- C6.0 UTILITY PLAN
- C6.1 UTILITY PLAN
- C7.0 CONSTRUCTION DETAILS – EROSION & SEDIMENT CONTROL
- C7.1 CONSTRUCTION DETAILS – UTILITIES
- C7.2 CONSTRUCTION DETAILS – DRAINAGE
- C7.3 CONSTRUCTION DETAILS – DRAINAGE
- C7.4 CONSTRUCTION DETAILS – SITE
- C7.5 CONSTRUCTION DETAILS – SITE



APPLICANT:
ANDOVER TOWN YARD, LLD
231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

CIVIL ENGINEER:
THE MORIN-CAMERON GROUP, INC.
25 KENOZA AVENUE
HAVERHILL, MA 01830
PHONE: 978-777-8586

ARCHITECT:
ARROWSTREET INC.
10 POST OFFICE SQUARE
BOSTON, MA 02109
PHONE: 617-623-5555

LANDSCAPE ARCHITECT:
HALVORSON DESIGN PARTNERSHIP
25 KINGSTON STREET
BOSTON, MA 02111
PHONE: 617-536-0380

TRANSPORTATION ENGINEER:
VANASSE & ASSOCIATES, INC.
35 NEW ENGLAND BUSINESS
CENTER DRIVE – SUITE 140
ANDOVER, MA 01810-1071
PHONE: 978-474-8800

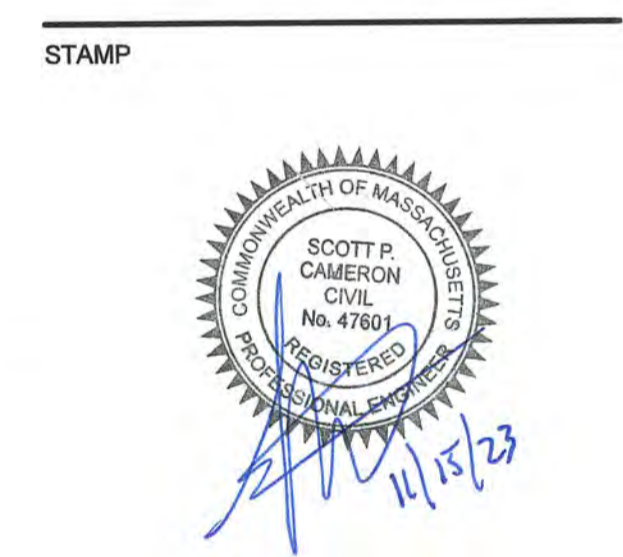


The Morin-Cameron GROUP, INC.
CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
68 ELM STREET, DANVERS, MASSACHUSETTS 01923
P: 978-777-8586, W: WWW.MORINCAMERON.COM

PROJECT INFORMATION
ANDOVER TOWN YARD

11 LEWIS ST, ANDOVER, MA 01810

ISSUANCE
SPECIAL PERMIT APPLICATION



REVISIONS

No.	Date	Description

DRAWING TITLE
CIVIL COVER SHEET-LOCUS-INDEX

Project No. 4145
Drawn By LNO
Date 11/15/23
Scale AS NOTED

DRAWING NUMBER:
C1.0

PERMIT/APPROVAL	BOARD/APPROVING AUTHORITY	APPLICABLE REGULATIONS
SITE PLAN REVIEW	ANDOVER PLANNING BOARD	TOWN OF ANDOVER ZONING BYLAW, SECTION 9.5
SPECIAL PERMIT	ANDOVER PLANNING BOARD	TOWN OF ANDOVER ZONING BYLAW, SECTION 8.5
STORMWATER PERMIT	ANDOVER PLANNING BOARD	TOWN OF ANDOVER STORMWATER MANAGEMENT & EROSION CONTROL BYLAW

GENERAL NOTE:
THESE PLANS ARE PREPARED FOR PERMITTING WITH THE TOWN OF ANDOVER. THE PLANS SHALL NOT BE USED FOR CONSTRUCTION OR FOR ANY OTHER PURPOSES WITHOUT WRITTEN PERMISSION FROM THE MORIN-CAMERON GROUP, INC.

ISSUED NOVEMBER 15, 2023

RECORD OWNERS:

TAX MAP LOT 38-32A
15 BUXTON CT

TAX MAP 38 LOTS 4, 15, 16 & 35
35 PEARSON ST, 7-9 & 11 LEWIS ST, 2-4 BUXTON CT, 122 N MAIN ST

TOWN OF ANDOVER
36 BARTLET STREET
ANDOVER, MA 01810

BUXTON REDEVELOPMENT LLC
231 SUTTON ST, SUITE 1N
NORTH ANDOVER, MA 01845

GENERAL NOTES:

1. THESE PLANS ARE PREPARED FOR OUR CLIENT'S USE ONLY FOR THE PURPOSE OBTAINING PERMITS AND ARE NOT TO BE USED OR RELIED FOR CONSTRUCTION WITHOUT THE WRITTEN CONSENT OF THE MORIN-CAMERON GROUP, INC.
2. EXISTING CONDITION AND BOUNDARY INFORMATION FROM THIS OFFICE.

FLOOD NOTE:

THE SUBJECT PROPERTY IS PARTIALLY LOCATED IN A ZONE "X" AS ILLUSTRATED ON FLOOD INSURANCE RATE MAP #2509C0217C, WHICH HAS AN EFFECTIVE DATE OF JULY 3, 2012.

GENERAL UTILITY NOTES:

1. THE GENERAL CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE GENERAL CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
3. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE ELECTRIC, CABLE AND TELEPHONE COMPANIES, GAS PROVIDER AND ANDOVER MUNICIPAL UTILITY DEPARTMENTS TO VERIFY THE LOCATION, SIZE AND TYPE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
4. THE EXCAVATING OF TRENCHES, THE METHODS AND MATERIALS OF BACKFILLING, AND ALL OTHER MATTERS RELATING TO THE INSTALLATION OF WATER PIPES, SEWER LINES, STORM DRAINS, SUBSURFACE DRAINS, AND ALL OTHER UNDERGROUND UTILITIES SHALL BE CONSISTENT WITH GOOD CONSTRUCTION PRACTICES AND SHALL AT ALL TIMES BE SUBJECT TO THE INSPECTION BY THE APPLICABLE TOWN DEPARTMENTS.
5. ALL TRENCHES SHALL BE TAMPED WITH A POWER TAMPER AT INTERVALS NOT GREATER THAN ONE (1) FOOT.
6. ALL UTILITY PENETRATIONS AT THE FOUNDATIONS SHALL BE ADJUSTED BASED ON THE FINAL CONSTRUCTION DRAWINGS.

SITE PREPARATION NOTES:

1. ALL MATERIALS REMOVED FROM THE PREMISES SHALL BE DONE SO IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS FOR HAULING AND DISPOSAL.
2. COORDINATE ANY UTILITY DIS-CONNECTIONS WITH APPROPRIATE SERVICE PROVIDERS.
3. ALL TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. AVOID HEAVY MACHINERY WITHIN ROOT BALL FOOTPRINT.
4. COORDINATE WITH TOWN OF ANDOVER WATER AND SEWER DIVISION.

RECORD KEEPING, AS-BUILTS & LAYOUT NOTES:

1. THE SITE CONTRACTOR SHALL MAINTAIN TIES AND EXTENSIVE PHOTOS OF ALL BURIED UTILITIES. WHENEVER POSSIBLE, THE CONTRACTOR SHALL NOTIFY THE CIVIL ENGINEER OF INSPECTION MILESTONES SO UTILITIES CAN BE INSPECTED PRIOR TO BACKFILLING.
2. ALL AS-BUILT SURVEYS AND LAYOUT NECESSARY DURING CONSTRUCTION SHALL BE COORDINATED WITH THE SURVEYOR. PROVIDE AT LEAST 72 HOURS ADVANCED NOTICE.

CONSTRUCTION SEQUENCE:

TO PREVENT EXCESSIVE EROSION AND SILTING, THE FOLLOWING CONSTRUCTION SEQUENCE COUPLED WITH OTHER WIDELY ACCEPTED PRINCIPALS FOR REDUCING EROSION AND SEDIMENTATION SHALL BE IMPLEMENTED IN THE DEVELOPMENT OF THE SITE.

1. THE GENERAL CONTRACTOR SHALL COORDINATE A PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITY WITH THE OWNER (OWNER'S REPRESENTATIVE), PLANNING DEPARTMENT REPRESENTATIVE AND ANY OTHER INTERESTED TOWN DEPARTMENT REPRESENTATIVES.
2. STABILIZATION PRACTICES FOR EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. PLACE EROSION CONTROLS AT LOCATIONS INDICATED ON THE SITE DEVELOPMENT PLANS. AN EPA CONSTRUCTION GENERAL PERMIT AND STORMWATER POLLUTION PREVENTION PLAN MUST BE ACTIVATED PRIOR TO CONSTRUCTION ACTIVITIES.
3. IN PREPARING TO REMOVE MATERIALS FROM THE WORK AREA ON THE SITE, CAREFUL CONSIDERATION SHOULD BE MADE TO THE EXTENT OF DISTURBANCE SO AS NOT TO DISTURB MORE OF THE SITE THAN WHAT IS INTENDED TO BE IMMEDIATELY DEVELOPED AND RE-STABILIZED.
4. LOAM AND TOP SOIL EXCAVATED FROM THE WORK AREA SHALL BE STOCKPILED AT THE LOCATIONS SHOWN ON THE PLANS. IF MATERIALS ARE STOCKPILED ON THE SITE WHERE THEY WILL NOT INTERFERE WITH CONSTRUCTION ACTIVITIES, THEY SHALL BE LOCATED SO AS TO MINIMIZE THE POTENTIAL FOR EROSION INTO EXISTING DRAINAGE INFRASTRUCTURE OR WETLAND RESOURCE AREAS. STOCKPILES SHALL BE STABILIZED WITH HAYBALES, SILT FENCING OR EQUIVALENT. STOCKPILES LEFT FOR GREATER THAN 14 DAYS SHALL BE SEEDED WITH AN EROSION CONTROL MIX. STOCKPILES SHALL BE SITUATED OUTSIDE THE WETLAND BUFFER ZONES WHEREVER POSSIBLE.
5. REMOVAL OF ALL DEBRIS OR MATERIAL FROM THE WORK AREA SHALL BE DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS UNDER THE OVERSIGHT OF A LICENSED SITE PROFESSIONAL (LSP) HIRED BY THE OWNER IF APPLICABLE.
6. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES AT THE LOCATIONS NOTED.
7. ALL CATCH BASINS SHALL BE PROTECTED WITH SILT SACK SEDIMENT TRAPS.
8. REMOVAL OF ALL EXISTING UTILITIES TO BE CUT AND CAPPED, AND COORDINATED WITH APPROPRIATE UTILITY COMPANIES.

CONSTRUCTION PRACTICES:

ALL CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING CONDITIONS:

1. ALL REASONABLE ACTION SHALL BE TAKEN TO MINIMIZE THE NEGATIVE EFFECTS OF CONSTRUCTION ON ABUTTERS. ADVANCE NOTICE SHALL BE PROVIDED TO ALL ABUTTERS IN WRITING AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION OF THE PROJECT.
2. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE PLANNING BOARD, AND IN ACCORDANCE WITH ANY AND ALL RULES, REGULATIONS, AND ORDINANCES OF THE TOWN OF ANDOVER.
3. THE OWNER SHALL PROMPTLY NOTIFY THE BOARD OF HEALTH OF ANY ENVIRONMENTAL CONDITIONS ENCOUNTERED DURING CONSTRUCTION THAT MAY ADVERSELY IMPACT THE ABUTTERS TO THE SITE.
4. ALL PROVISIONS IN THE TOWN OF ANDOVER'S CODE OF ORDINANCE, CHAPTER 22, NOISE CONTROL, SHALL BE STRICTLY ADHERED TO. IF STRICTER MEASURES ARE REQUIRED BY THIS DECISION, THE STRICTER MEASURES SHALL APPLY.
5. ANY ROCK HAMMERING, DRILLING, OR BLASTING SHALL BE LIMITED TO MONDAY-FRIDAY BETWEEN 8:00 AM UNTIL 5:00 PM. THERE SHALL BE NO DRILLING OR BLASTING ON SATURDAYS, SUNDAYS, OR HOLIDAYS. BLASTING SHALL BE UNDERTAKEN IN ACCORDANCE WITH ALL LOCAL AND STATE REGULATIONS.
6. ADVANCE NOTICE SHALL BE PROVIDED TO ALL ABUTTERS IN WRITING AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF BLASTING ACTIVITY. NOTICE SHALL BE PROVIDED AGAIN AFTER BLASTING INACTIVITY FOR SEVEN (7) OR MORE DAYS.
7. ALL ONSITE ROCK HAMMERING SHALL BE CONDUCTED FOR THE PURPOSE OF DECREASING THE SIZE OF BLASTED OR EXCAVATED ROCK. ALL ROCK SHALL BE TRANSPORTED OFFSITE TO BE CRUSHED AND PROCESSED ELSEWHERE, EXCEPT IN LIMITED CIRCUMSTANCES WHERE THERE IS VERBAL OR WRITTEN PRE-APPROVAL FROM THE CLERK OF THE WORKS. THIS LIMITED ON-SITE ROCK CRUSHING ACTIVITY SHALL BE CONDUCTED AT THE MAXIMUM PRACTICABLE DISTANCE FROM OCCUPIED BUILDINGS.
8. WHERE PRACTICAL, ALL ONSITE MATERIAL SHALL BE USED AS BACK FILL AND FOR OTHER USES ON SITE.
9. ALL CONSTRUCTION VEHICLES LEFT OVERNIGHT AT THE SITE MUST BE LOCATED COMPLETELY ON THE SITE.
10. ALL CONSTRUCTION VEHICLES SHALL BE CLEANED PRIOR TO LEAVING THE SITE SO THAT THEY DO NOT LEAVE DIRT AND/OR DEBRIS ON SURROUNDING ROADWAYS.
11. ALL CONSTRUCTION WILL OCCUR ON SITE; NO CONSTRUCTION WILL OCCUR OR BE STAGED WITHIN TOWN RIGHT OF WAY. ANY DEVIATION FROM THIS SHALL BE APPROVED BY THE DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT PRIOR TO CONSTRUCTION.
12. ANY ROADWAYS, DRIVEWAYS, SIDEWALKS, OR LANDSCAPING DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION BY THE OWNER. THE TOWN ENGINEER, ALONG WITH THE CLERK OF THE WORKS SHALL DETERMINE THE CONDITION OF THE ROADWAYS DIRECTLY IMPACTED BY CONSTRUCTION AND RELATED TRAFFIC AND DETERMINE THE TYPES OF REPAIRS REQUIRED BY THE OWNER.

EROSION AND SEDIMENTATION CONTROL:

WIDELY ACCEPTED PRACTICES FOR REDUCING EROSION AND SEDIMENTATION WILL BE EMPLOYED IN THE DEVELOPMENT OF THIS SITE. REFER TO THE STORMWATER POLLUTION PREVENTION PLAN FOR THE PROJECT.

1. THE DEVELOPMENT OF THE SITE HAS BEEN PLANNED TO MATCH EXISTING TOPOGRAPHY AND GROUND COVER. EXISTING DRAINAGE PATTERNS OF THE SITE HAVE BEEN MAINTAINED TO THE EXTENT PRACTICABLE.
2. THE DEVELOPMENT SHALL BE DESIGNED TO MAINTAIN EXISTING DRAINAGE PATTERNS AND TO PREVENT NEW EROSION AND SEDIMENTATION.
3. NATURAL WETLANDS WILL BE PRESERVED AND PROTECTED, AND EXISTING VEGETATION WILL BE RETAINED AND PROTECTED TO THE EXTENT POSSIBLE.
4. STEEP SLOPES, WHERE POSSIBLE, WILL NOT BE DISTURBED.
5. THE CONTRACTOR SHALL MINIMIZE THE AREA OF DISTURBED LAND TO THE EXTENT FEASIBLE.
6. SEDIMENT CONTROL MEASURES WILL BE APPLIED TO CONTROL ANY SEDIMENTS THAT MAY BE PRODUCED AS A RESULT OF SITE CONSTRUCTION ACTIVITIES. EROSION AND DEPOSITION OF SEDIMENT WILL BE CLOSELY MONITORED DURING CONSTRUCTION.
7. TEMPORARY EROSION CONTROL MEASURES WILL INCLUDE, BUT NOT BE LIMITED TO, FILTER FABRIC SILT FENCES, SEEDING AND MULCHING, SEEDED FILTER STRIPS AND SILT SACKS IN CATCH BASINS(EXISTING AND NEWLY INSTALLED).
8. TOPSOIL STRIPPED FROM THE SITE WILL BE STOCKPILED FOR LOAMING AND SEEDING AT LATER CONSTRUCTION STAGES. THE STOCKPILES SHALL BE LOCATED SO AS TO ACT AS TEMPORARY DIVERSIONS, GENERALLY ON AN UPHILL SLOPE.
9. SITE DEVELOPMENT WILL NOT COMMENCE UNTIL ALL TEMPORARY EROSION CONTROL MEASURES ARE IN PLACE. THESE MEASURES SHALL BE EMPLOYED UNTIL FINAL PAVING AND ADEQUATE VEGETATION HAS BEEN ESTABLISHED.
10. THE CONSTRUCTION PHASE MUST COMPLY WITH THE ENVIRONMENTAL PROTECTION AGENCY(EPA) NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PROTOCOLS. AN EPA NOTICE OF INTENT SHALL BE FILLED OUT AT LEAST 2 WEEKS PRIOR TO THE START OF CONSTRUCTION.
11. NOTIFY THE TOWN OF ANDOVER AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
12. ALL SLOPES 3:1 AND/OR GREATER SHALL BE STABILIZED WITH EROSION CONTROL BLANKETS.
13. SOIL SHALL NOT BE STOCKPILED OVER ANY STORMWATER RETENTION BASINS.

STORM DRAIN NOTES:

1. STORMWATER CONVEYANCE PIPES SHALL BE (ADS N-12) OR HDPE PROJECT CIVIL ENGINEER APPROVED EQUIVALENT UNLESS OTHERWISE NOTED.
2. BACKFILL SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY BY AASHTO T-180D METHOD.
3. SHEETING, IF USED, SHALL BE REMOVED PRIOR TO BACKFILLING TRENCH.
4. UNSUITABLE SOIL BELOW THE INVERT (CLAY, ORGANICS, DEBRIS, ETC) SHALL BE REMOVED AND REPLACED WITH APPROVED MATERIAL AND SHALL NOT BE REUSED AS BACKFILL.
5. ROOF DRAINS SHALL BE DIRECTED TO THE DRAINAGE SYSTEM IN THE LOCATIONS SHOWN. COORDINATE LOCATIONS WITH THE PROJECT ARCHITECT AND LANDSCAPE ARCHITECT.
6. REPAIR BROKEN OR DAMAGED DRAIN PIPES IN KIND.

SEWER NOTES:

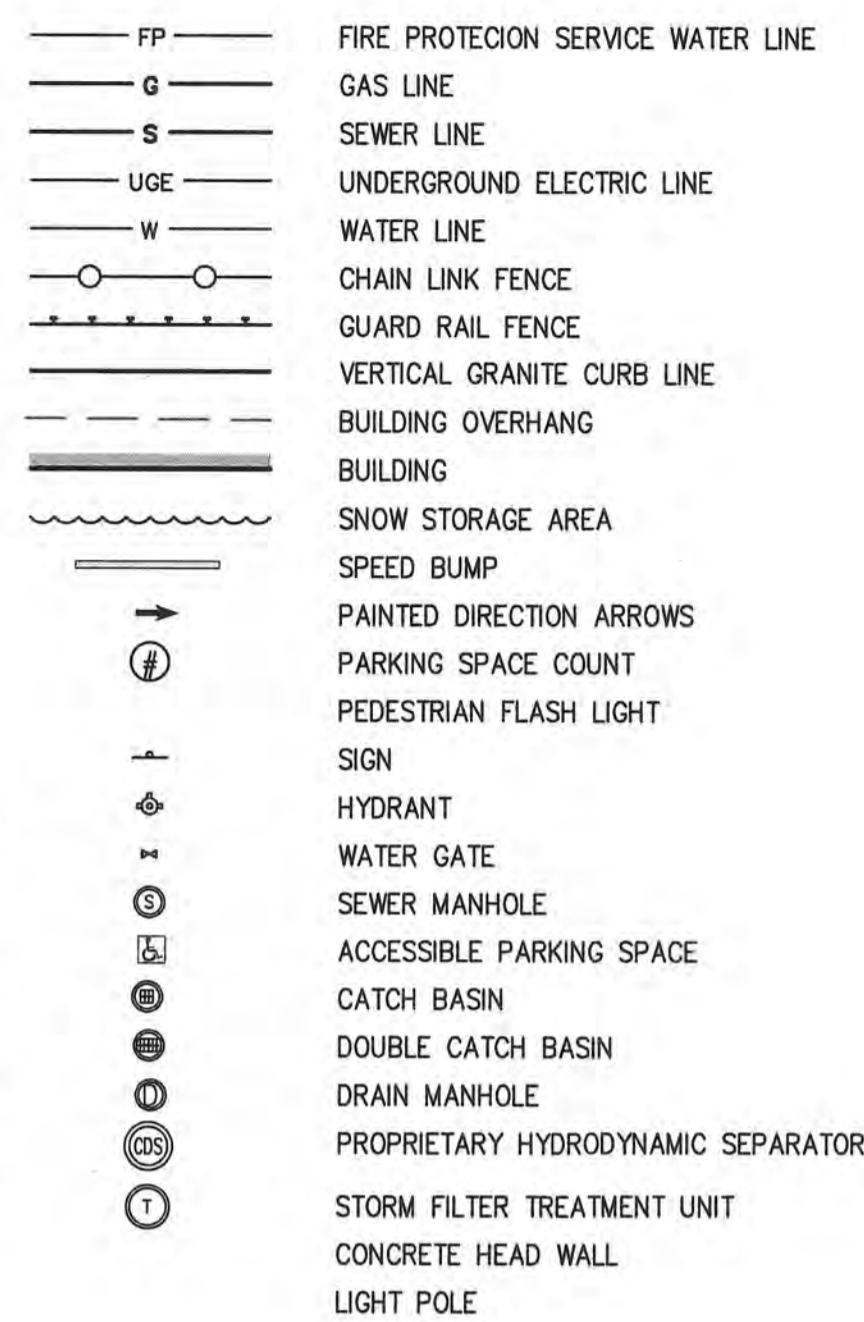
1. A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN SANITARY SEWER PIPES AND WATER PIPES. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER PIPE, THE WATER PIPE SHALL BE SLEEVED FOR A DISTANCE OF AT LEAST 10' ON EACH SIDE.
2. ALL GRAVITY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR-35 UNLESS OTHERWISE NOTED.
3. WHERE SANITARY SEWERS CROSS WATER SERVICES, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER PIPE. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER PIPE SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER PIPE SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHENEVER IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER PIPE AND THE SEWER PIPE SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
4. SANITARY SEWER LINES WITH LESS THAN 4 FEET OF COVER SHALL BE INSULATED TO PREVENT FREEZING.

DEMOLITION NOTES:

1. CONTRACTOR TO CUT AND CAP ALL EXISTING UTILITY SERVICES PROPOSED TO BE REMOVED AT THE MAIN, IN ACCORDANCE WITH TOWN BUILDING DEMOLITION REGULATIONS, PRIOR TO CONSTRUCTION. TEE SERVICE CONNECTIONS SHALL BE REMOVED FROM THE MAIN AND REPLACED WITH A MINIMUM OF 4 FT. OF NEW CLDI PIPE.
2. ALL EXISTING BUILDING FLOOR DRAINS SHALL BE CAPPED AND ABANDONED.
3. HYDRANT CONNECTIONS FOR WATER USE DURING DEMOLITION SHALL BE COORDINATED WITH THE TOWN OF ANDOVER ENGINEERING DEPARTMENT.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH ANDOVER MUNICIPAL LIGHT DEVELOPMENT FOR ANY WORK IN THE VICINITY OF OVERHEAD WIRES.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING UTILITIES DISCONNECTION WITH PRIVATE SERVICE PROVIDERS.

WATER NOTES:

1. WATER LINES WILL HAVE AT LEAST FIVE (5) FEET OF COVER.
2. THERE MUST BE AT LEAST SIX (6) INCHES OF CLEARANCE BETWEEN A NEW WATER LINE AND ANY UNDERGROUND ROCK FORMATION.
3. ALL WATER MAIN COMPONENTS SHALL MEET AWWA STANDARDS. "ALL DUCTILE IRON PIPE SHALL BE COATED WITH A LAYER OF ARC-SPRAYED ZINC PER ISO 8179. THE MASS OF THE ZINC APPLIED SHALL BE 200 G/M². A FINISHING TOPCOAT SHALL BE APPLIED TO THE ZINC. INTERIOR LINING FOR POTABLE WATER MAIN SHALL HAVE AN INTERIOR PROTECTIVE LINING OF CEMENT-MORTAR IN ACCORDANCE WITH ANSI/AWWA A21.4/C104. WATER AND FIRE PROTECTION MAINS FOUR (4) INCH AND GREATER SHALL BE CLASS 52 DUCTILE IRON CEMENT LINED PIPE AND ZINC COATED. POLYETHYLENE ENCASEMENT SHALL BE INSTALLED AS ADDITIONAL MEANS OF PROTECTION. POLYETHYLENE ENCASEMENT: POLYETHYLENE ENCASEMENT SHALL BE POLYETHYLENE CONSISTING OF THREE LAYERS OF CO-EXTRUDED LINEAR LOW DENSITY POLYETHYLENE (LLDPE), FUSED INTO A SINGLE THICKNESS OF NOT LESS THAN 8 (EIGHT) MILS."
4. ALL MECHANICAL JOINT COMPONENTS WILL BE INSTALLED USING RETAINING GLANDS, SUCH AS, GRIP RING, MEGA LUG OR STAR GRIP. ALL FITTINGS (TEES, BENDS, SOLID SLEEVE ETC.) WILL BE ZINC COATED AS WELL FOR PROTECTION PER ISO 8179-2, ZINC RICH PAINT SHALL HAVE A ZINC CONTENT OF AT LEAST 85% BY WEIGHT AND SHALL BE FINISHED WITH AN EXTERIOR BITUMINOUS COATING. A MINIMUM 307SS (STAINLESS STEEL) "T" BOLTS WILL BE USED TO CONNECT ANY APPURTENANCE THAT REQUIRES THE USE OF "T" BOLTS FOR ASSEMBLY.
5. THE SERVICE CONNECTIONS SHALL BE PERPENDICULAR TO THE MAIN AND FOLLOW A STRAIGHT LINE INTO THE BUILDING.
6. GATE VALVES WILL BE DUCTILE IRON EPOXY COATED (AWWA C550), WITH O-RING SEALS, URETHANE COATED WEDGE, STAINLESS STEEL NUTS AND BOLTS, AND ANTI-ROTATION SEATS TO PREVENT T-BOLTS FROM TURNING. VALVES WILL BE OPEN RIGHT USING A TWO (2) INCH OPERATING NUT WITH AN ARROW CAST IN THE METAL.
7. ALL WATER VALVE BOX COVERS SHALL BE LABELED 'WATER'.
8. ALL WATER METERS MUST BE PURCHASED FROM THE ANDOVER WATER & SEWER DEPARTMENT. SHUT OFF VALVES ARE REQUIRED BOTH BEFORE AND AFTER THE METER. ALL METERS MUST BE INSTALLED OR REMOVED BY AN EMPLOYEE OF THE ANDOVER WATER & SEWER DEPARTMENT ONLY. ALL METERS MUST BE LOCATED WITHIN THREE (3) FEET OF WHERE THE SERVICE ENTERS THE BUILDING AND SHALL BE ACCESSIBLE FOR READING, MAINTENANCE AND REPAIR.
9. NO WATER WILL BE SUPPLIED TO ANY CONTRACTOR OR BUILDER THROUGH A WATER SERVICE WHICH HAS NOT BEEN PLACED 'IN SERVICE' BY THE ANDOVER WATER & SEWER DEPARTMENT. NO DISTRIBUTION SYSTEM COMPONENT WILL BE OPERATED BY ANYONE OTHER THAN ANDOVER WATER & SEWER DEPARTMENT PERSONNEL.
10. WATER LINES (MAINS AND SERVICE CONNECTIONS) SHALL BE PRESSURE TESTED TO 150 PSI AND HELD FOR ONE HOUR AND WITNESSED BY THE ANDOVER WATER & SEWER DEPARTMENT CONSTRUCTION FOREMAN OR HIS DESIGNEE. ALL INSTALLATIONS MUST BE INSPECTED BY THE WATER CONSTRUCTION FOREMAN OR HIS DESIGNEE. PROVIDE THE ANDOVER WATER & SEWER DEPARTMENT WITH AT LEAST 72 HOURS NOTICE FOR THE INSPECTION.
11. AS-BUILT PLANS (HARD COPIES AND DIGITAL) ARE REQUIRED PRIOR TO PLACING A NEW WATER SYSTEM IN SERVICE. AS-BUILT PLANS (CORNER TIES) AND PAYMENTS ARE DUE PRIOR TO TURNING A WATER SERVICE ON. CONTACT THE SURVEYOR AT LEAST 72 HOURS PRIOR TO INSTALLATION TO COORDINATE AN AS-BUILT SURVEY.
12. A BACKFLOW PREVENTOR SHALL BE INSTALLED ON BOTH THE FIRE AND DOMESTIC WATER SERVICES AND REGISTERED WITH THE DEPARTMENT OF PUBLIC SERVICE.



ABBREVIATION:

ACR	ACCESSIBLE CURB RAMP
BWLL	BROKEN WHITE LANE LINE
CB	CATCH BASIN
CIP	CAST-IN-PLACE
CLF	CHAIN-LINK FENCE
CW	CROSSWALK
DMH	DRAIN MAHOLE
DWLL	4" DOUBLE WHITE LANE LINE
DSL	DOUBLE SOLID YELLOW LINE
FF	FINISH FLOOR
FCC	FORMED CONCRETE CURB
HC	HANDICAP PARKING SPACE
INV.	INVERT
(M)	MEASURED
PCC	PRE CAST CONCRETE CURB
(R)	RECORD
R#	CURB RADIUS
RT-1	STOP SIGN
SB	SPEED BUMP
SSA	SNOW STORAGE AREA
SL	10" STOP LINE
SMH	SEWER MANHOLE
SWLL	4" SOLID WHITE LANE LINE
SW	MEDIUM VOLTAGE S&C SWITCH 8"x8"
T	PAD MOUNT TRANSFORMER 13'x13'
TBR	TO BE REMOVED
TYP	TYPICAL
VGC	VERTICAL GRANITE CURB

APPLICANT

ANDOVER TOWN YARD, LLC

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT

ARROWSTREET ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com

CONSULTANT

The Morin-Cameron GROUP, INC.

CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
66 ELM STREET, DANVERS, MASSACHUSETTS 01923
P. 978-777-8586 W. WWW.MORINCAMERON.COM

PROJECT INFORMATION

ANDOVER TOWN YARD

11 LEWIS ST, ANDOVER, MA 01810

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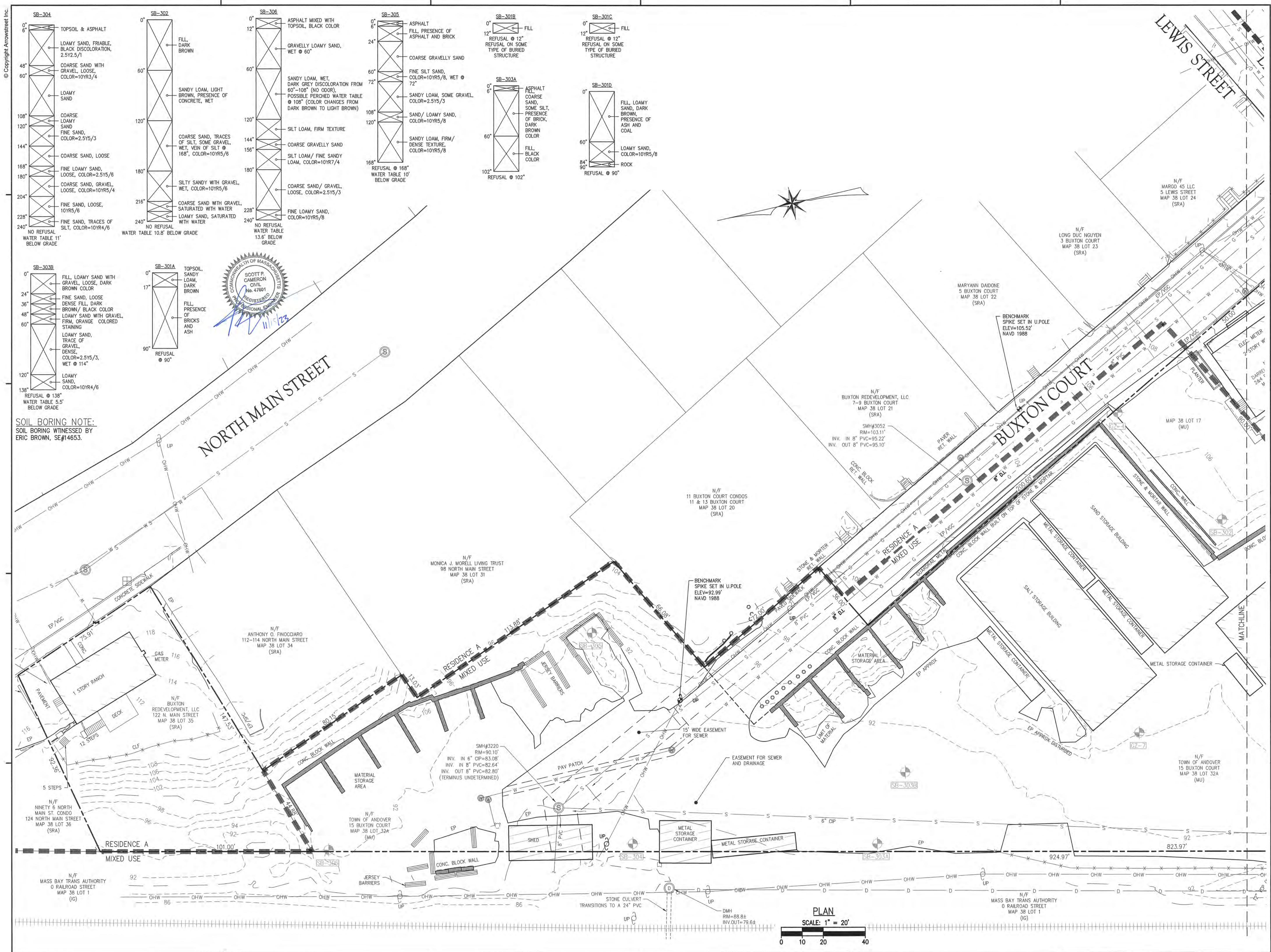
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GENERAL NOTES, LEGEND & ABBREVIATIONS

Project No.	4145
Drawn By	LNO
Date	11/15/23
Scale	AS NOTED

DRAWING NUMBER:

C1.1



SOIL BORING NOTE:
SOIL BORING WITNESSED BY
ERIC BROWN, SE#14653.



PLAN
SCALE: 1" = 20'

APPLICANT
ANDOVER TOWN YARD, LLC

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT
ARROWSTREET ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com

CONSULTANT
The Morin-Cameron GROUP, INC.

CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
48 ELM STREET, BARNES, MASSACHUSETTS 01923
P: 978-777-8886, W: WWW.MORINCAMERON.COM

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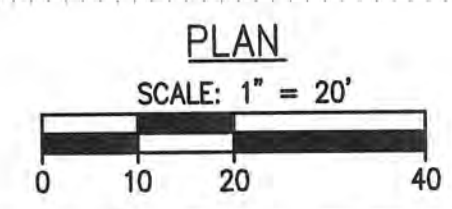
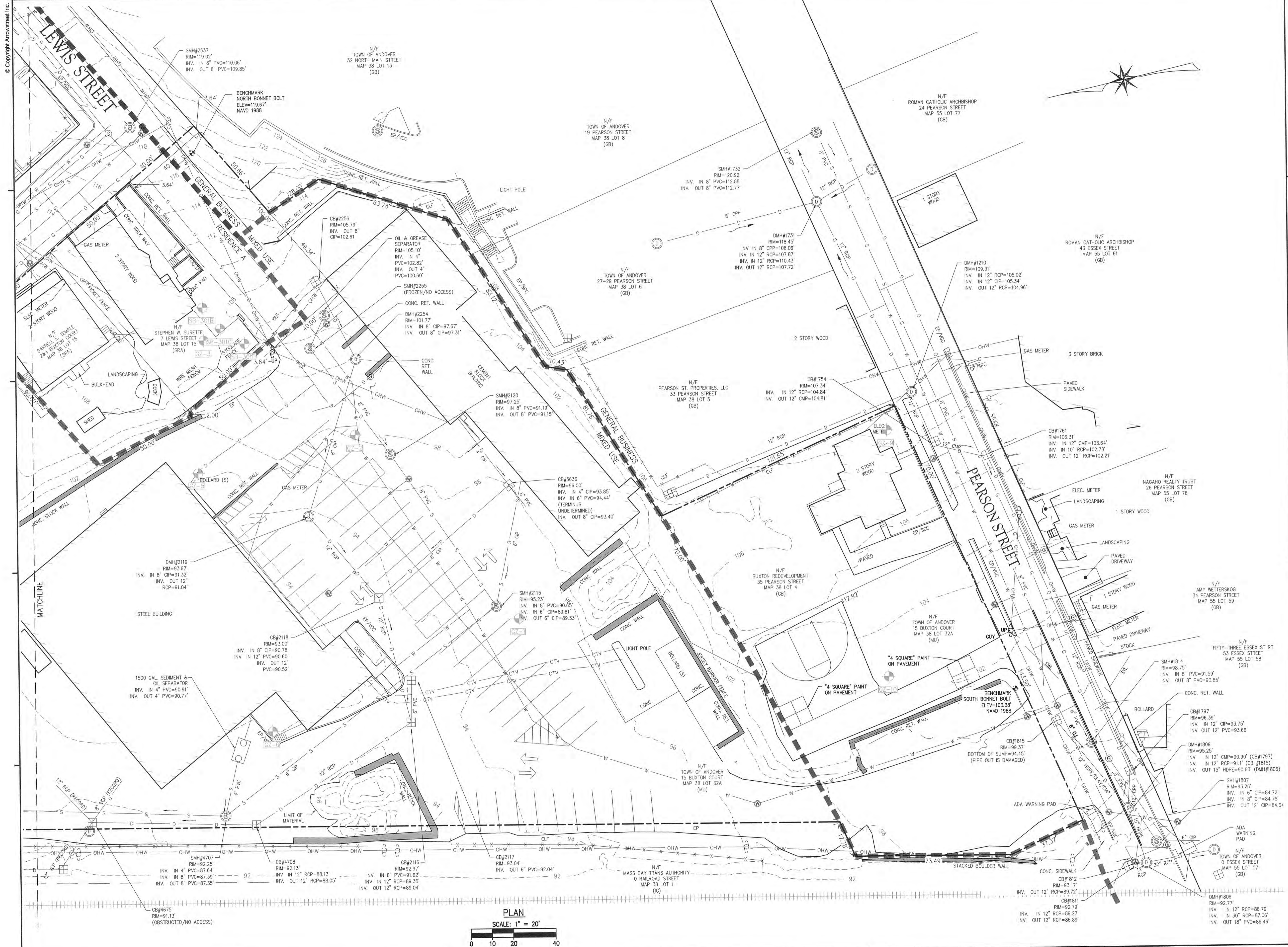
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Project No. 4145
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Date 11/15/23
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APPLICANT
ANDOVER TOWN YARD, LLC
 231 SUTTON STREET, SUITE 1B
 NORTH ANDOVER, MA 01845

ARCHITECT
ARROWSTREET ARCHITECTURE & DESIGN
 10 POST OFFICE SQUARE
 SUITE 700N
 BOSTON MA 02109
 617.623.5555
 arrowstreet.com

CONSULTANT

The Morin-Cameron GROUP, INC.
 CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
 LAND SURVEYORS | LAND USE PLANNERS
 40 ELM STREET, DUNWOODY, MASSACHUSETTS 01923
 P: 978-777-8888, W: WWW.MORINCAMERON.COM

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Project No. **4145**
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 Date **11/15/23**
 Scale **AS NOTED**

DRAWING NUMBER:
C2.1

SCS SOIL DESCRIPTIONS
100% 602: URBAN LAND, HSG B

WATERSHED LEGEND

- TIME OF CONCENTRATION FLOW PATH
- WATERSHED BOUNDARY
- SCS SOIL BOUNDARY
- DESIGN POINT
- SUBCATCHMENT

WATERSHED LEGEND

- 3.9% WOODS CN 55
- 8.7% OPEN SPACE CN 61
- 11.2% ROOF CN 98
- 38.8% ASPHALT & CONC. PAVEMENT AND WALLS CN 98
- 8.4% GRAVEL CN 85
- 29% 1/8 ACRE DEVELOPMENT (OFF-SITE) CN 85



APPLICANT

ANDOVER TOWN YARD, LLC

231 SUTTON STREET, SUITE 1E
NORTH ANDOVER, MA 01845

ARCHITECT

ARROWSTREE ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com

CONSULTANT

The Morin-Cameron GROUP, INC.

CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
68 ELM STREET, DANVERS, MASSACHUSETTS 01923
P: 978-777-8586, W: WWW.MORINCAMERON.COM

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11 LEWIS ST, ANDOVER, MA 018

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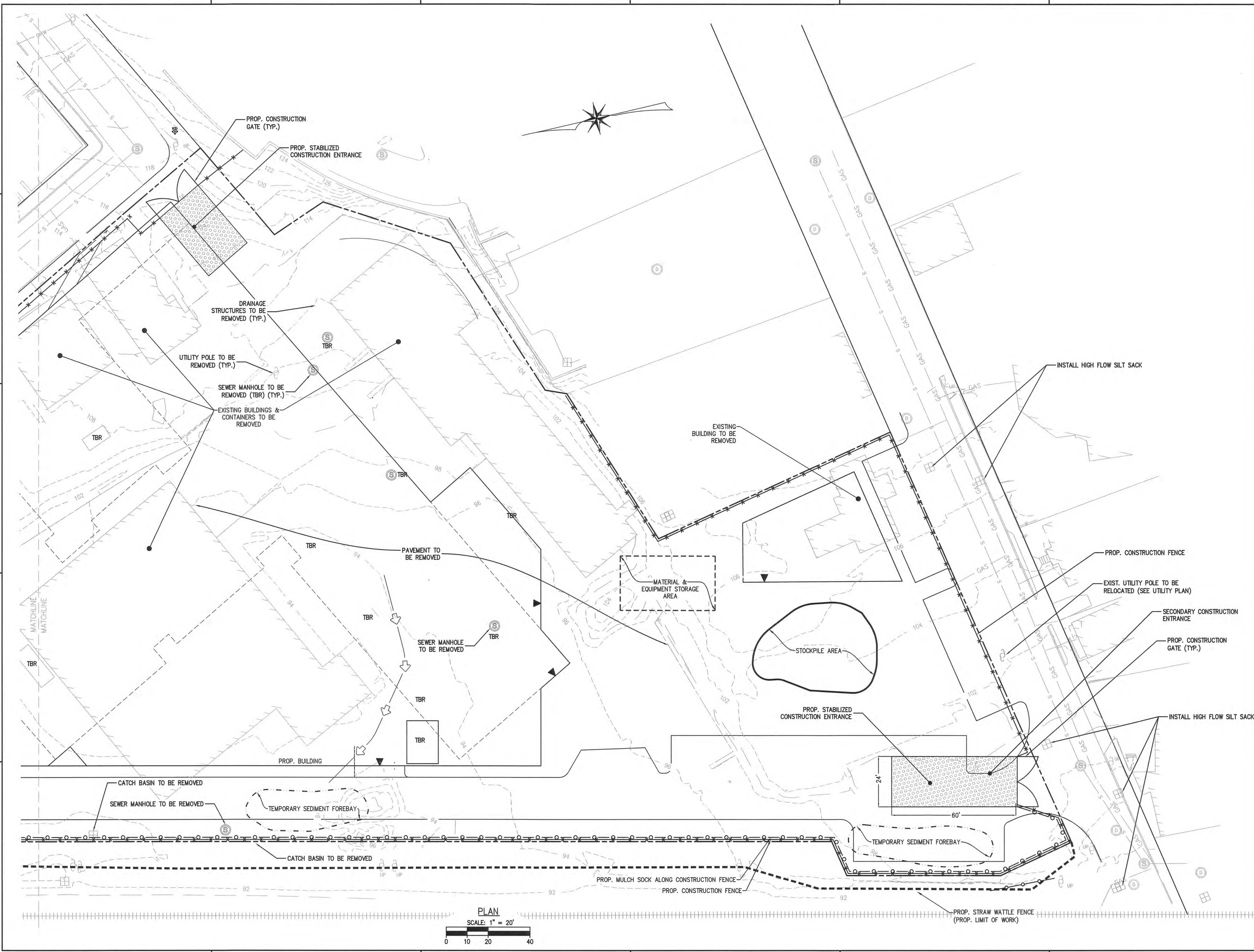
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PRE-DEVELOPMENT WATERSHED

Project No. 4144
Drawn By LNI
Date 11/15/2
Scale AS NOTE

DRAWING NUMBER:

C2.2



PLAN
SCALE: 1" = 20'

APPLICANT
ANDOVER TOWN YARD, LLC

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT
ARROWSTREET ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com

CONSULTANT
The Morin-Cameron GROUP, INC.
CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
86 ELM STREET, DANVERS, MASSACHUSETTS 01923
P. 978-777-8586, W. WWW.MORINCAMERON.COM

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11 LEWIS ST, ANDOVER, MA 01810

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No.	Date	Description

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DEMOLITION & SITE PREPARATION PLAN

Project No. 4145
Drawn By LNO
Date 11/15/23
Scale AS NOTED

DRAWING NUMBER:
C3.1



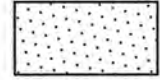

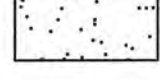

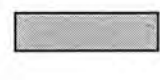
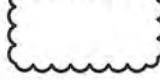


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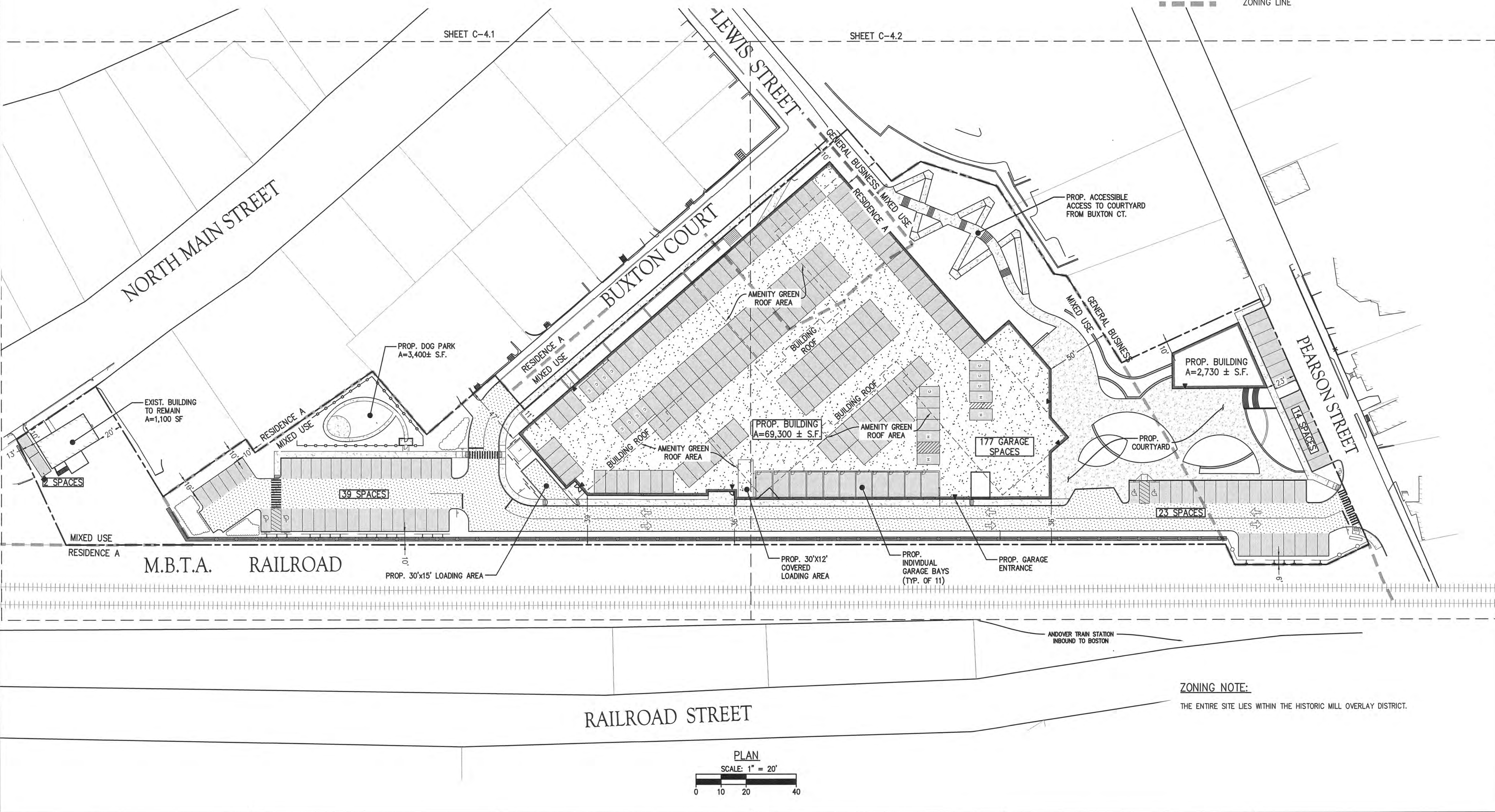
DIMENSIONAL & DENSITY TABLE HISTORIC MILL OVERLAY DISTRICT (HMOD)		
CRITERIA	HISTORIC MILL OVERLAY DISTRICT	PROPOSED
LOT AREA	0.5 ACRES	4.125 AC ±
MIN. DENSITY	40 UNITS/ACRE (165 UNITS) (1)	164 + 1 UNITS
MINIMUM FRONTAGE	-	213.51' FEET (PEARSON ST) 360.60 FEET (BUXTON CT) 40.0' (LEWIS ST) 75.91' (N MAIN ST)
MIN. FRONT SETBACK	8 FEET FROM CURB LINE TO ANY COMMERCIAL BUILDING	23.5 FEET (PEARSON ST) 10 FEET (BUXTON CT)
MIN. SIDE SETBACK	-	10 FEET
MIN. REAR SETBACK	-	>200 FEET
MAXIMUM BUILDING HEIGHT	65 FEET	55'-6" (RESIDENTIAL BUILDING) 24'-0" (COMMUNITY BUILDING)
MAXIMUM BUILDING COVERAGE	75%	41%±

(1) SECTION 8.5.5. OF THE ANDOVER ZONING BYLAW: THE MINIMUM REQUIREMENT FOR A RESIDENTIAL USE IN THE HMOD IS THREE THOUSAND SQUARE FEET OF LOT AREA PER DWELLING UNIT. THE PLANNING BOARD MAY, IN ITS DISCRETION, ACCORDING TO THE CHARACTERISTICS OF ANY PARTICULAR LOT, ALLOW LESS THAN THE 3,000 SQUARE FEET IF LOT AREA PER DWELLING UNIT, WITH AN UPPER LIMIT OF (40) UNITS PER ACRE.

PARKING REQUIREMENTS				
DESCRIPTION	PARKING EQUATION	SIZE	REQ. SPACES	PROVIDED
PROP. RESIDENTIAL USE	1 SPACE PER DWELLING UNIT	164 + 1 DWELLINGS	165	236
PROP. NON-RESIDENTIAL USE	2 SPACES PER SQUARE FEET OF GROSS FLOOR AREA	800 SF RETAIL 2,730 COMMUNITY BUILDING 3,400 SF DOG PARK	7	19
TOTAL			172	255 (76 SURFACE & 177 GARAGE)

LEGEND:

-  BUILDING FOUNDATION
-  CONCRETE
-  BIT. PAVEMENT
-  PARKING SPACE
-  CONCRETE GARAGE SLAB
-  OPEN SPACE/LANDSCAPE
-  RET. WALL
-  SNOW STORAGE
-  LIMIT OF SITE BOUNDARY
-  ZONING LINE



ZONING NOTE:

THE ENTIRE SITE LIES WITHIN THE HISTORIC MILL OVERLAY DISTRICT.

APPLICANT

ANDOVER TOWN YARD, LLC

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT

ARROWSTREET ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com

CONSULTANT

The Morin-Cameron GROUP, INC.

CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
16 ELM STREET, ANDOVER, MASSACHUSETTS 01922
P. 978-777-8886, W. WWW.MORINCAMERON.COM

PROJECT INFORMATION

ANDOVER TOWN YARD

11 LEWIS ST, ANDOVER, MA 01810

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No.	Date	Description

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ZONING ANALYSIS PLAN

Project No.	4145
Drawn By	LNO
Date	11/15/23
Scale	AS NOTED

DRAWING NUMBER:

C4.0

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ANDOVER TOWN YARD, LLC

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT

ARROWSTREET ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE

SUITE 700N

BOSTON MA 02109

617.623.5555

arrowstreet.com

CONSULTANT

The Morin-Cameron GROUP, INC.

CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
16 ELM STREET, BANGOR, MASSACHUSETTS 04402
P: 978-777-8586, W: WWW.MORINCAMERON.COM

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ANDOVER TOWN YARD

11 LEWIS ST, ANDOVER, MA 01810

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REVISIONS

No.	Date	Description

DRAWING TITLE

SITE LAYOUT PLAN

Project No. 4145

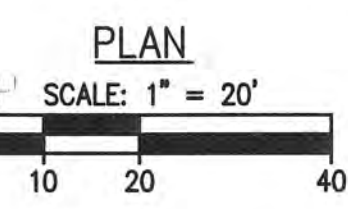
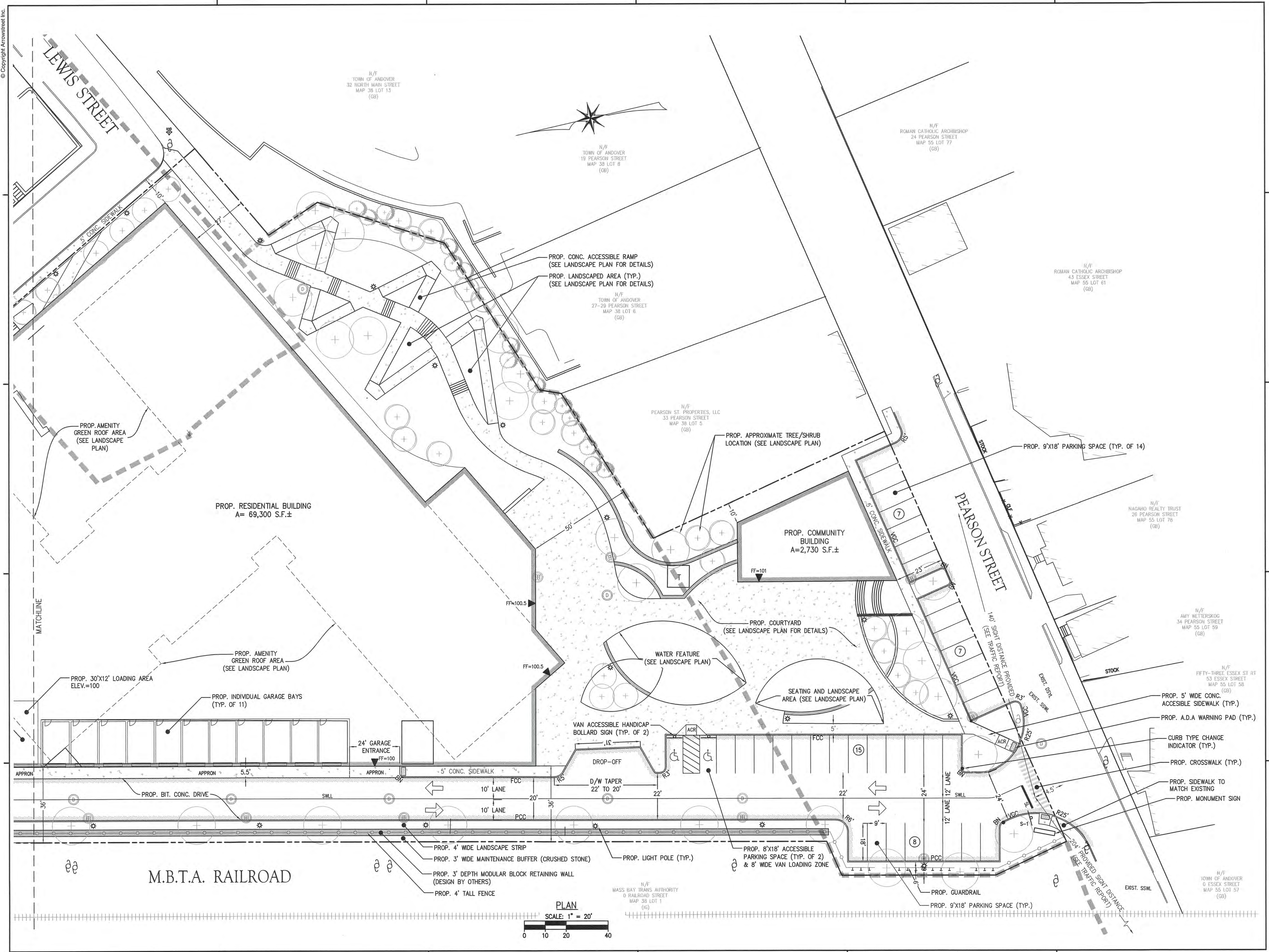
Drawn By LNO

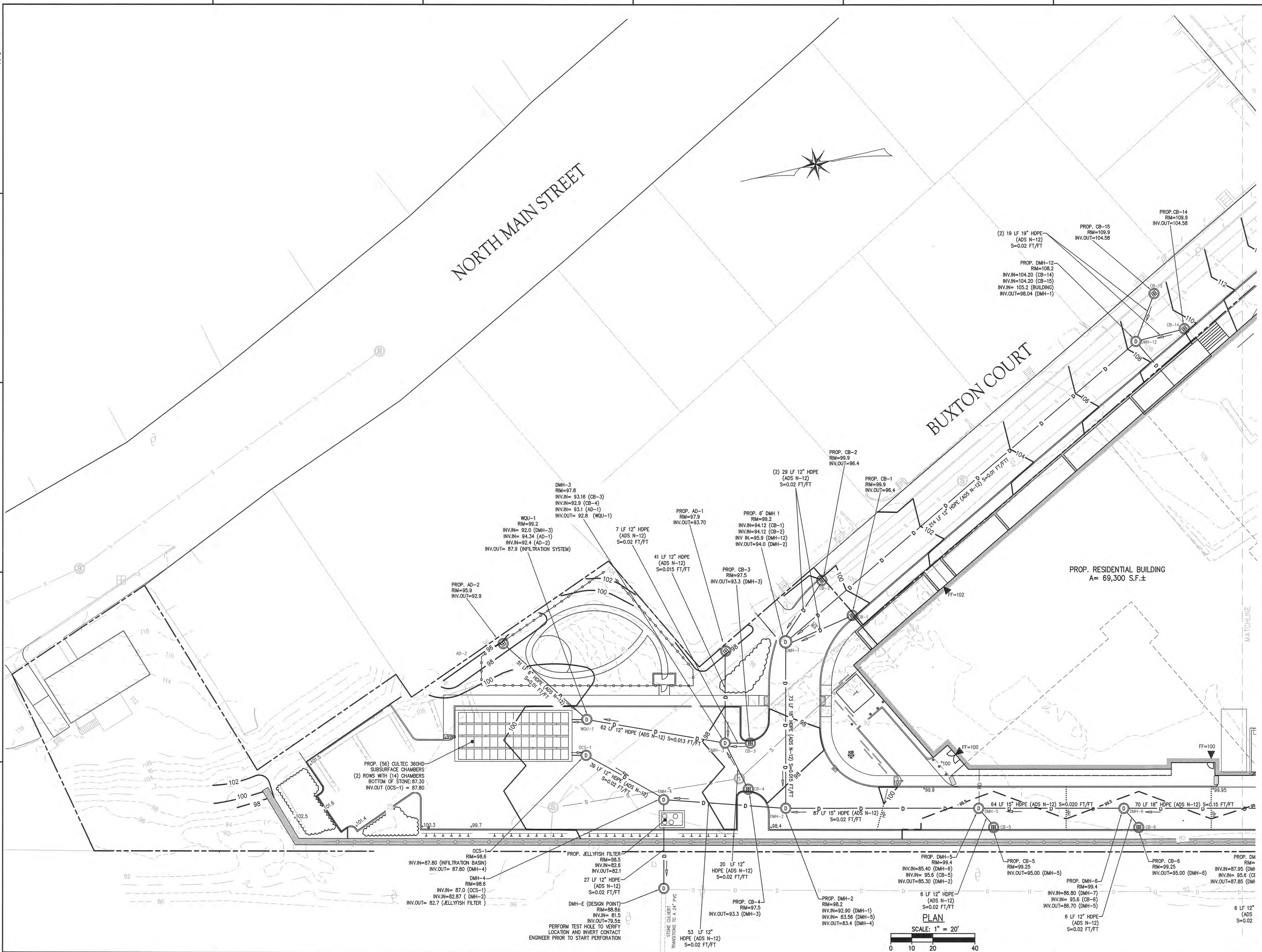
Date 11/15/23

Scale AS NOTED

DRAWING NUMBER:

C4.2





APPLICANT

ANDOVER TOWN YARD, LLC

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT

ARROWSTREET ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com

CONSULTANT

The Morin-Cameron GROUP, INC.

CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
66 ELM STREET, DAVENPORT, MASSACHUSETTS 01923
P: 978-777-8586, W: WWW.MORINCAMERON.COM

PROJECT INFORMATION

ANDOVER TOWN YARD

11 LEWIS ST, ANDOVER, MA 01810

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No.	Date	Description

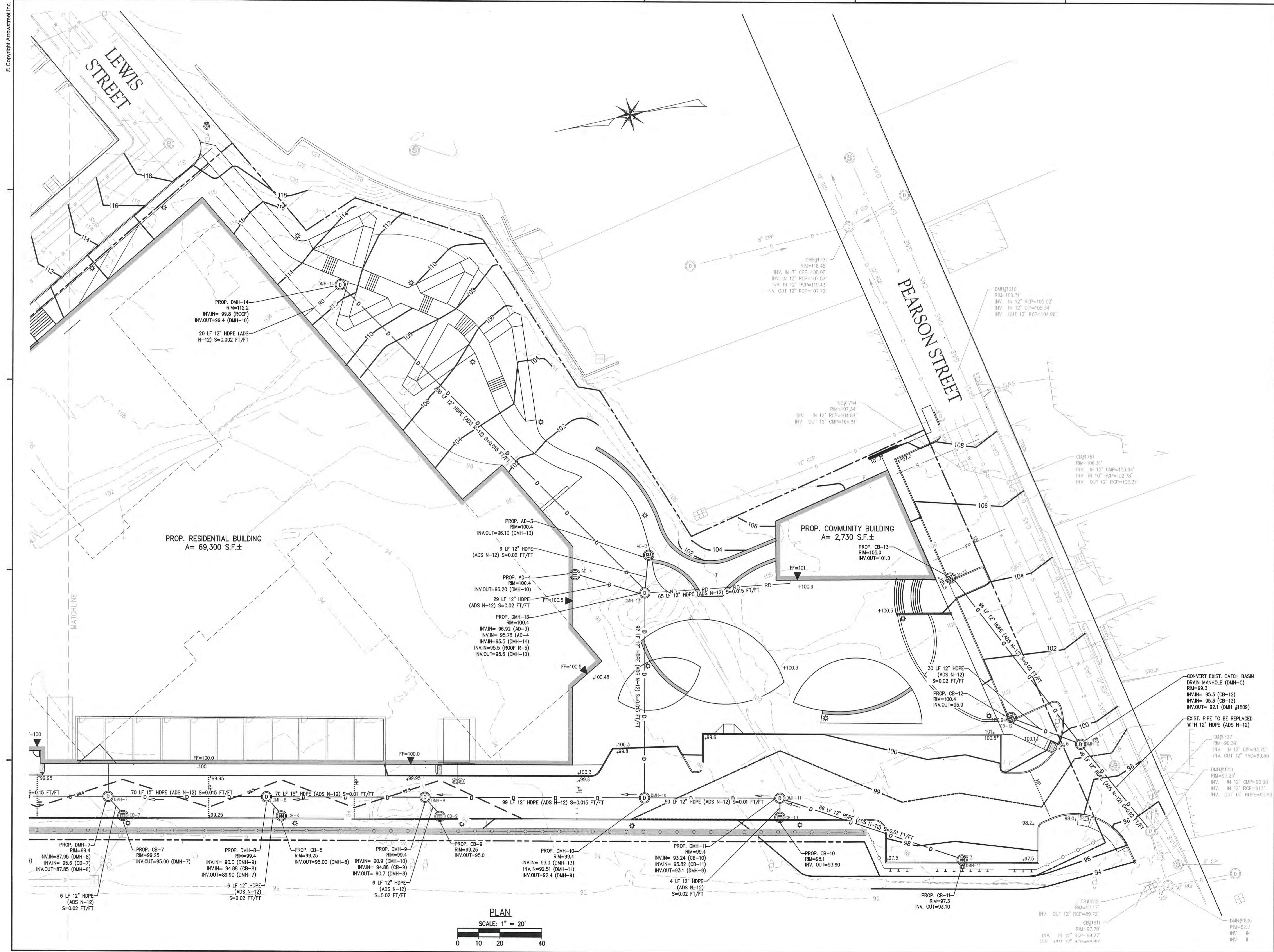
DRAWING TITLE

GRADING AND DRAINAGE PLAN

Project No.	4145
Drawn By	LNO
Date	11/15/23
Scale	AS NOTED

DRAWING NUMBER:

C5.0



APPLICANT

ANDOVER TOWN YARD, LLC

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT
ARROWSTREET
ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com

CONSULTANT

The Morin-Cameron GROUP, INC.

CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
16 BUA STREET, DANVERS, MASSACHUSETTS 01923
P: 978-777-8550, W: WWW.MORINCAMERON.COM

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11 LEWIS ST, ANDOVER, MA 01810

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No.	Date	Description

DRAWING TITLE

GRADING AND DRAINAGE PLAN

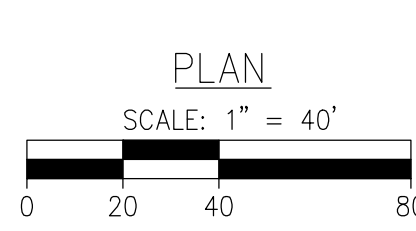
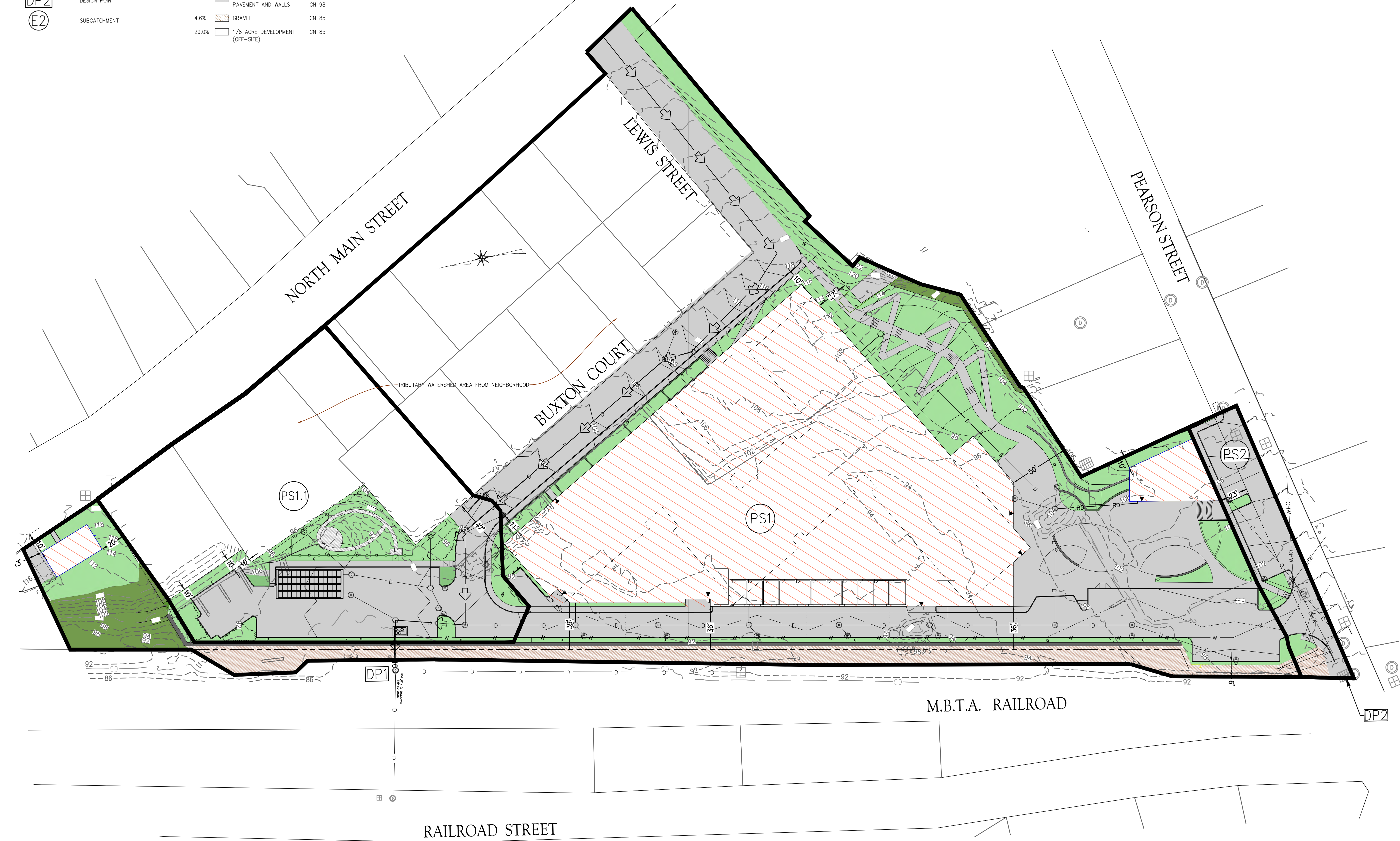
Project No.	4145
Drawn By	LNO
Date	11/15/23
Scale	AS NOTED

DRAWING NUMBER:

C5.1

SCS SOIL DESCRIPTIONS
 TOPO 602 URBAN LAND, HSG UNKNOWN

WATERSHED LEGEND		WATERSHED LEGEND	
	TIME OF CONCENTRATION FLOW PATH	1.8%	WOODS CN 55
	WATERSHED BOUNDARY	13%	GRASS CN 79
	SCS SOIL BOUNDARY	23.3%	ROOF CN 98
	DESIGN POINT	28.3%	ASPHALT & CONC. PAVEMENT AND WALLS CN 98
	SUBCATCHMENT	4.6%	GRAVEL CN 85
		29.0%	1/8 ACRE DEVELOPMENT (OFF-SITE) CN 85



APPLICANT
ANDOVER TOWN YARD, LLC

231 SUTTON STREET, SUITE 1E
 NORTH ANDOVER, MA 01845

ARCHITECT
ARROWSTREET
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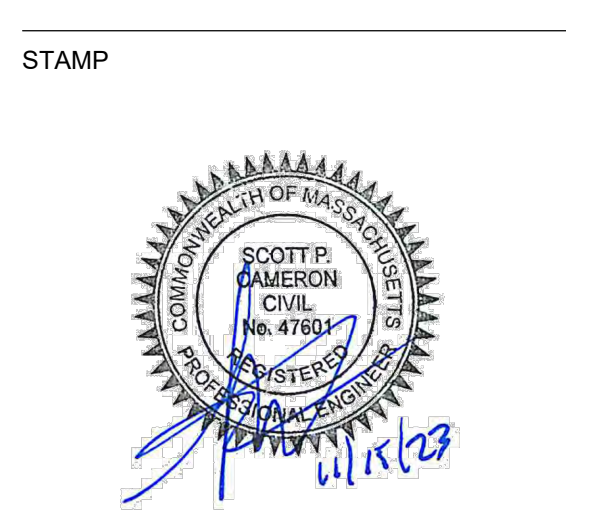
10 POST OFFICE SQUARE
 SUITE 700N
 BOSTON MA 02109
 617.623.5555
 arrowstreet.com

CONSULTANT
The Morin-Cameron GROUP, INC.
 CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
 LAND SURVEYORS | LAND USE PLANNERS
 68 ELM STREET, DANVERS, MASSACHUSETTS 01923
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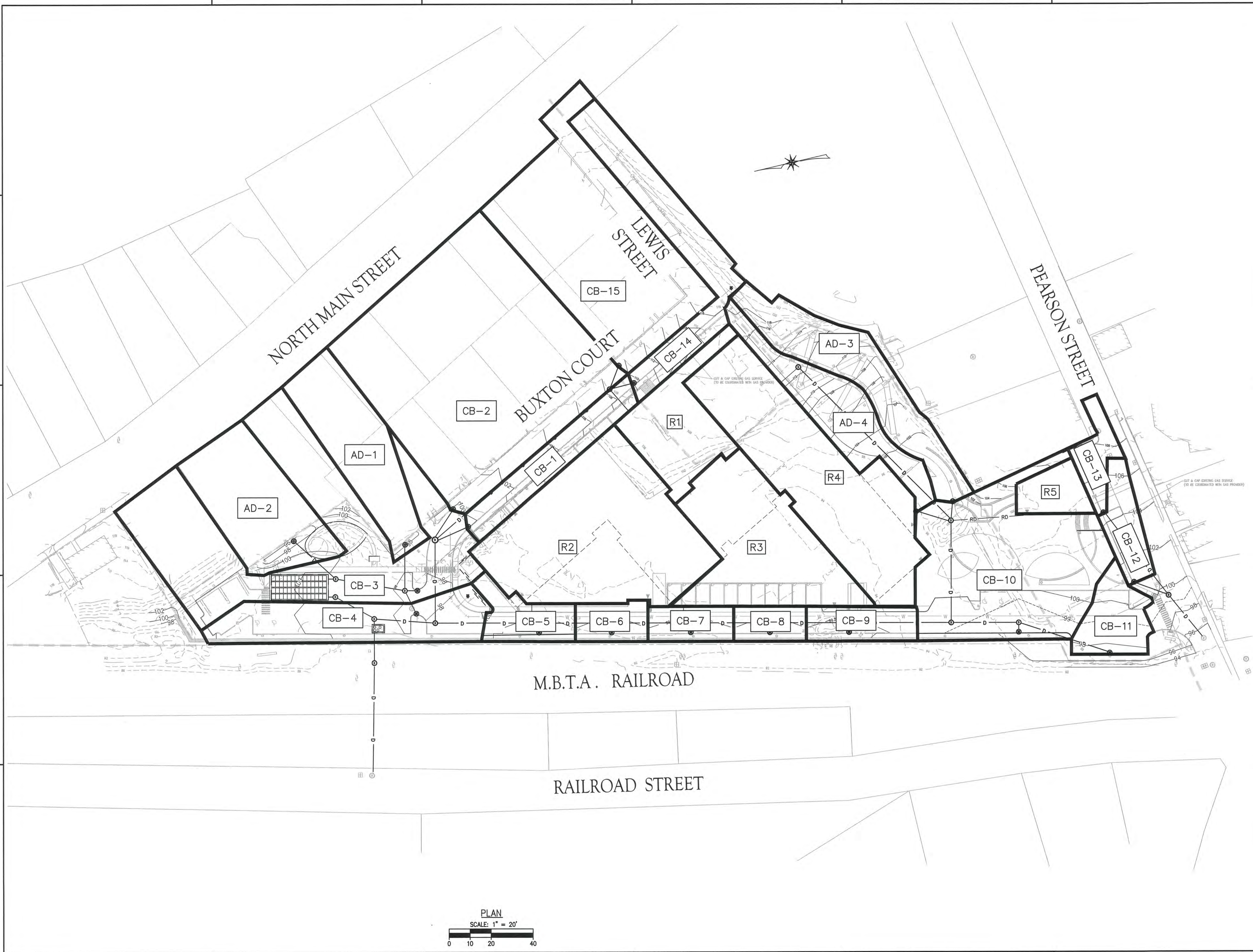
REVISIONS

No.	Date	Description

DRAWING TITLE
POST DEVELOPMENT WATERSHED

Project No. 4144
 Drawn By LNI
 Date 11/15/23
 Scale AS NOTE

DRAWING NUMBER:
C5.2



APPLICANT

ANDOVER TOWN YARD, LLC

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT

ARROWSTREET ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com

CONSULTANT

The Morn-Cameron GROUP, INC.

CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
88 ELM STREET, DANVERS, MASSACHUSETTS 01923
P: 978-777-8588, W: WWW.MORNCAMERON.COM

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No.	Date	Description

DRAWING TITLE

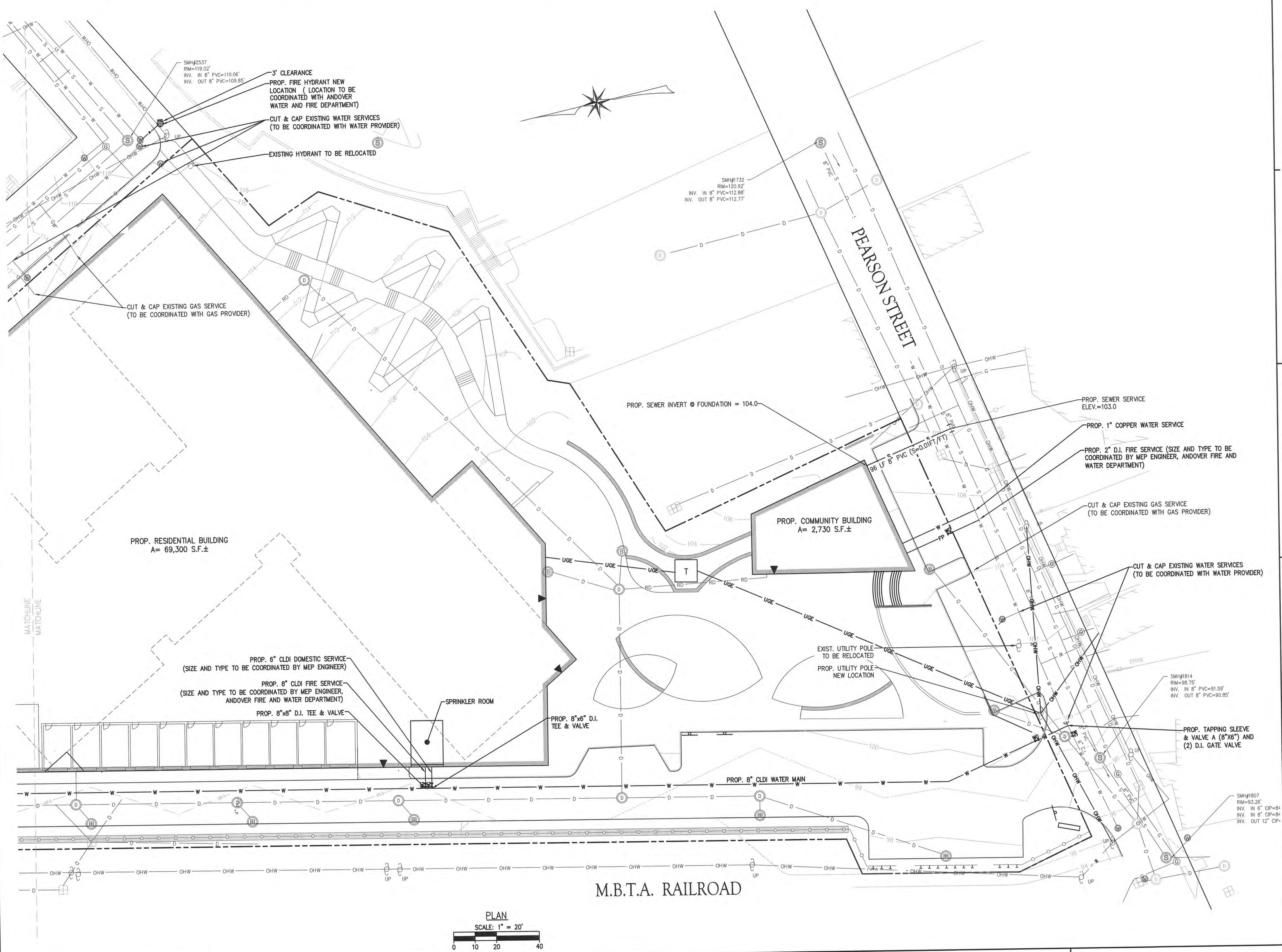
RATIONAL CALCULATION AREAS PLAN

Project No.	4145
Drawn By	LNO
Date	11/15/23
Scale	AS NOTED

DRAWING NUMBER:

C5.3

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ANDOVER TOWN YARD, LLC

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT

ARROWSTREET ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109

617-623-5555
arrowstreet.com

CONSULTANT

The Morin-Cameron GROUP, INC.

CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
66 ELM STREET, DANVERS, MASSACHUSETTS 01923
P: 978-777-8886, W: WWW.MORINCAMERON.COM

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No.	Date	Description

DRAWING TITLE

UTILITY PLAN

Project No. 4145

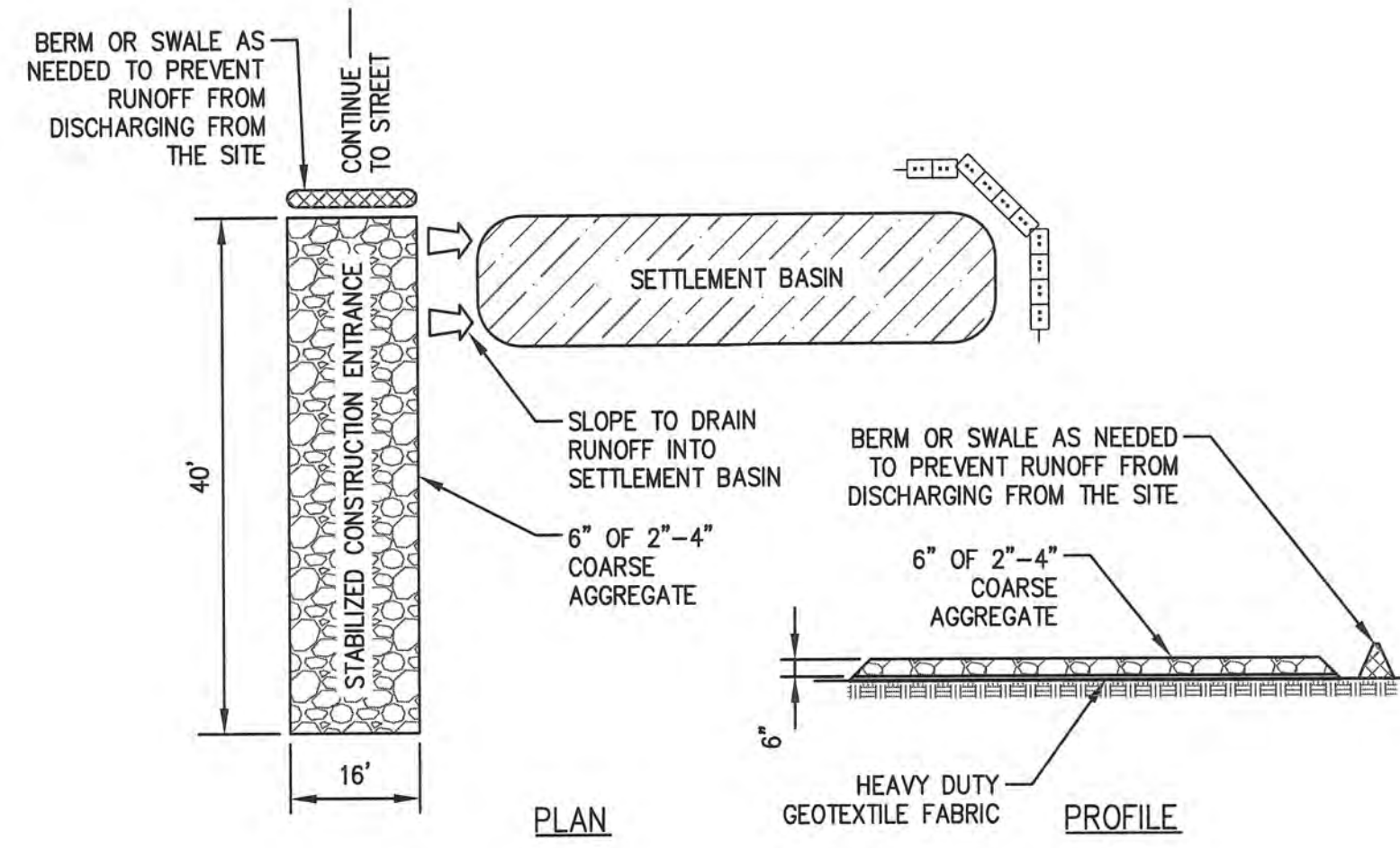
Drawn By LNO

Date 11/15/23

Scale AS NOTED

DRAWING NUMBER:

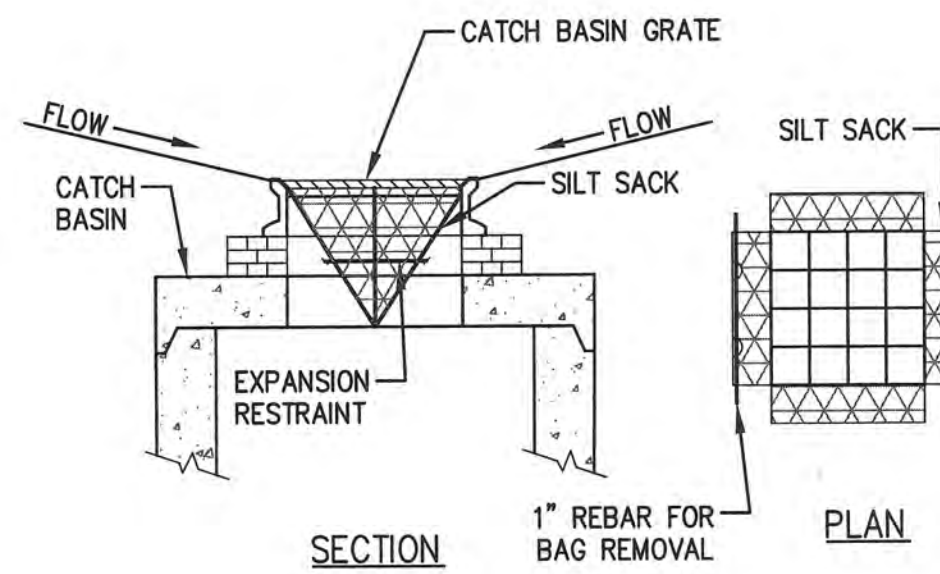
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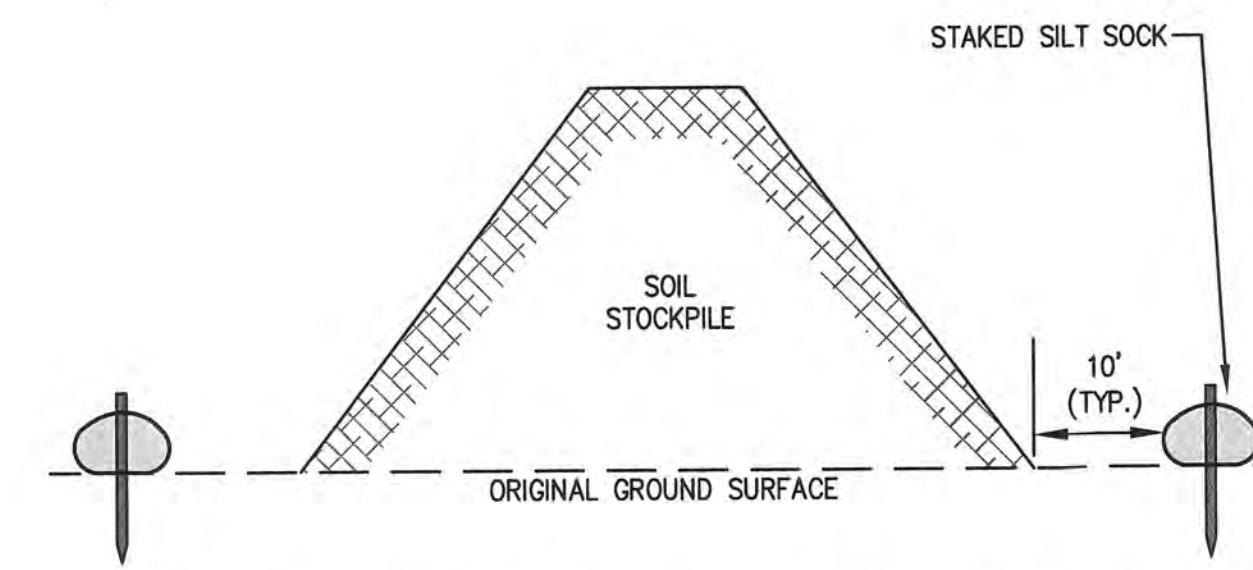
- SITE CONSTRUCTION EXIT SPECIFICATIONS FOR BOSTON WAY:**
- STONE FOR STABILIZATION CONSTRUCTION ENTRANCE SHALL BE 2"-4" STONE.
 - THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 40 FEET.
 - THE WIDTH OF THE ENTRANCE SHALL BE NO LESS THAN THE WIDTH OF THE INGRESS OR EGRESS DRIVE, OR 16 FEET, WHICHEVER IS GREATER.
 - GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE.
 - ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARDS THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH MINIMUM 1 TO 5 SLOPES THAT CAN BE CROSSED BY VEHICLES CAN BE SUBSTITUTED.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO RIGHTS OF WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT, SEDIMENT SPILLED, WASHED OR TRACKED ONTO THE RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
(NOT TO SCALE)

- SILT SACK NOTES:**
- INSTALL SILT SACKS IN EXISTING CATCH BASINS. INSTALL SILT SACKS IN NEW CATCH BASINS AFTER INSTALLATION.
 - GRATES TO BE PLACED OVER SILT SACKS.
 - SILT SACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED WHEN DEPTH OF SEDIMENT IS WITHIN 6" OF GRATE.

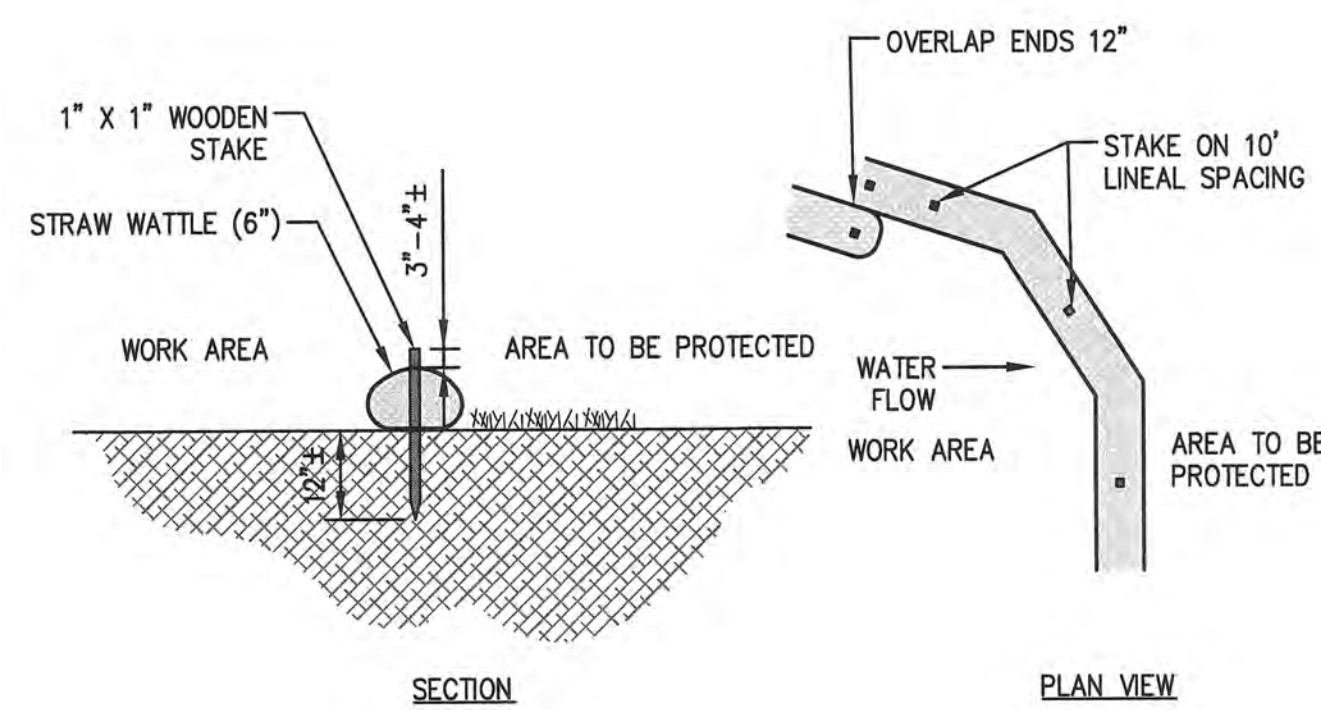


SILT SACK SEDIMENT TRAP
(NOT TO SCALE)

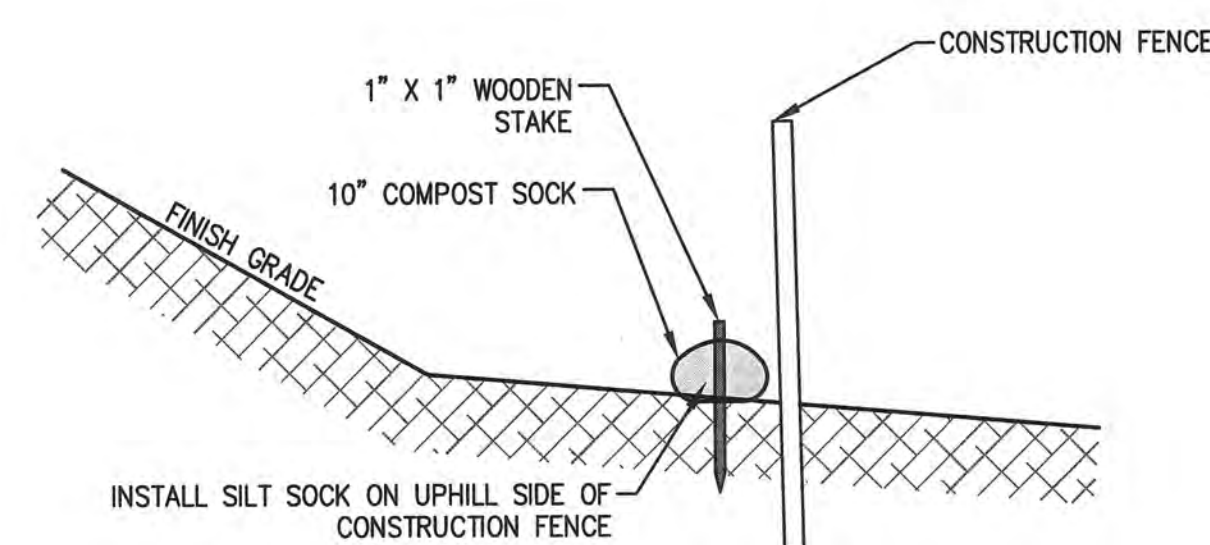


- NOTES:**
- SILT SOCK TO EXTEND AROUND ENTIRE PERIMETER OF STOCKPILE IF ON LEVEL GROUND OR TO EXTEND AROUND DOWNGRADIENT PORTION STOCKPILE IS ON SLOPE.
 - IF THE STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS IT SHALL BE STABILIZED WITH AN EROSION CONTROL BLANKET OR SEEDING (IF LOAM).
 - INSPECTION OF SILT SOCKS SHALL BE AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF 1/2". REPAIR OR REPLACEMENT OF SILT SOCK SHALL BE MADE PROMPTLY AS NEEDED.
 - SEDIMENT TRAPPED BY SILT SOCKS SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN SEDIMENT DEPTH REACHES 12".
 - SILT SOCKS SHALL BE MAINTAINED UNTIL STOCKPILE IS ELIMINATED.

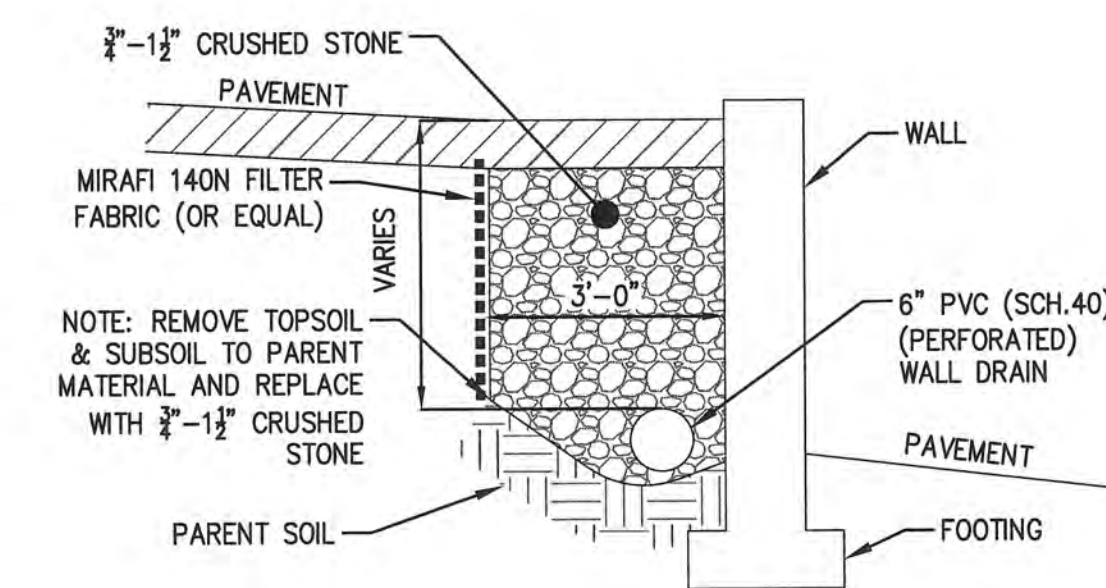
TEMPORARY SOIL STOCKPILE
(NOT TO SCALE)



STRAW WATTLE
(NOT TO SCALE)



MULCH SOCK BACKED WITH
CONSTRUCTION FENCE
(NOT TO SCALE)



WALL DRAIN DETAIL
(NOT TO SCALE)

APPLICANT

ANDOVER TOWN YARD, LLC

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT

ARROWSTREET ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com

CONSULTANT

The Morin-Cameron GROUP, INC.

CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
66 ELM STREET, DANVERS, MASSACHUSETTS 01923
P. 978-777-8566, W. WWW.MORINCAMERON.COM

PROJECT INFORMATION

ANDOVER TOWN YARD

11 LEWIS ST, ANDOVER, MA 01810

ISSUANCE

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REVISIONS

No.	Date	Description

DRAWING TITLE

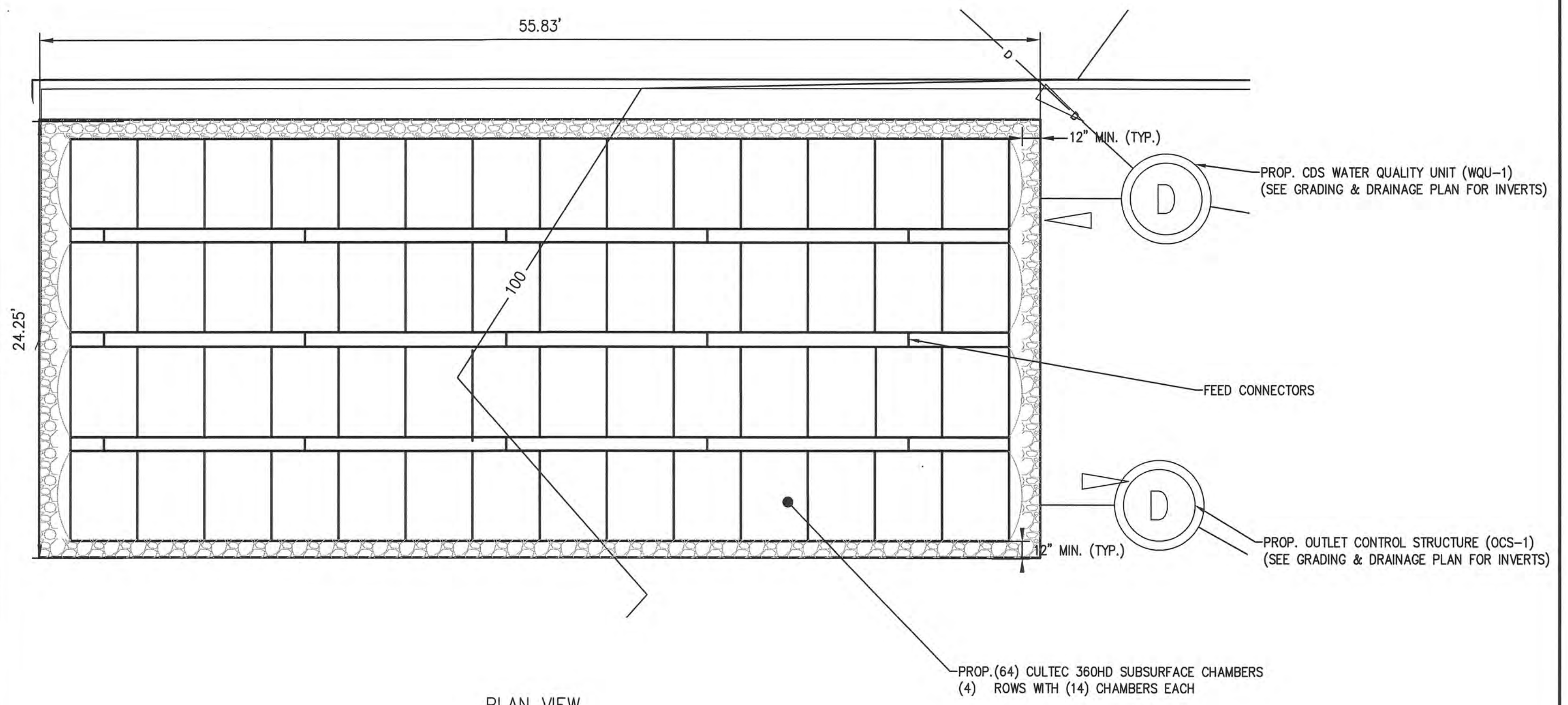
CONSTRUCTION DETAILS - EROSION CONTROL

Project No. 4145
Drawn By LNO
Date 11/15/23
Scale AS NOTED

DRAWING NUMBER:

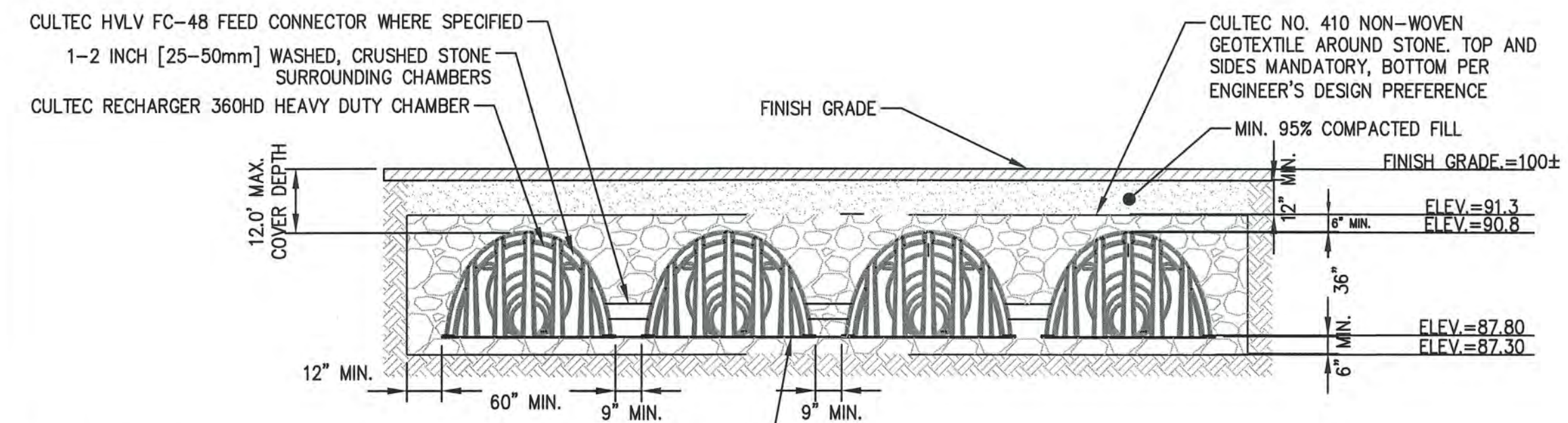
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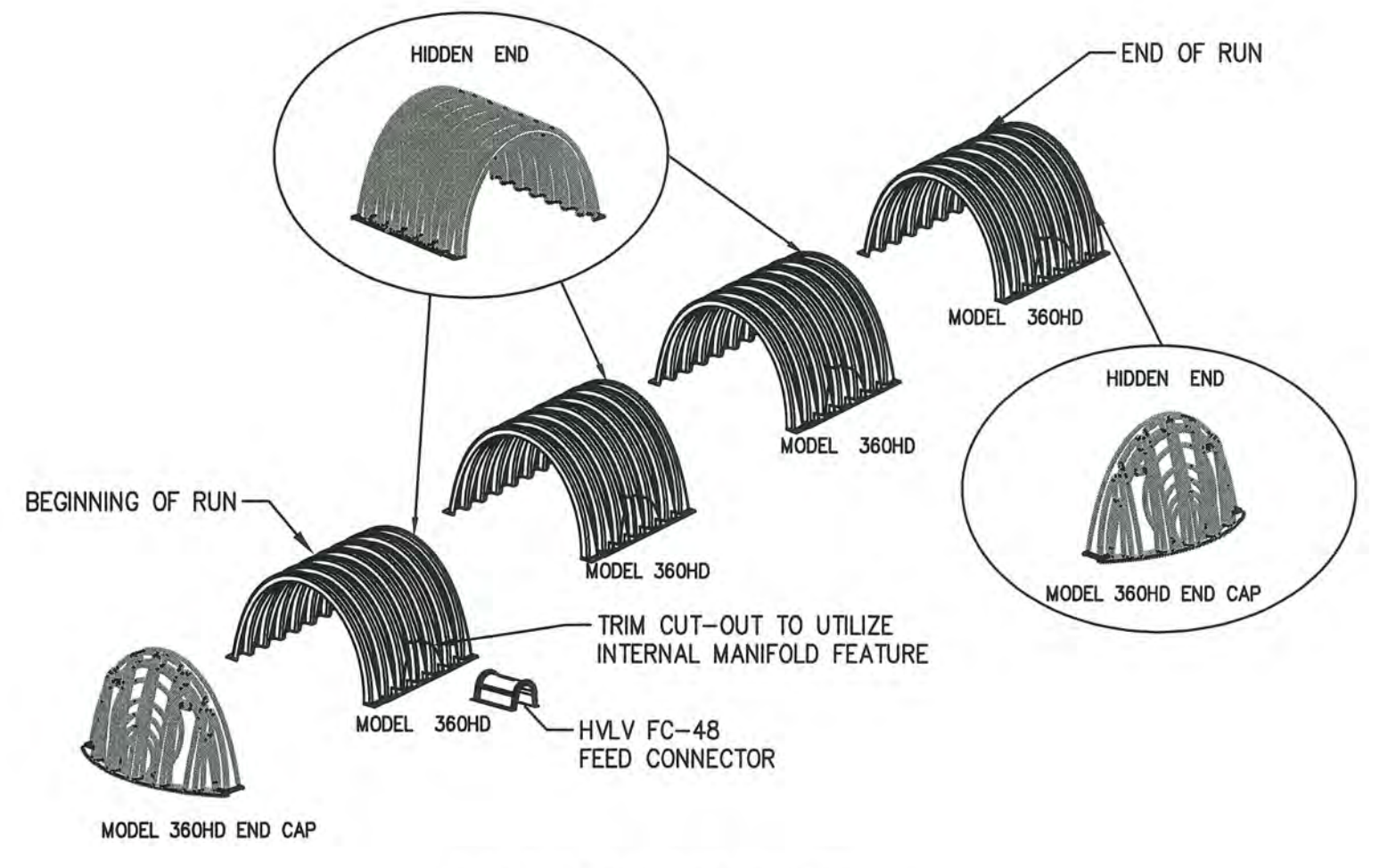


PLAN VIEW
(SCALE: 1"=5')

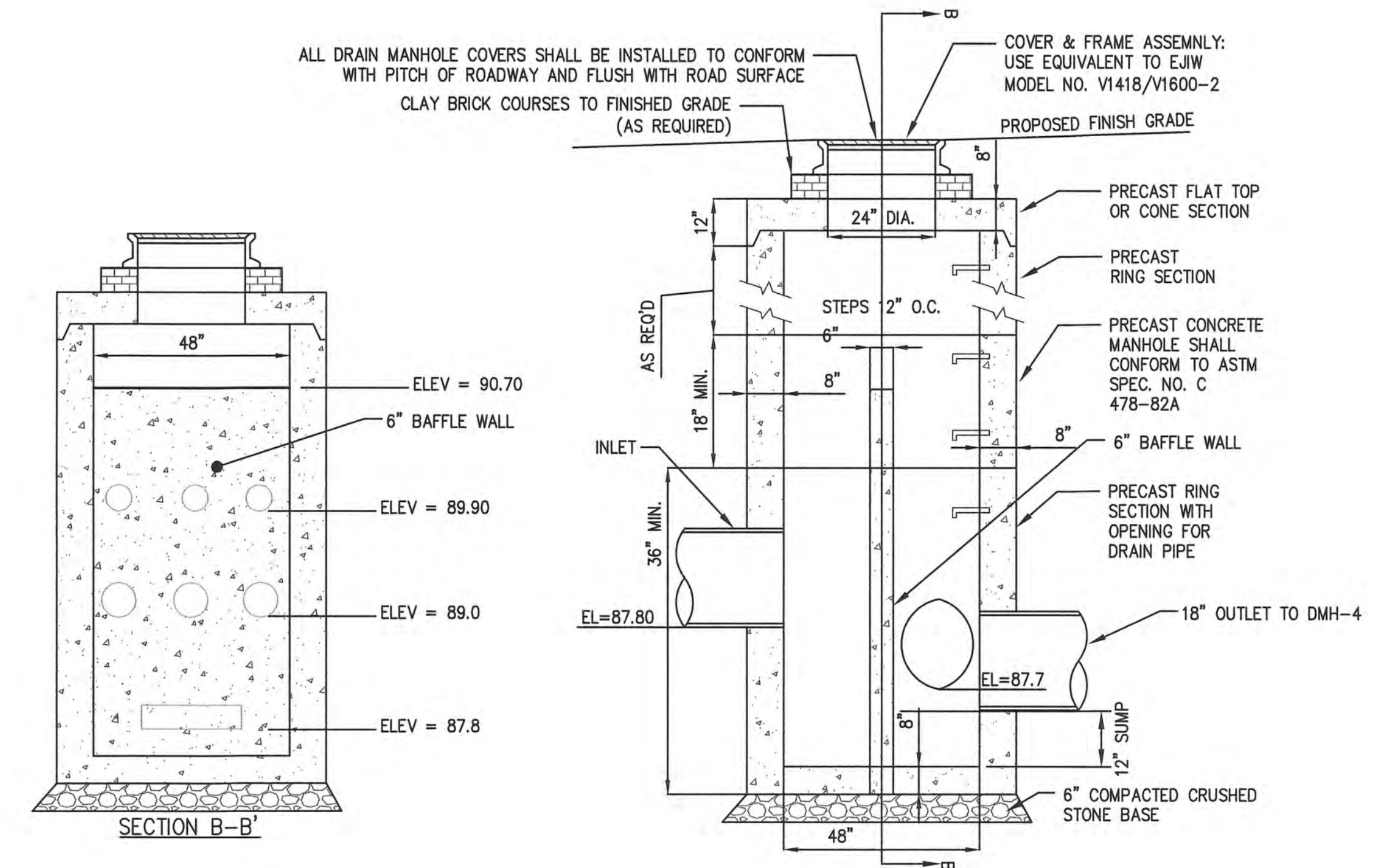
- NOTES:
- THE CHAMBERS SHALL BE DESIGNED AND TESTED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS." THE LOAD CONFIGURATION SHALL INCLUDE:
 - INSTANTANEOUS AASHTO DESIGN TRUCK LIVE LOAD AT MINIMUM COVER
 - MAXIMUM PERMANENT (50-YEAR) COVER LOAD
 - 1-WEEK PARKED AASHTO DESIGN TRUCK LOAD
 - THE CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F3430-20 "STANDARD SPECIFICATION FOR CELLULAR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS"
 - THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE RESISTANCE TO THE LOADS AND LOAD FACTORS AS DEFINED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12, WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS. THE STRUCTURAL DESIGN OF THE CHAMBERS SHALL INCLUDE THE FOLLOWING:
 - THE CREEP MODULUS SHALL BE 50-YEAR AS SPECIFIED IN ASTM F3430
 - THE MINIMUM SAFETY FACTOR FOR LIVE LOADS SHALL BE 1.75
 - THE MINIMUM SAFETY FACTOR FOR DEAD LOADS SHALL BE 1.95



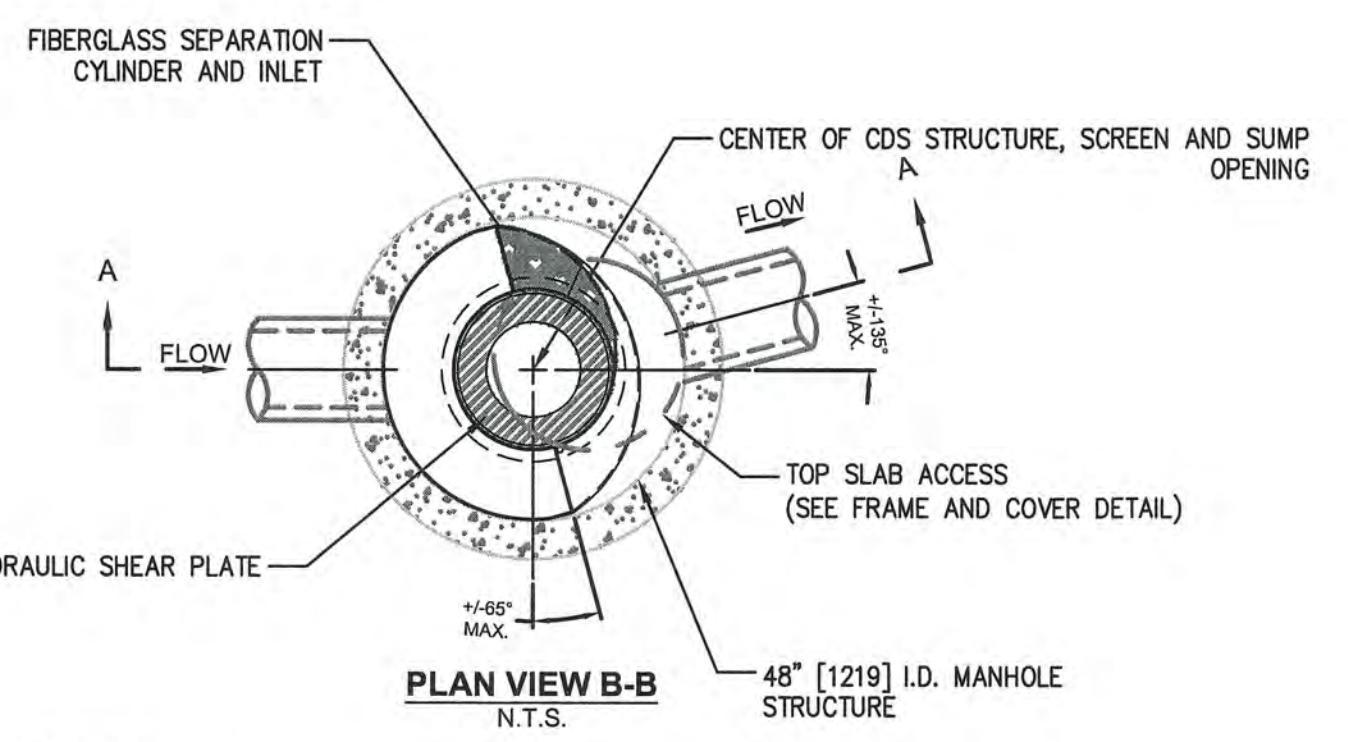
CROSS SECTION



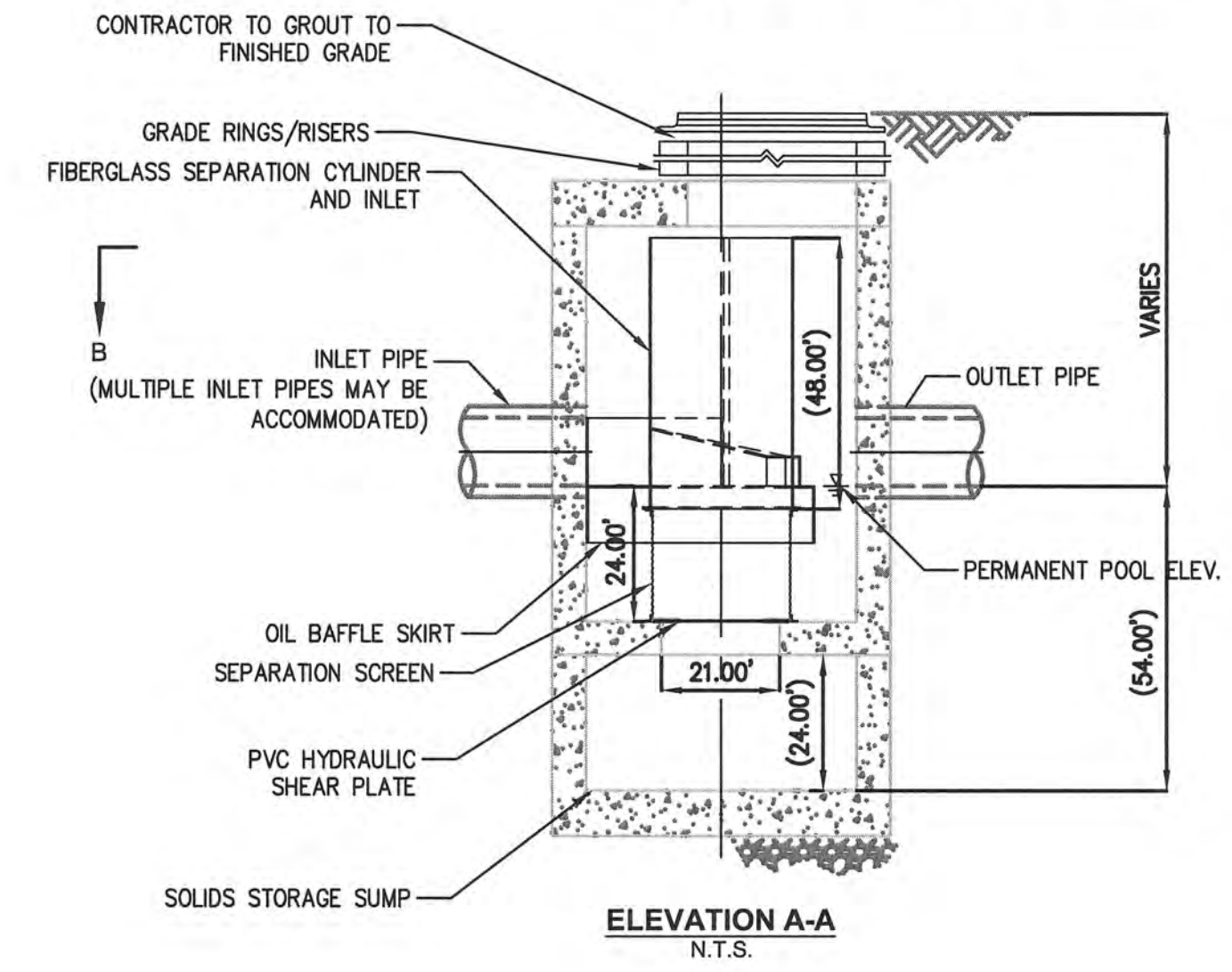
ROOF RECHARGE SYSTEM
(CULTEC RECHARGER 360HD)
(NOT TO SCALE)



OUTLET CONTROL STRUCTURE (OCS-3)
(NOT TO SCALE)



PLAN VIEW B-B
N.T.S.



ELEVATION A-A
N.T.S.

CDS WATER QUALITY UNIT
(NOT TO SCALE)

APPLICANT
ANDOVER TOWN YARD, LLC

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT
ARROWSTREET ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617-623-5555
arrowstreet.com

CONSULTANT
The Morin-Cameron GROUP, INC.

CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
88 ELM STREET, DANVERS, MASSACHUSETTS 01923
P: 978-777-8586, F: 978-777-8587, WWW.MORINCAMERON.COM

PROJECT INFORMATION
ANDOVER TOWN YARD

11 LEWIS ST, ANDOVER, MA 01810

ISSUANCE
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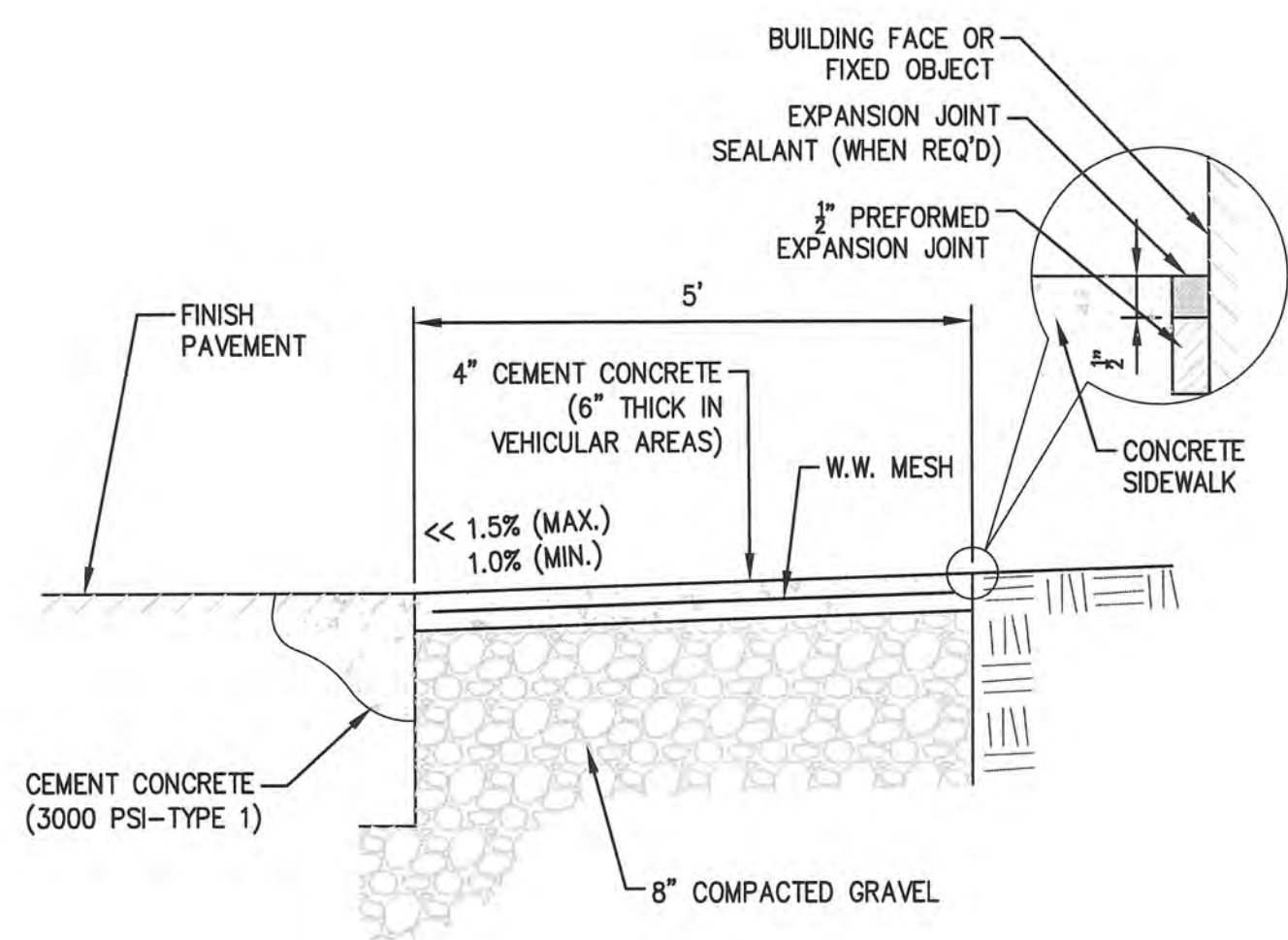
REVISIONS

No.	Date	Description

DRAWING TITLE
CONSTRUCTION DETAILS - DRAINAGE

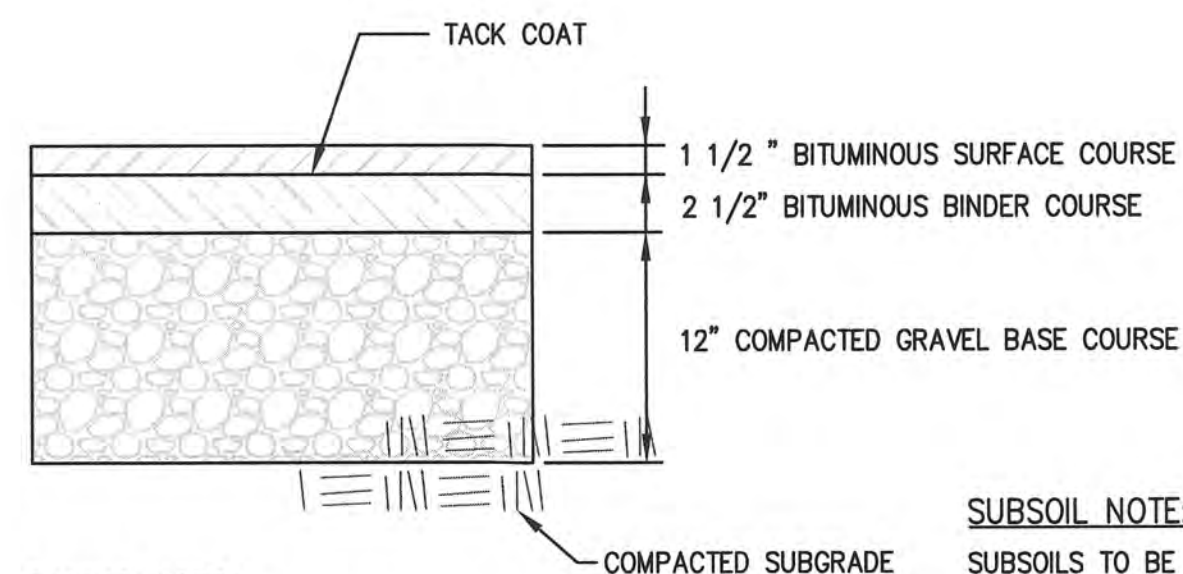
Project No.	4145
Drawn By	LNO
Date	11/15/23
Scale	AS NOTED

DRAWING NUMBER:
C7.3



NOTES:
 1. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-MOULDED JOINT FILLER.
 2. PROVIDE CONTROL JOINTS AT 6' O.C.
 3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.
 4. CEMENT CONCRETE SHALL BE 4,000 PSI-TYPE II.

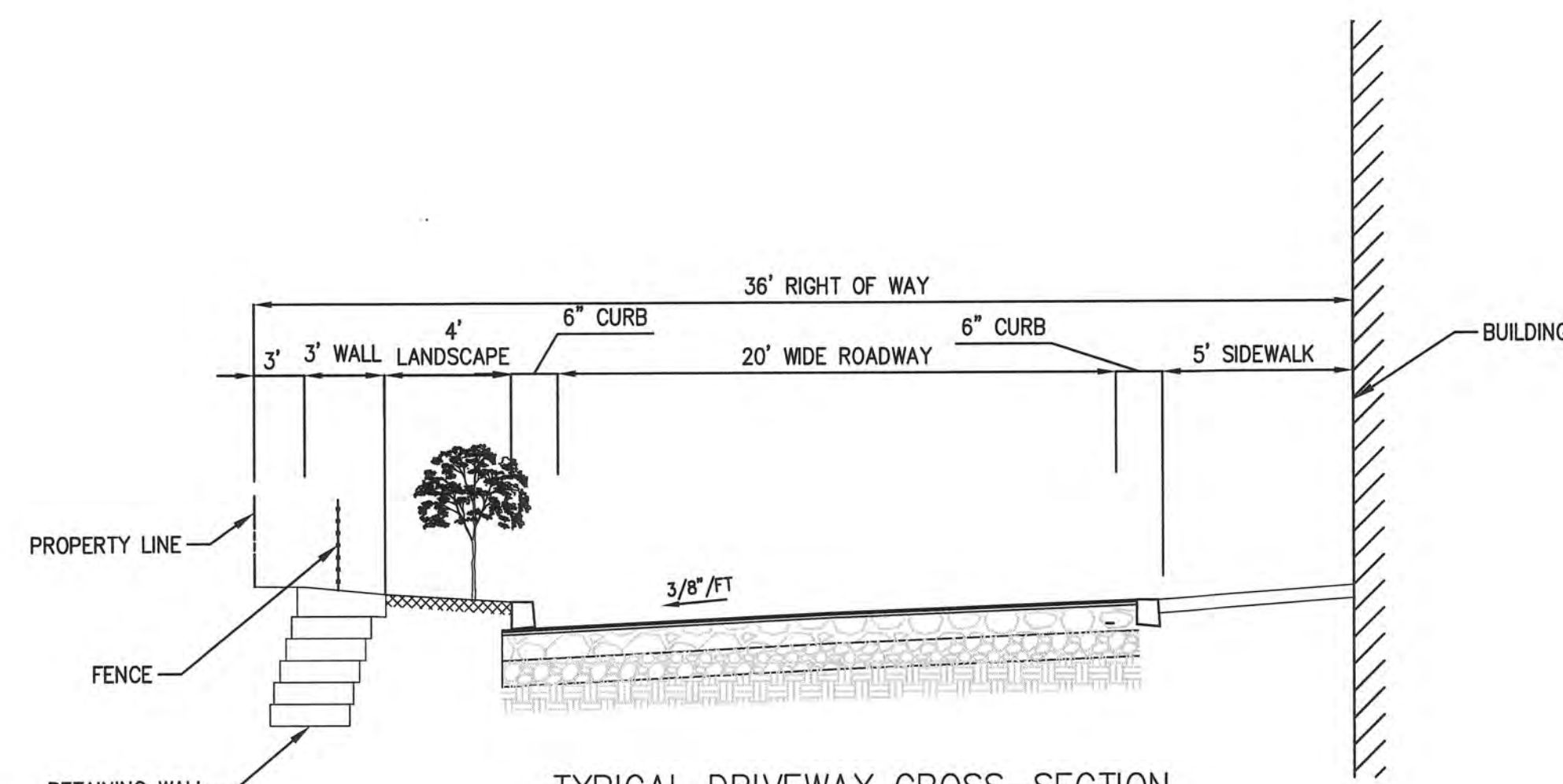
CONCRETE SIDEWALK
 (NOT TO SCALE)



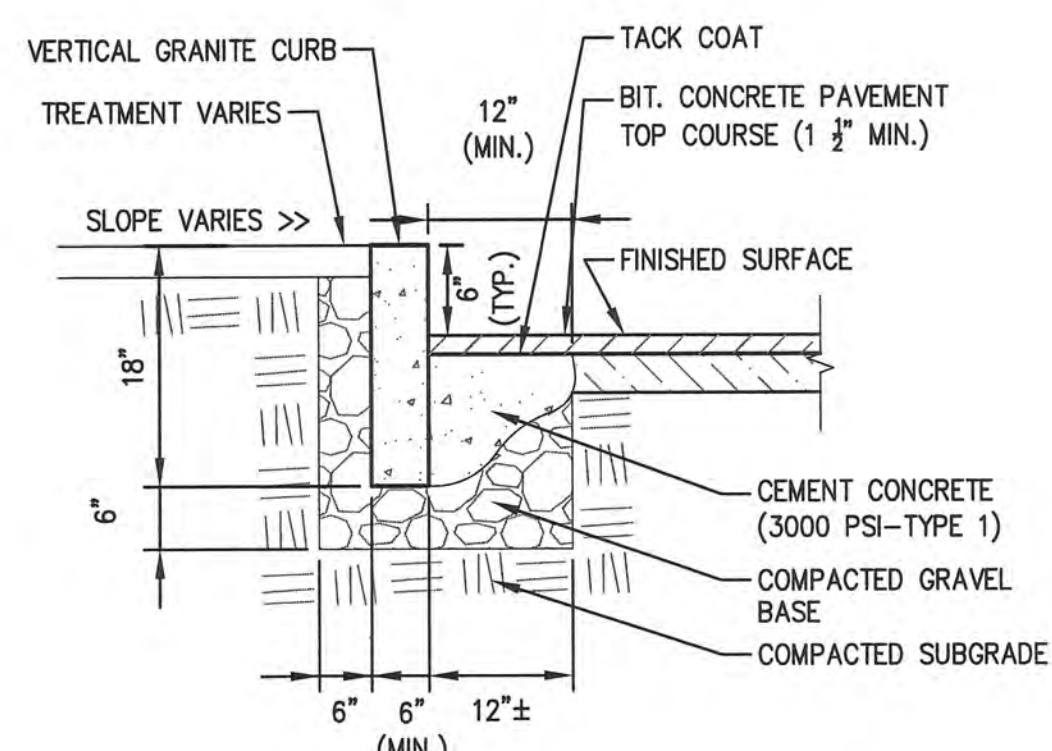
PAVING NOTES:
 1. PAVEMENT SHALL BE TYPE 1, CLASS 1 BITUMINOUS CONCRETE
 2. PAVEMENT THICKNESS AFTER ROLLING

SUBSOIL NOTE:
 SUBSOILS TO BE INSPECTED PRIOR TO INSTALLATION OF PAVEMENT SUBBASE. IF UNCOMPACTED FILL OR UNSUITABLE SOIL IS PRESENT IT SHALL BE REMOVED TO UNDISTURBED NATIVE SOIL AND REPLACED WITH STRUCTURAL FILL COMPACTED TO 95% R.C.

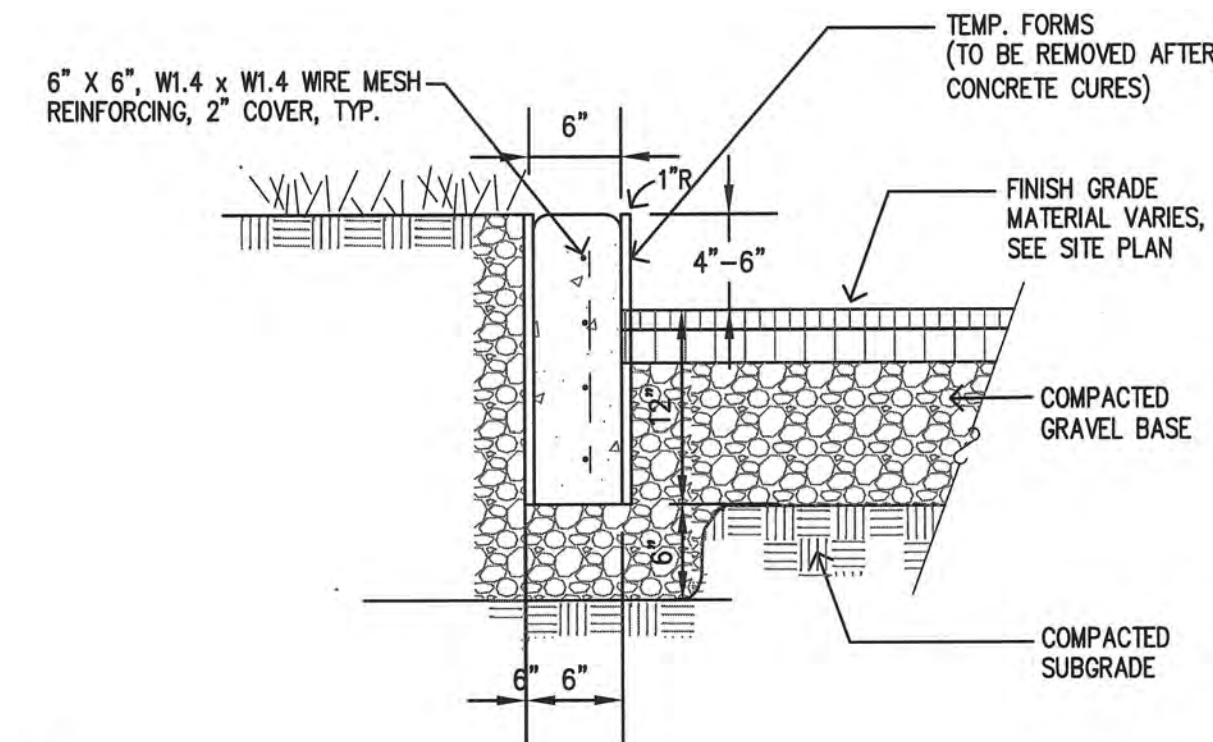
TYPICAL PAVEMENT SECTION
 (NOT TO SCALE)



TYPICAL DRIVEWAY CROSS-SECTION
 (CROSS-SECTION A-A)
 (NOT TO SCALE)

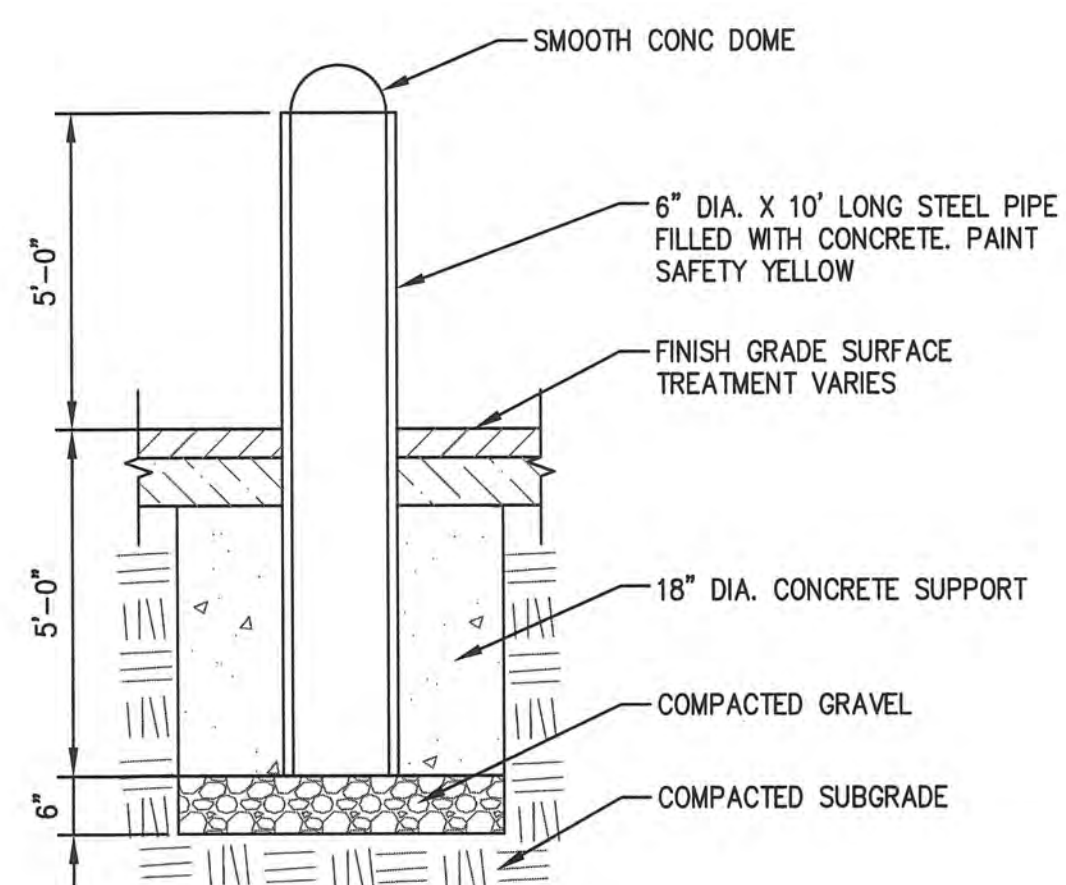


VERTICAL GRANITE CURB (VGC)
 (NOT TO SCALE)

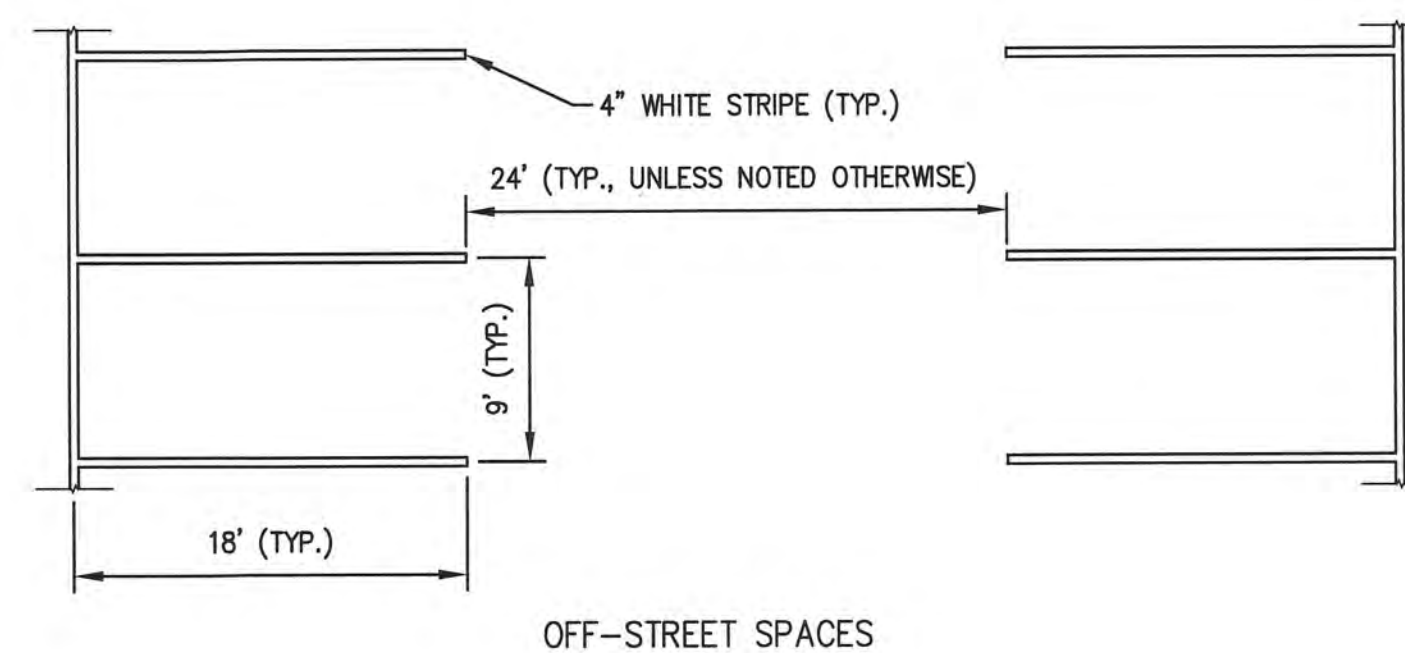


NOTES:
 1. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-MOULDED JOINT FILLER.
 2. PROVIDE CONTROL JOINTS AT 6' O.C.
 3. CEMENT CONCRETE SHALL BE 4,000 PSI-TYPE II.

FORMED 'CAST-IN-PLACE' CONCRETE CURB
 (NOT TO SCALE)



BOLLARD DETAIL
 (NOT TO SCALE)



PARKING SPACE STRIPING
 (NOT TO SCALE)

APPLICANT

ANDOVER TOWN YARD, LLC

231 SUTTON STREET, SUITE 1B
 NORTH ANDOVER, MA 01845

ARCHITECT
ARROWSTREET ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
 SUITE 700N
 BOSTON MA 02109
 617-623-5555
 arrowstreet.com

CONSULTANT

The Morin-Cameron GROUP, INC.

CIVIL ENGINEERS ENVIRONMENTAL CONSULTANTS
 LAND SURVEYORS / LAND USE PLANNERS
 66 ELM STREET, DANVERS, MASSACHUSETTS 01923
 P: 978-777-8586, W: WWW.MORINCAMERON.COM

PROJECT INFORMATION

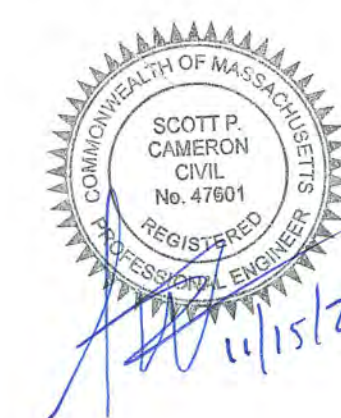
ANDOVER TOWN YARD

11 LEWIS ST, ANDOVER, MA 01810

ISSUANCE

SPECIAL PERMIT APPLICATION

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REVISIONS

No.	Date	Description

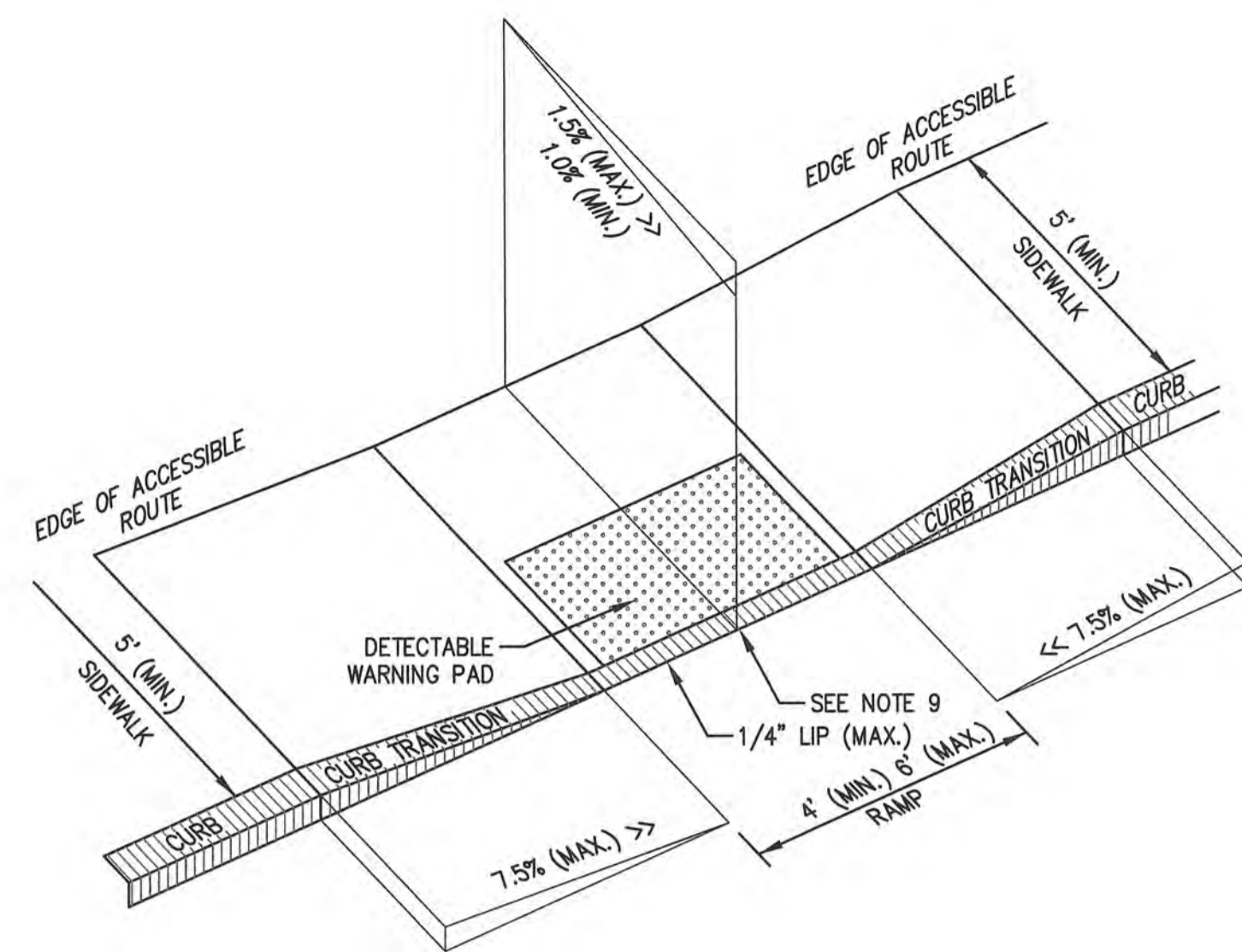
DRAWING TITLE

CONSTRUCTION DETAILS - SITE

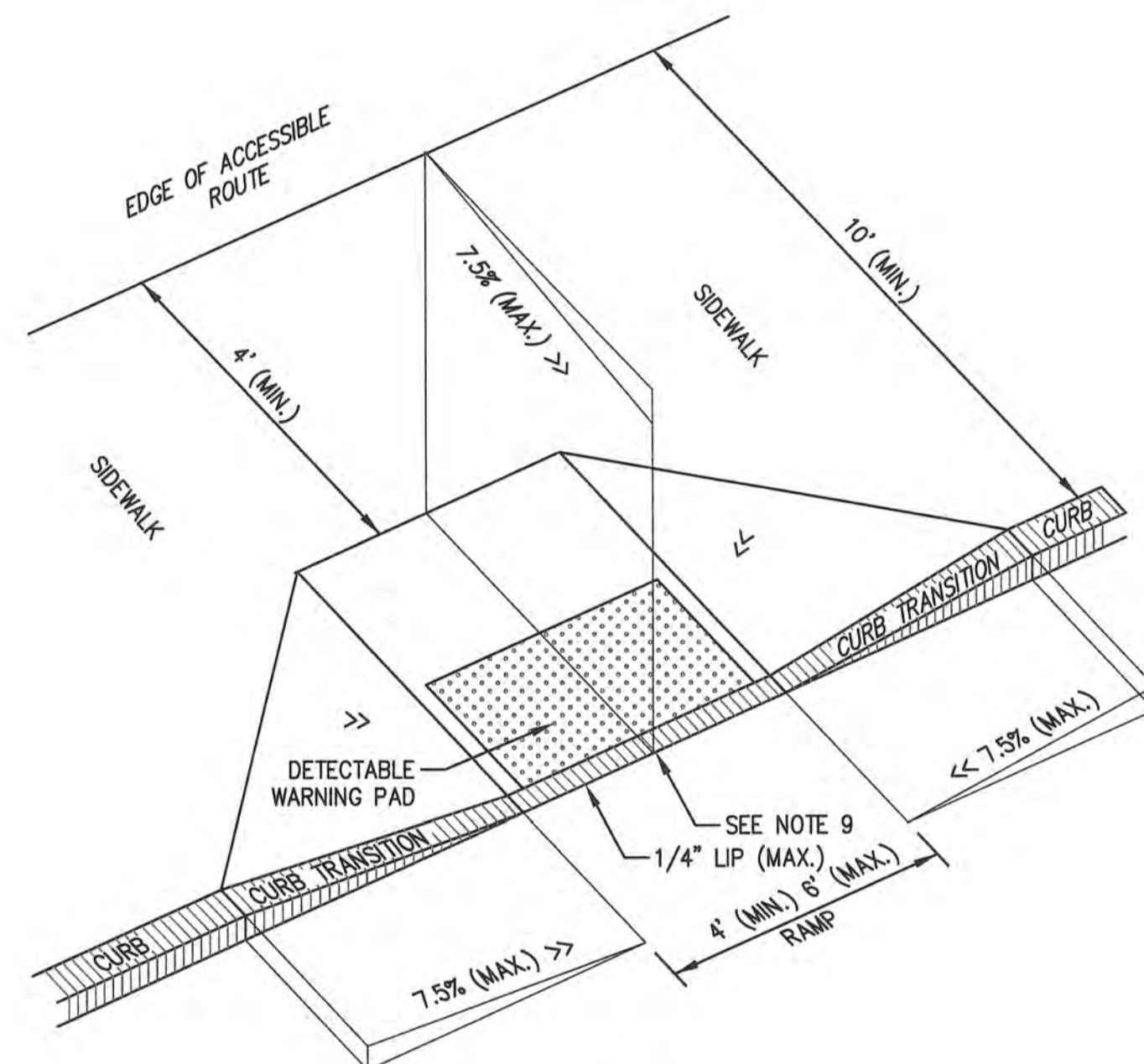
Project No. 4145
 Drawn By LNO
 Date 11/15/23
 Scale AS NOTED

DRAWING NUMBER:

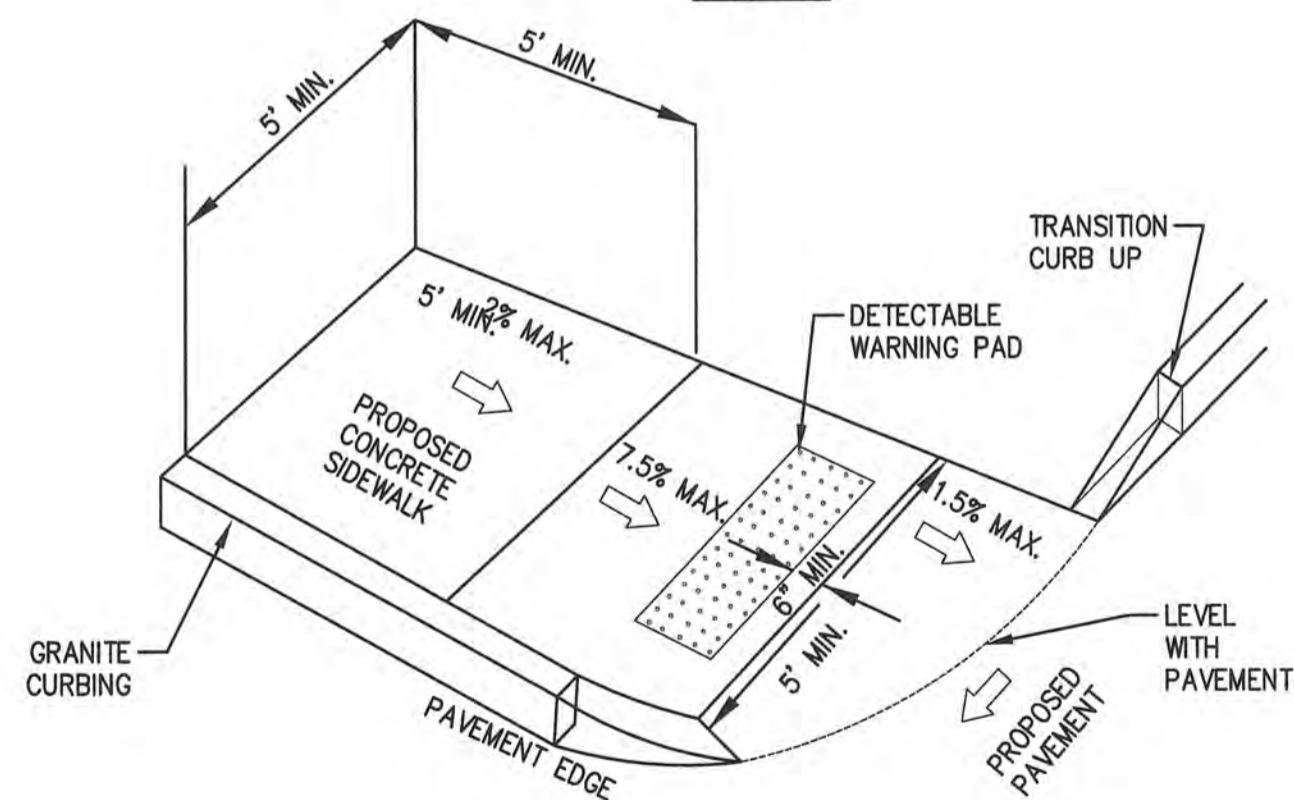
C7.4



TYPE 1



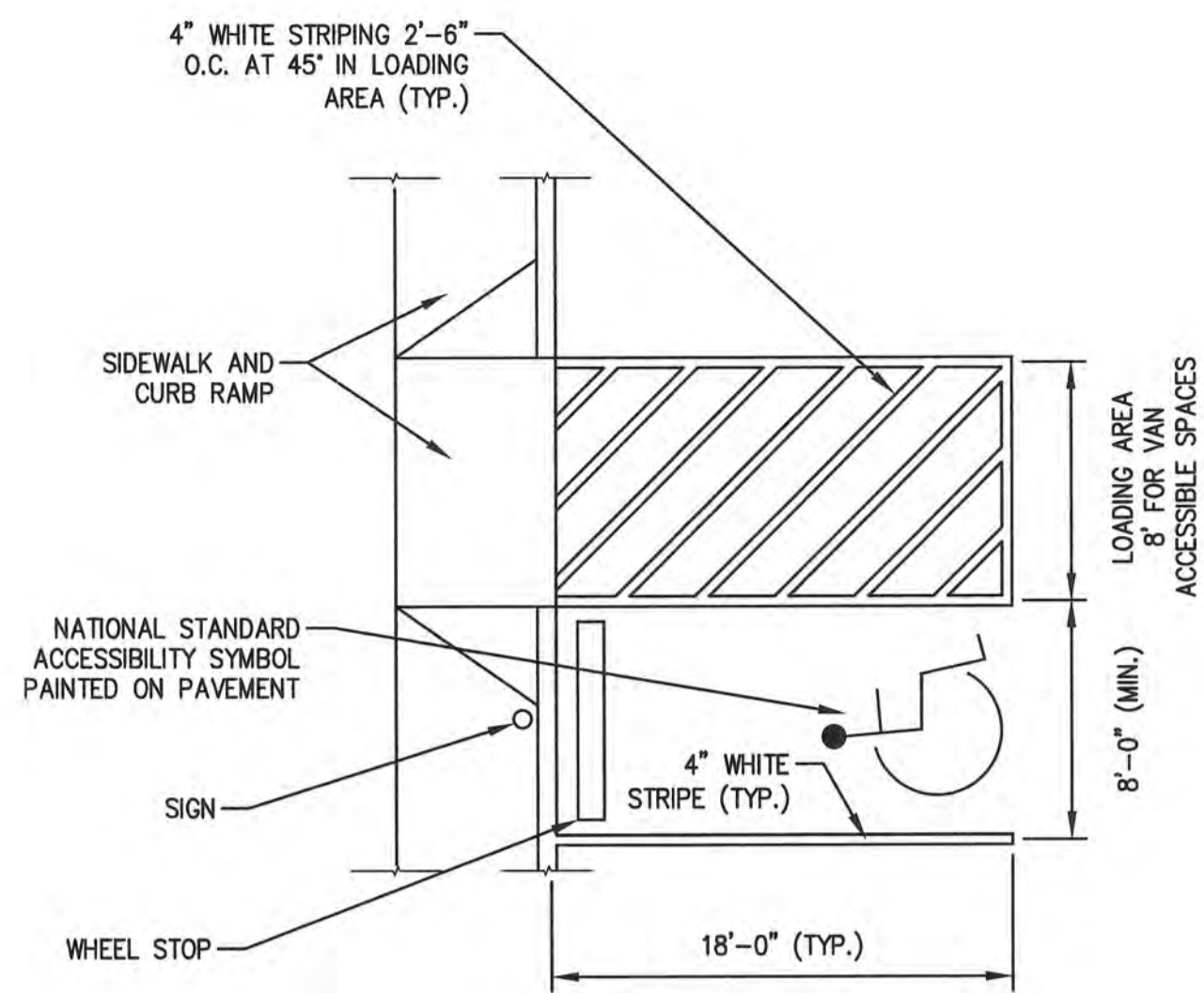
TYPE 2



TYPE 3

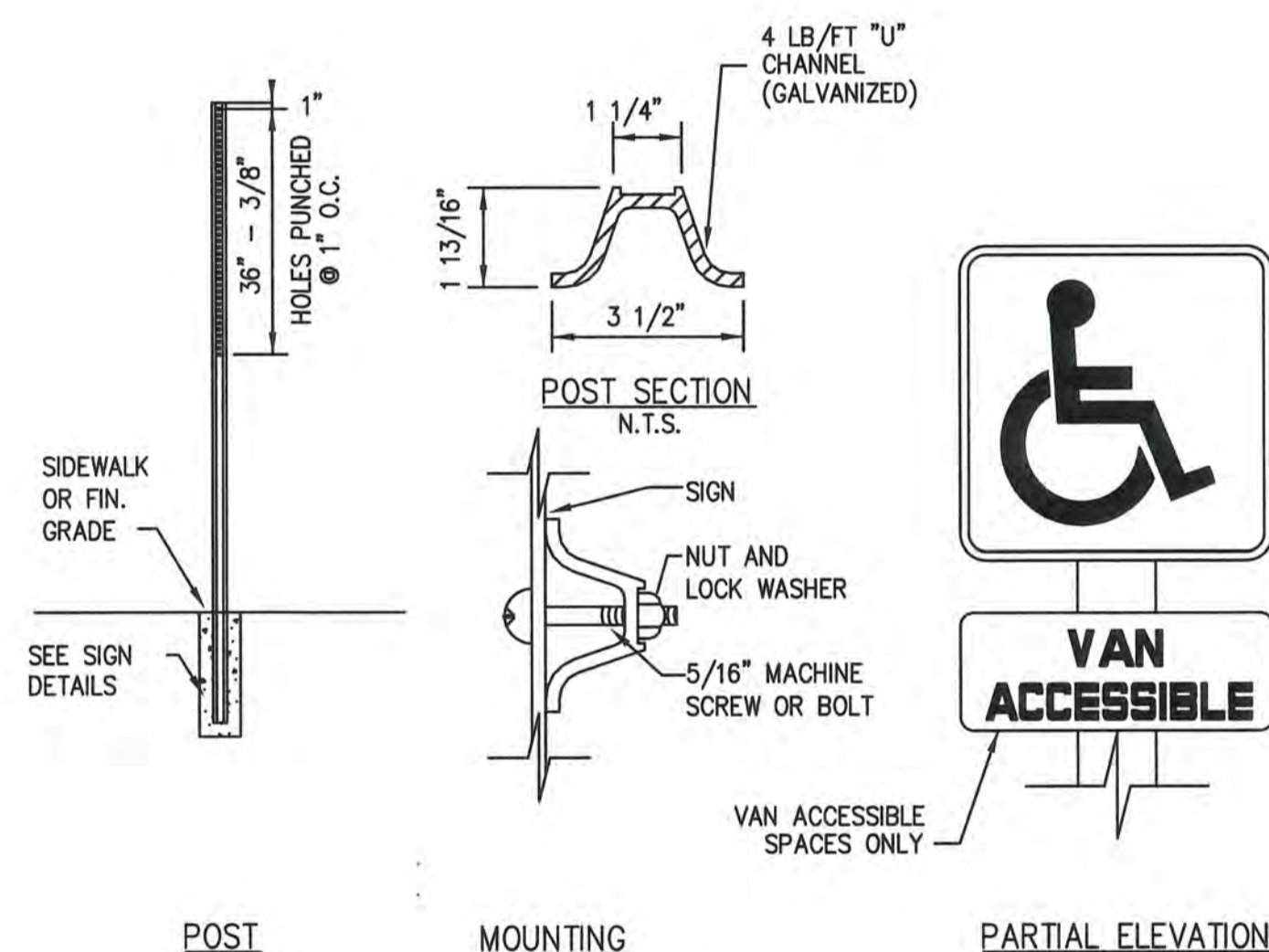
- NOTES:
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN.).
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMP SHALL BE 7.5%.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 9. ELIMINATE ALL CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.

WHEELCHAIR ACCESS RAMP DETAILS
(NOT TO SCALE.)

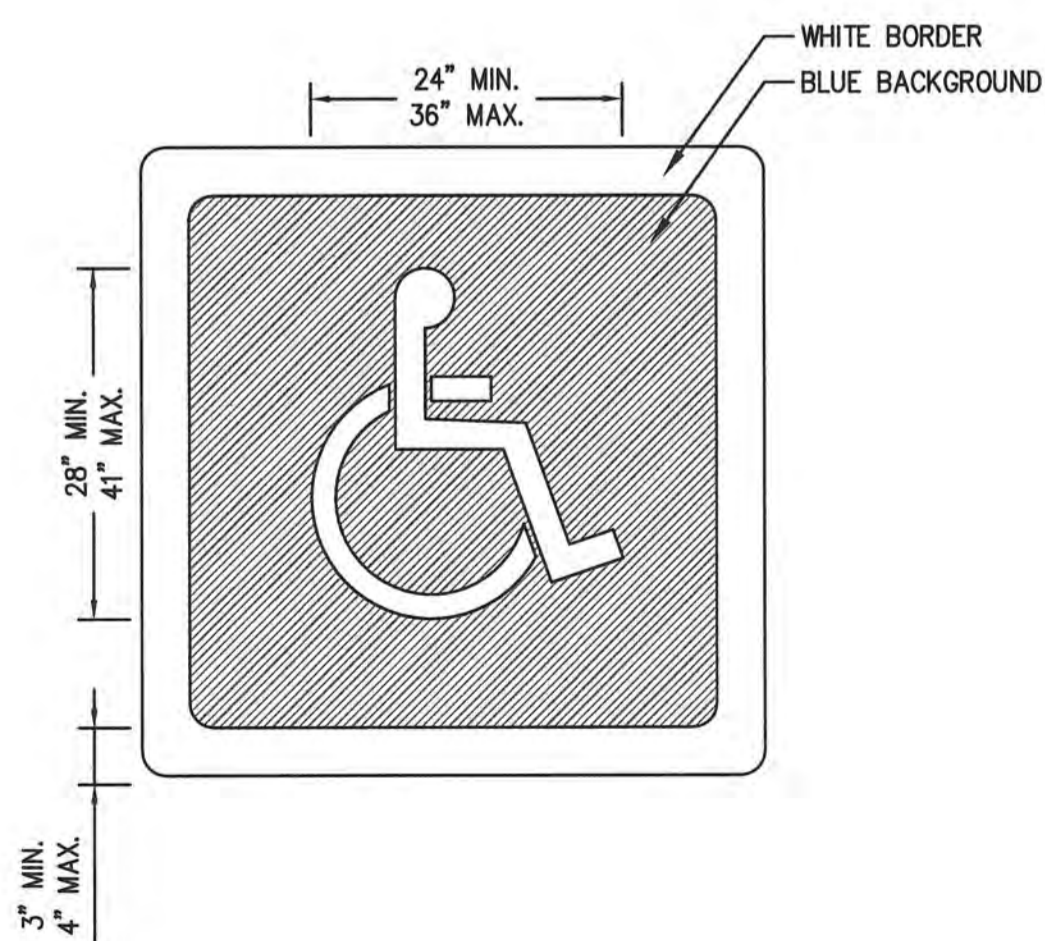


- NOTE:
1. PAVEMENT MAX SLOPE 2% IN ALL DIRECTIONS.

ACCESSIBLE PARKING SPACE
(NOT TO SCALE)

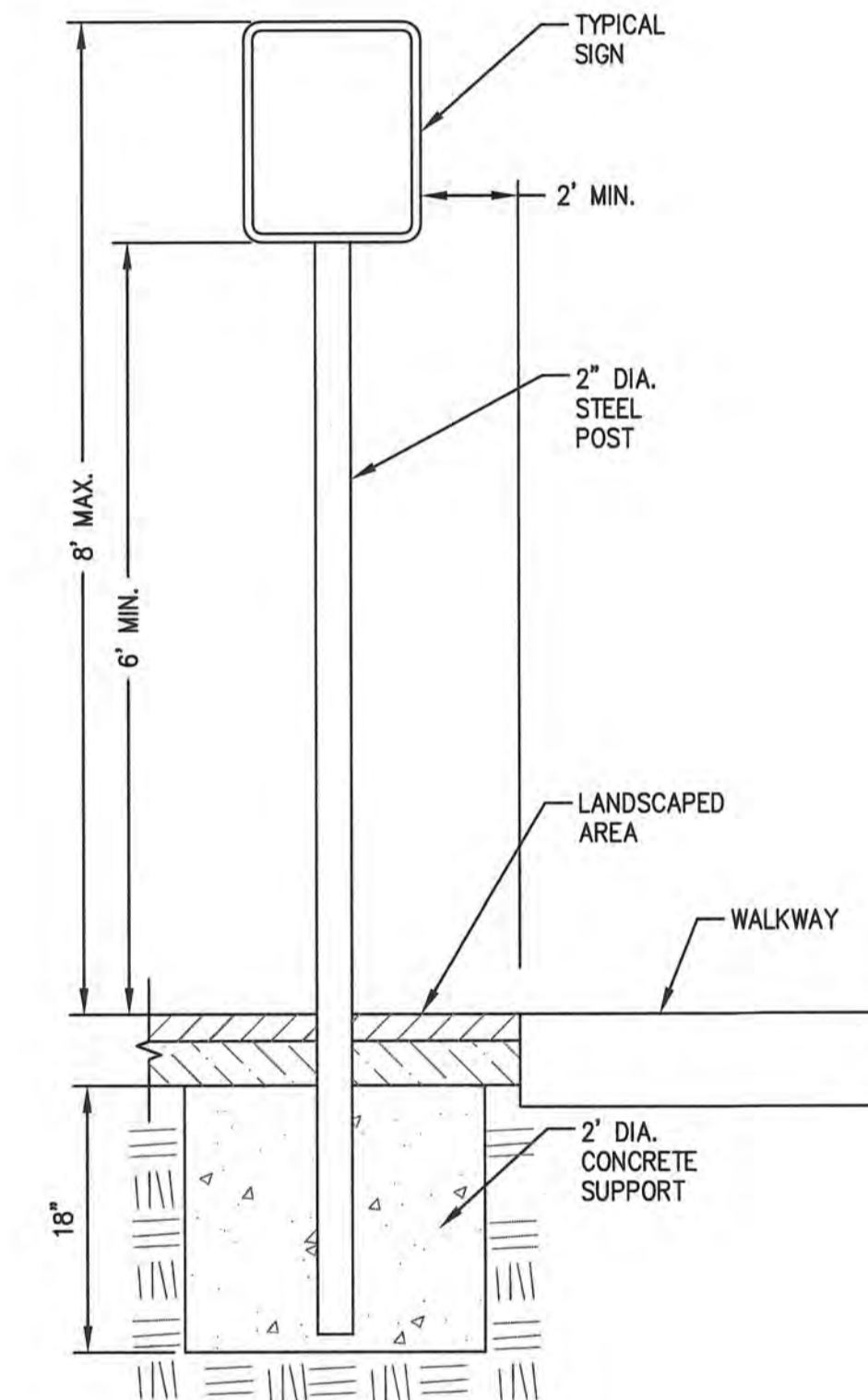


ACCESSIBLE PARKING SPACE SIGN
(NOT TO SCALE)



- NOTE:
1. THE STROKE WIDTH OF THE PAINTED SYMBOL AND THE WHITE BORDER MUST BE A MINIMUM THICKNESS OF 3", WITH A MAXIMUM THICKNESS OF 4".
 2. BLUE BACKGROUND AND WHITE BORDER ARE OPTIONAL.

INTERNATIONAL ACCESSIBILITY PARKING SPACE SYMBOL
(NOT TO SCALE)



FOR SIGNS
IN LANDSCAPE AREAS

SIGN POST
(NOT TO SCALE)

APPLICANT

ANDOVER TOWN YARD, LLC

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT
ARROWSTREET
ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com

CONSULTANT

The Morin-Cameron GROUP, INC.

CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
68 ELM STREET, DANVERS, MASSACHUSETTS 01923
P. 978-777-8586 | WWW.MORINCAMERON.COM

PROJECT INFORMATION

ANDOVER TOWN YARD

11 LEWIS ST, ANDOVER, MA 01810

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SPECIAL PERMIT APPLICATION

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No.	Date	Description

DRAWING TITLE

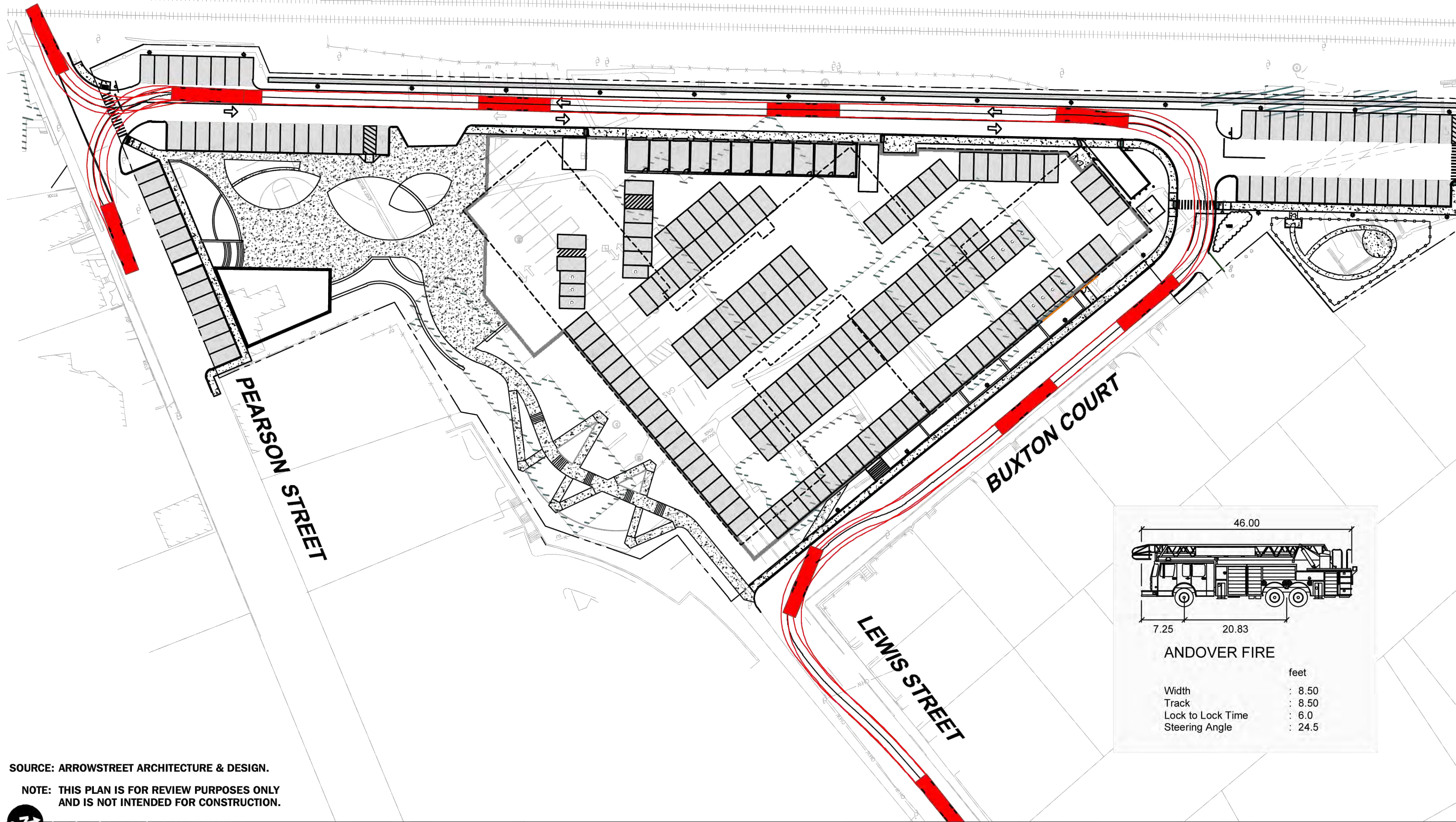
CONSTRUCTION DETAILS - SITE

Project No.	4145
Drawn By	LNO
Date	11/15/23
Scale	AS NOTED

DRAWING NUMBER:

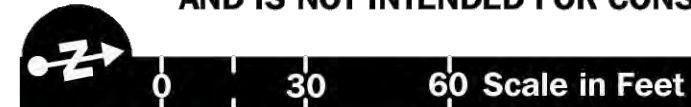
C7.5

Transportation Impact Assessment - Proposed Mixed-Use Development - Andover, Massachusetts

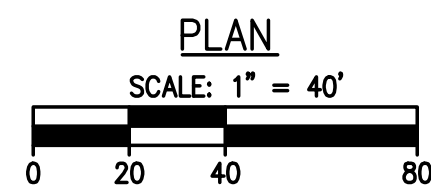


SOURCE: ARROWSTREET ARCHITECTURE & DESIGN.

NOTE: THIS PLAN IS FOR REVIEW PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.



Andover Fire Truck Turning Analysis
Entering from Buxton Court and
Exiting to Pearson Street



T:\1014\pwp\11 Nov 10 10:28:14 2023

APPLICANT

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NORTH ANDOVER, MA 01845

ARCHITECT

ARROWSTREET ARCHITECTURE & DESIGN

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SUITE 700N
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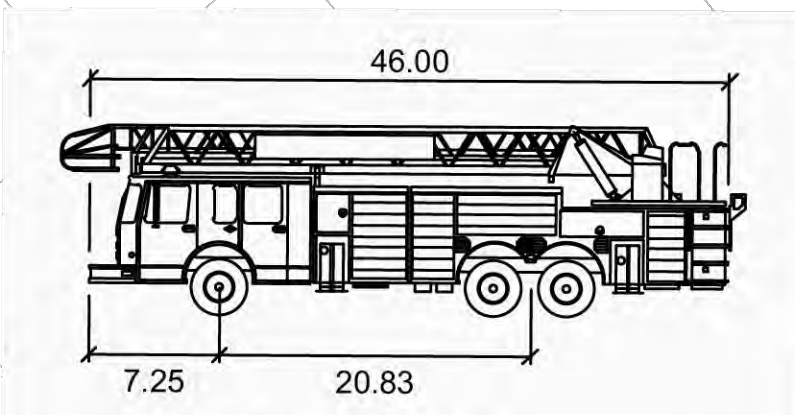
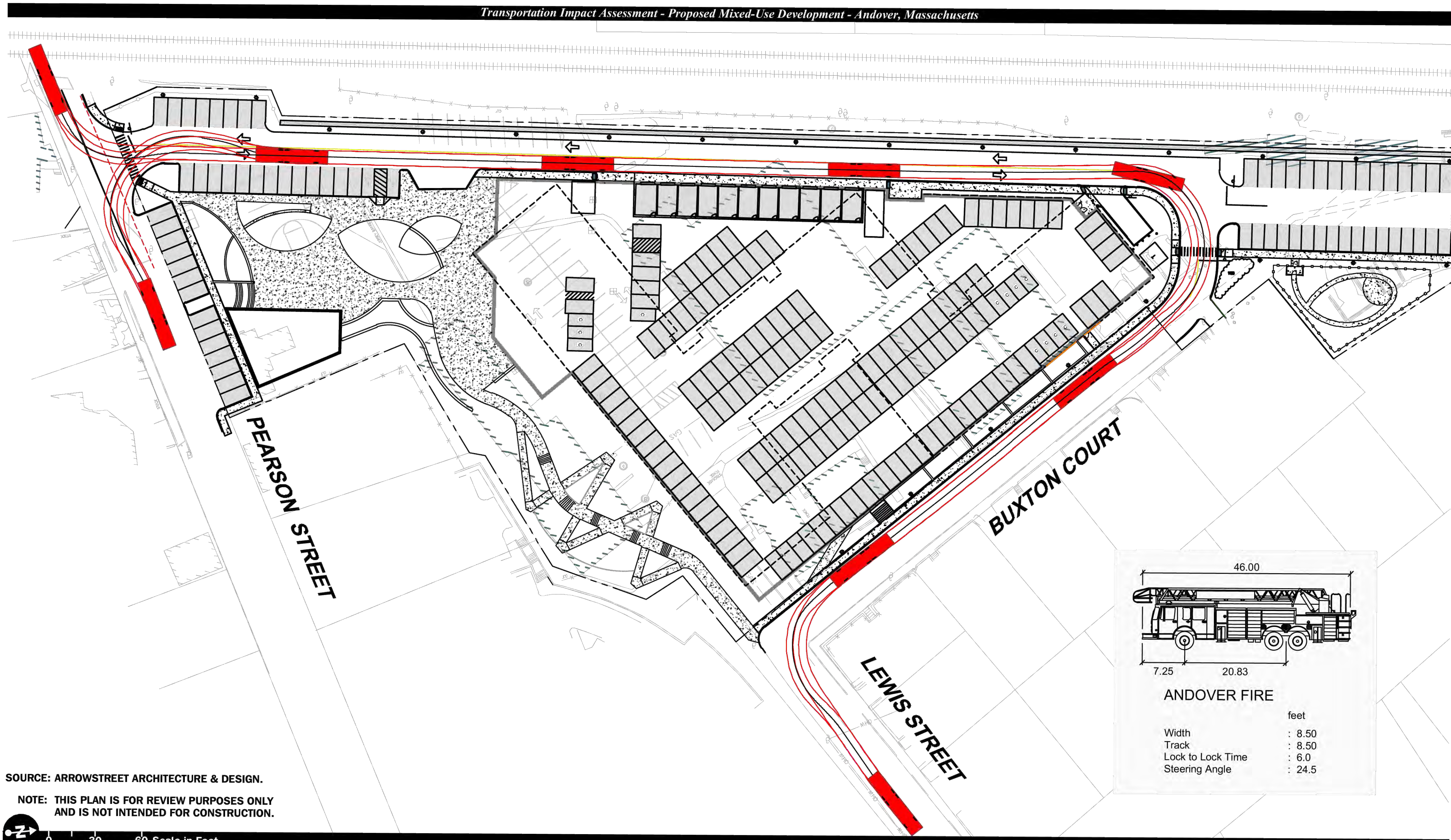
SWEPT PATH ANALYSIS PLAN

Project No.	4145
Drawn By	ST
Date	11/15/23
Scale	AS NOTED

DRAWING NUMBER:

C8.0

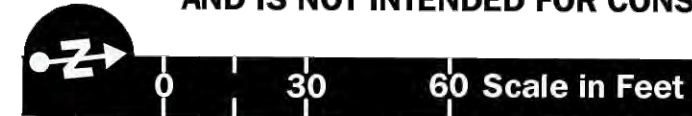
Transportation Impact Assessment - Proposed Mixed-Use Development - Andover, Massachusetts



ANDOVER FIRE

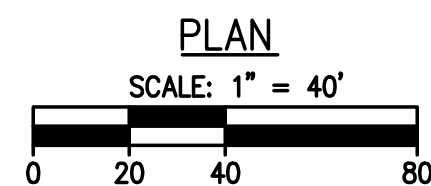
	feet
Width	: 8.50
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 24.5

SOURCE: ARROWSTREET ARCHITECTURE & DESIGN.
 NOTE: THIS PLAN IS FOR REVIEW PURPOSES ONLY
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Andover Fire Truck Turning Analysis
 Entering from Pearson Street and
 Exiting to Buxton Court



APPLICANT

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 LLC**

231 SUTTON STREET, SUITE 1B
 NORTH ANDOVER, MA 01845

ARCHITECT

**ARROWSTREET
 ARCHITECTURE & DESIGN**

10 POST OFFICE SQUARE
 SUITE 700N
 BOSTON MA 02109
 617.623.5555
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**SWEPT PATH
 ANALYSIS PLAN**

Project No.	4145
Drawn By	ST
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Scale	AS NOTED

DRAWING NUMBER:

C8.1



APPLICANT

ANDOVER TOWN YARD, LLC

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ARROWSTREET ARCHITECTURE & DESIGN

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BOSTON MA 02109
617.623.5555
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CONSULTANT

HALVORSON Tighe & Bond STUDIO

PROJECT INFORMATION

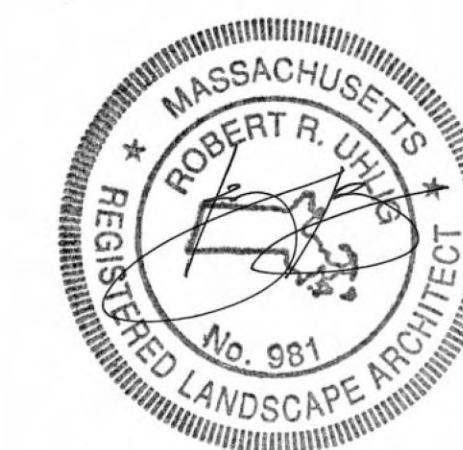
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ILLUSTRATIVE SITE PLAN

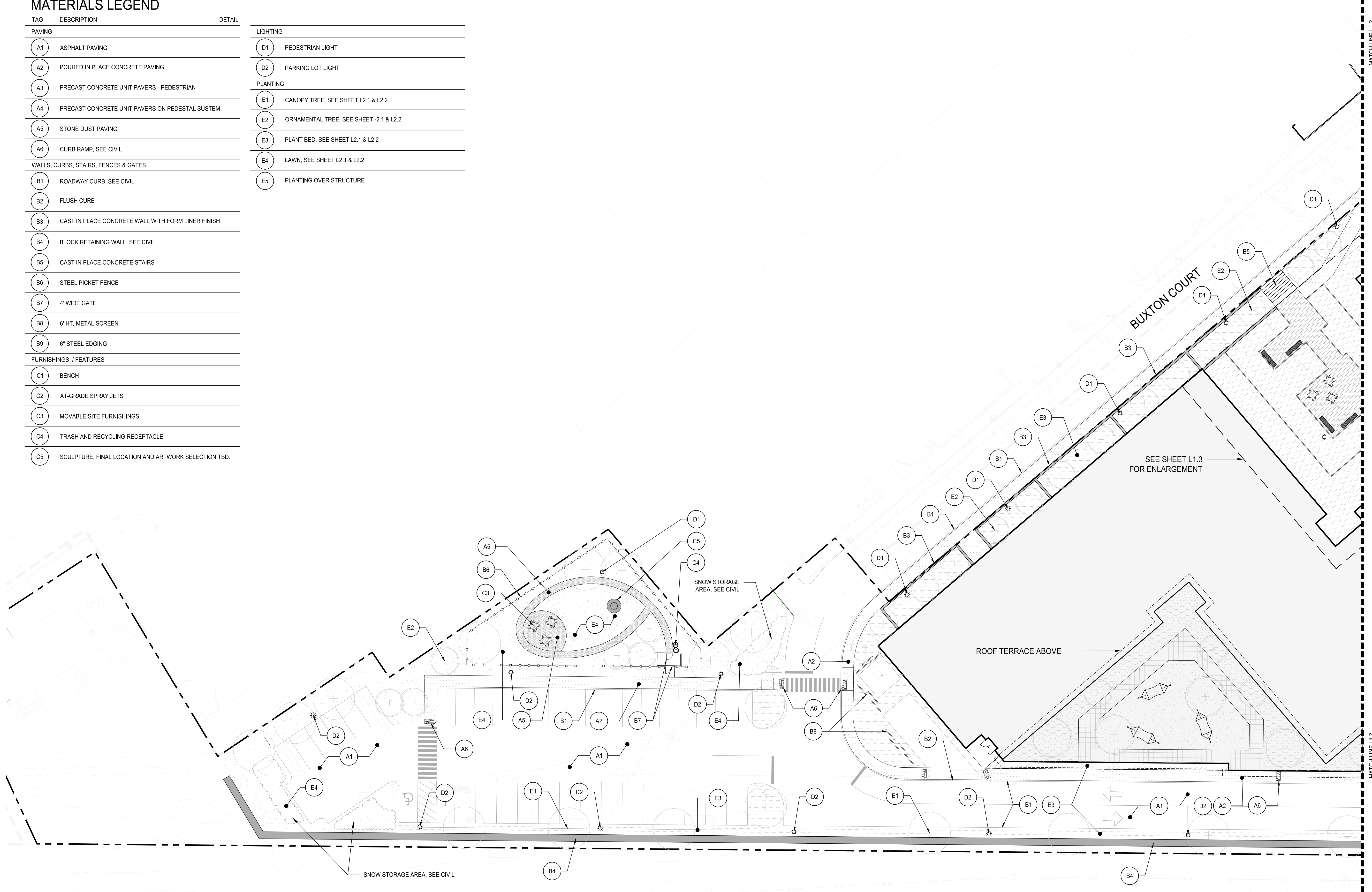
Project No.	21035
Drawn By	JM/JF
Date	11/15/23
Scale	1" = 40'-0"

DRAWING NUMBER:

L1.0

MATERIALS LEGEND

TAG	DESCRIPTION	DETAIL
PAVING		
A1	ASPHALT PAVING	
A2	POURED IN PLACE CONCRETE PAVING	
A3	PRECAST CONCRETE UNIT PAVERS - PEDESTRIAN	
A4	PRECAST CONCRETE UNIT PAVERS ON PEDESTAL SYSTEM	
A5	STONE DUST PAVING	
A6	CURB RAMP, SEE CIVIL	
WALLS, CURBS, STAIRS, FENCES & GATES		
B1	ROADWAY CURB, SEE CIVIL	
B2	FLUSH CURB	
B3	CAST IN PLACE CONCRETE WALL WITH FORM LINER FINISH	
B4	BLOCK RETAINING WALL, SEE CIVIL	
B5	CAST IN PLACE CONCRETE STAIRS	
B6	STEEL PICKET FENCE	
B7	4' WIDE GATE	
B8	6' HT. METAL SCREEN	
B9	6" STEEL EDGING	
FURNISHINGS / FEATURES		
C1	BENCH	
C2	AT-GRADE SPRAY JETS	
C3	MOVABLE SITE FURNISHINGS	
C4	TRASH AND RECYCLING RECEPTACLE	
C5	SCULPTURE, FINAL LOCATION AND ARTWORK SELECTION TBD.	
LIGHTING		
D1	PEDESTRIAN LIGHT	
D2	PARKING LOT LIGHT	
PLANTING		
E1	CANOPY TREE, SEE SHEET L2.1 & L2.2	
E2	ORNAMENTAL TREE, SEE SHEET -2.1 & L2.2	
E3	PLANT BED, SEE SHEET L2.1 & L2.2	
E4	LAWN, SEE SHEET L2.1 & L2.2	
E5	PLANTING OVER STRUCTURE	



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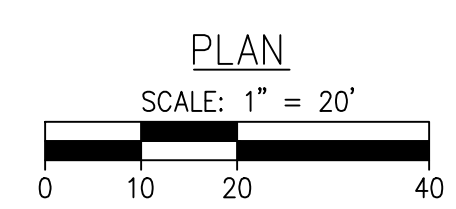
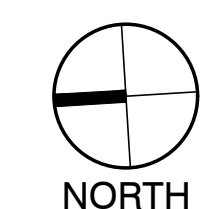
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LANDSCAPE MATERIALS PLAN

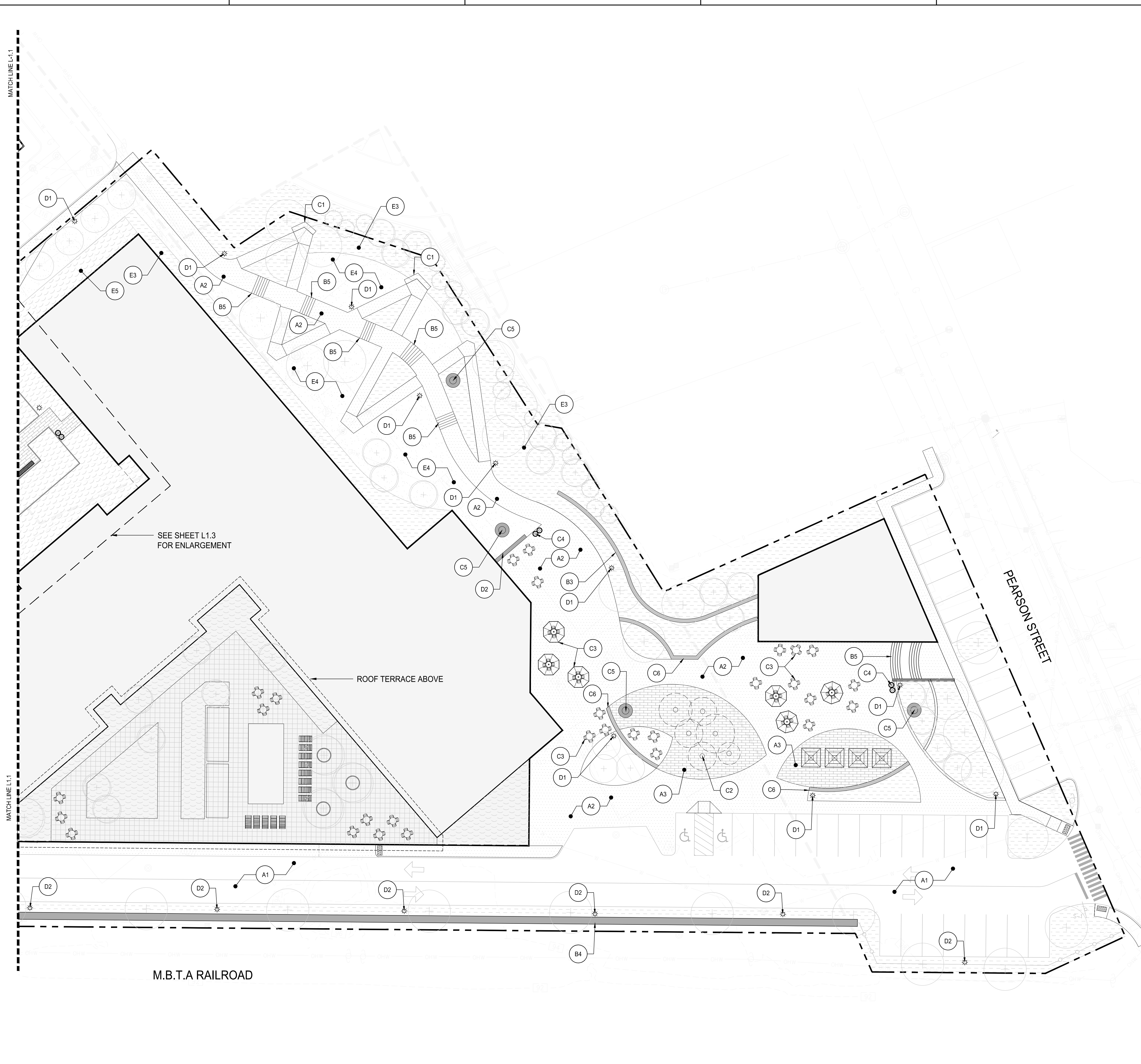
Project No.	21035
Drawn By	JM/JF
Date	11/15/23
Scale	1" = 20'-0"

DRAWING NUMBER:

L1.1



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SEE SHEET L1.3
FOR ENLARGEMENT

ROOF TERRACE ABOVE

M.B.T.A RAILROAD

PEARSON STREET

MATERIALS LEGEND

TAG	DESCRIPTION	DETAIL
PAVING		
A1	ASPHALT PAVING	
A2	POURED IN PLACE CONCRETE PAVING	
A3	PRECAST CONCRETE UNIT PAVERS - PEDESTRIAN	
A4	PRECAST CONCRETE UNIT PAVERS ON PEDESTAL SUSTEM	
A5	STONE DUST PAVING	
A6	CURB RAMP, SEE CIVIL	
WALLS, CURBS, STAIRS, FENCES & GATES		
B1	GRANITE CURB	
B2	FLUSH GRANITE CURB	
B3	CAST IN PLACE CONCRETE WALL WITH FORM LINER FINISH	
B4	BLOCK RETAINING WALL, SEE CIVIL	
B5	CAST IN PLACE CONCRETE STAIRS	
B6	STEEL PICKET FENCE	
B7	4' WIDE GATE	
B8	6' HT. METAL SCREEN	
B9	6" STEEL EDGING	
FURNISHINGS / FEATURES		
C1	BENCH	
C2	AT-GRADE SPRAY JETS	
C3	MOVABLE SITE FURNISHINGS	
C4	TRASH AND RECYCLING RECEPTACLE	
C5	SCULPTURE, FINAL LOCATION AND ARTWORK SELECTION TBD.	
C6	CAST IN PLACE SEAT WALL	
LIGHTING		
D1	PEDESTRIAN LIGHT	
D2	PARKING LOT LIGHT	
PLANTING		
E1	CANOPY TREE, SEE SHEET L2.1 & L2.2	
E2	ORNAMENTAL TREE, SEE SHEET L2.1 & L2.2	
E3	PLANT BED, SEE SHEET L2.1 & L2.2	
E4	LAWN, SEE SHEET L2.1 & L2.2	
E5	PLANTING OVER STRUCTURE	

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10 POST OFFICE SQUARE
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617.623.5555
arrowstreet.com

CONSULTANT

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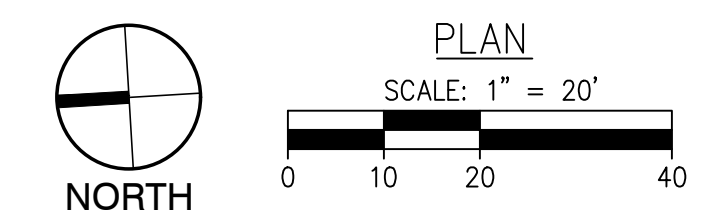
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LANDSCAPE MATERIALS PLAN

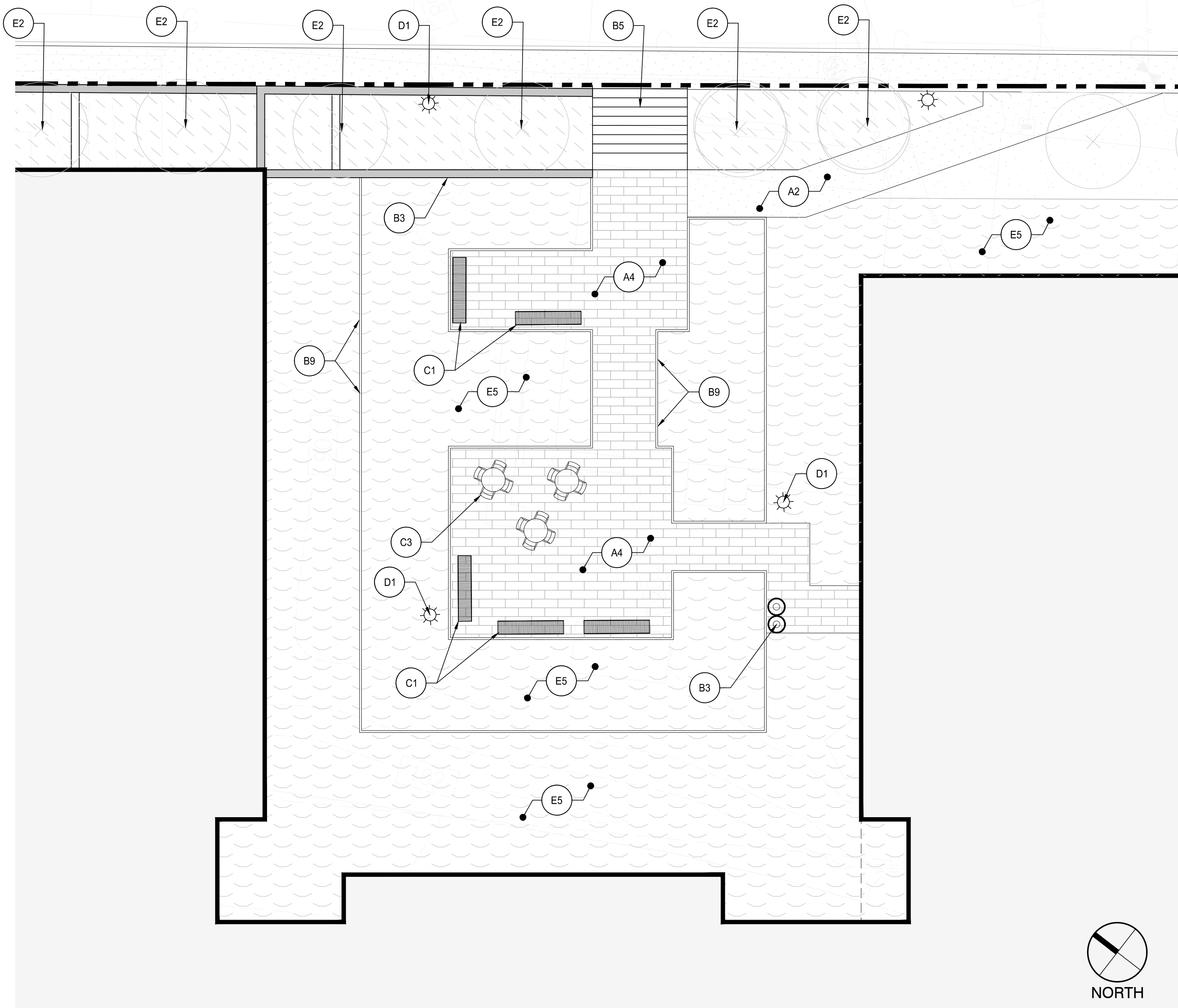
Project No.	21035
Drawn By	JM/JF
Date	11/15/23
Scale	1" = 20'-0"

DRAWING NUMBER:

L1.2



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1 BUXTON COURT COURTYARD
SCALE: 1"=10'-0"

MATERIALS LEGEND

TAG	DESCRIPTION	DETAIL
PAVING		
A1	ASPHALT PAVING	
A2	POURED IN PLACE CONCRETE PAVING	
A3	PRECAST CONCRETE UNIT PAVERS - PEDESTRIAN	
A4	PRECAST CONCRETE UNIT PAVERS ON PEDESTAL SYSTEM	
A5	STONE DUST PAVING	
A6	CURB RAMP, SEE CIVIL	
WALLS, CURBS, STAIRS, FENCES & GATES		
B1	GRANITE CURB	
B2	FLUSH GRANITE CURB	
B3	CAST IN PLACE CONCRETE WALL WITH FORM LINER FINISH	
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B5	CAST IN PLACE CONCRETE STAIRS	
B6	STEEL PICKET FENCE	
B7	4' WIDE GATE	
B8	6' HT. METAL SCREEN	
B9	6" STEEL EDGING	
FURNISHINGS / FEATURES		
C1	BENCH	
C2	AT-GRADE SPRAY JETS	
C3	MOVABLE SITE FURNISHINGS	
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C6	CAST IN PLACE SEAT WALL	
LIGHTING		
D1	PEDESTRIAN LIGHT	
D2	PARKING LOT LIGHT	
PLANTING		
E1	CANOPY TREE, SEE SHEET L2.1 & L2.2	
E2	ORNAMENTAL TREE, SEE SHEET L2.1 & L2.2	
E3	PLANT BED, SEE SHEET L2.1 & L2.2	
E4	LAWN, SEE SHEET L2.1 & L2.2	
E5	PLANTING OVER STRUCTURE	

APPLICANT

ANDOVER TOWN YARD, LLC

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT
ARROWSTREET
ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com

CONSULTANT

HALVORSON
Tighe & Bond STUDIO

PROJECT INFORMATION

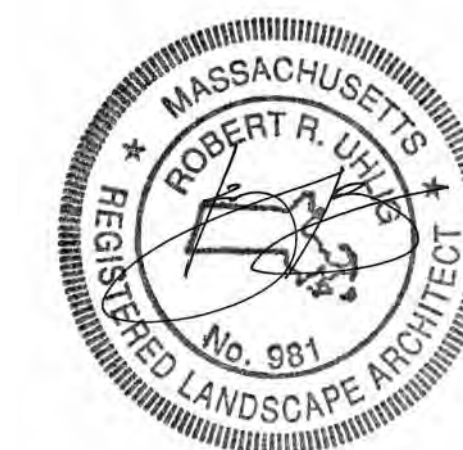
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No.	Date	Description

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LANDSCAPE MATERIALS ENLARGEMENT PLANS

Project No. 21035
Drawn By JM/JF
Date 11/15/23
Scale 1" = 20'-0"

DRAWING NUMBER:

L1.3

TREE SCHEDULE

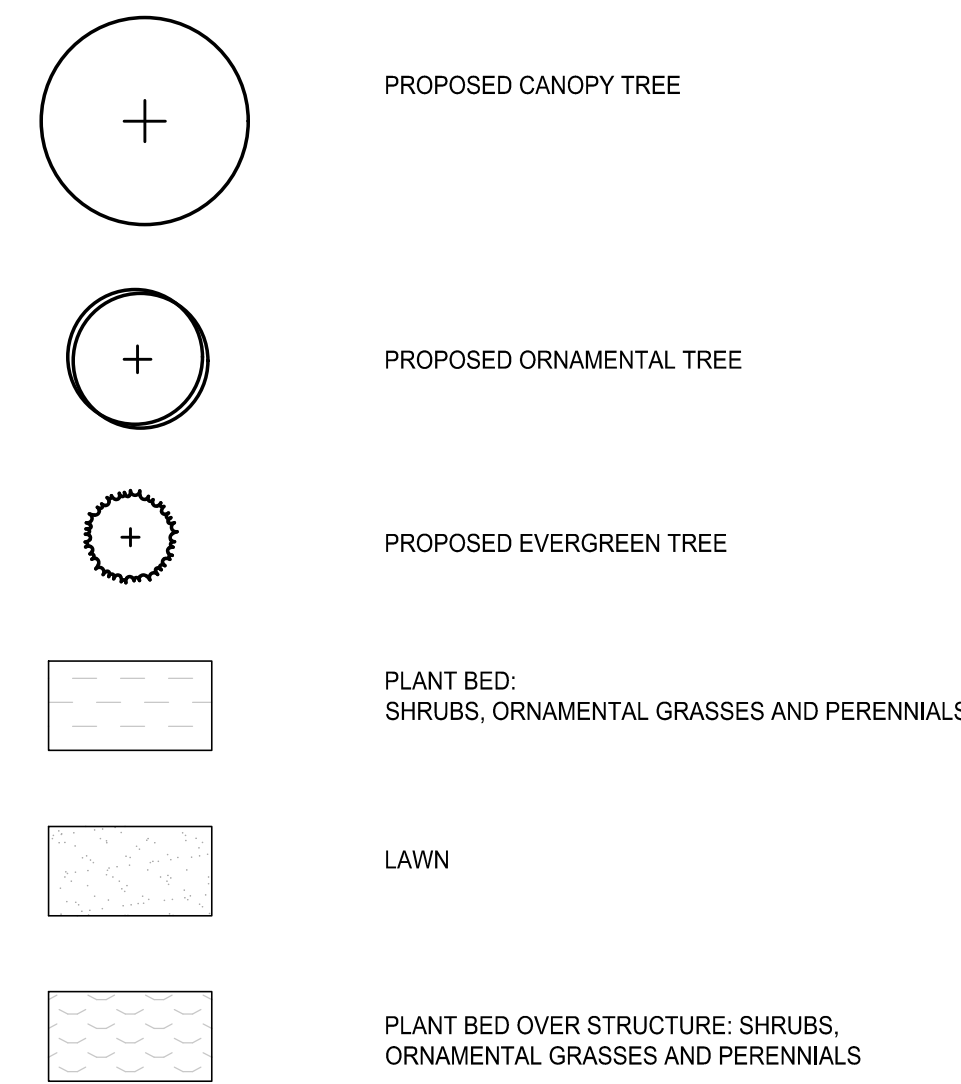
CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
TREES						
ACE AMS	Acer x freemanii 'Armstrong'	Armstrong Freeman Maple	3 1/2" Cal.	B&B	15	
AME CAN	Amelanchier canadensis	Canadian Serviceberry	8'-10" Ht.	B&B	12	Multi-Stem
CAR FST	Carpinus betulus 'Fastigiata'	Upright European Hornbeam	3 1/2" Cal.	B&B	6	
CEL OCC	Celtis occidentalis	Common Hackberry	3 1/2" Cal.	B&B	15	
CER CAN	Cercis canadensis	Eastern Redbud	8'-10" Ht.	B&B	12	Multi-Stem
JUN EAS	Juniperus virginiana	Eastern Redcedar	8'-10" Ht.	B&B	14	
LIQ STY	Liquidambar styraciflua 'Rotundiloba'	Fruitless Sweet Gum	3 1/2" Cal., B&B	B&B	20	
LIR TUL	Liriodendron tulipifera	Tulip Poplar	3 1/2" Cal.	B&B	3	
QUE RU2	Quercus rubra	Red Oak	3 1/2" Cal.	B&B	5	

REPRESENTATIVE PLANT LIST FOR SHRUBS, ORNAMENTAL GRASSES AND PERENNIALS

BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
Clethra alnifolia 'Caleb'	Vanilla Spice® Summersweet	30"-36" ht	Pot	
Cornus sericea	Red Twig Dogwood	30"-36" ht	Pot	
Fothergilla gardenii	Dwarf Fothergilla	30"-36" ht	Pot	
Hydrangea quercifolia	Oakleaf Hydrangea	30"-36" ht	Pot	
Physocarpus opulifolius 'Dart's Gold'	Dart's Gold Ninebark	30"-36" ht	Pot	
Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	24"-30" ht	Pot	
Rhus typhina 'Baltiger'	Tiger Eyes® Staghorn Sumac	30"-36" ht	Pot	
Viburnum dentatum 'Arrowwood'	Arrowwood Viburnum	30"-36" ht	Pot	

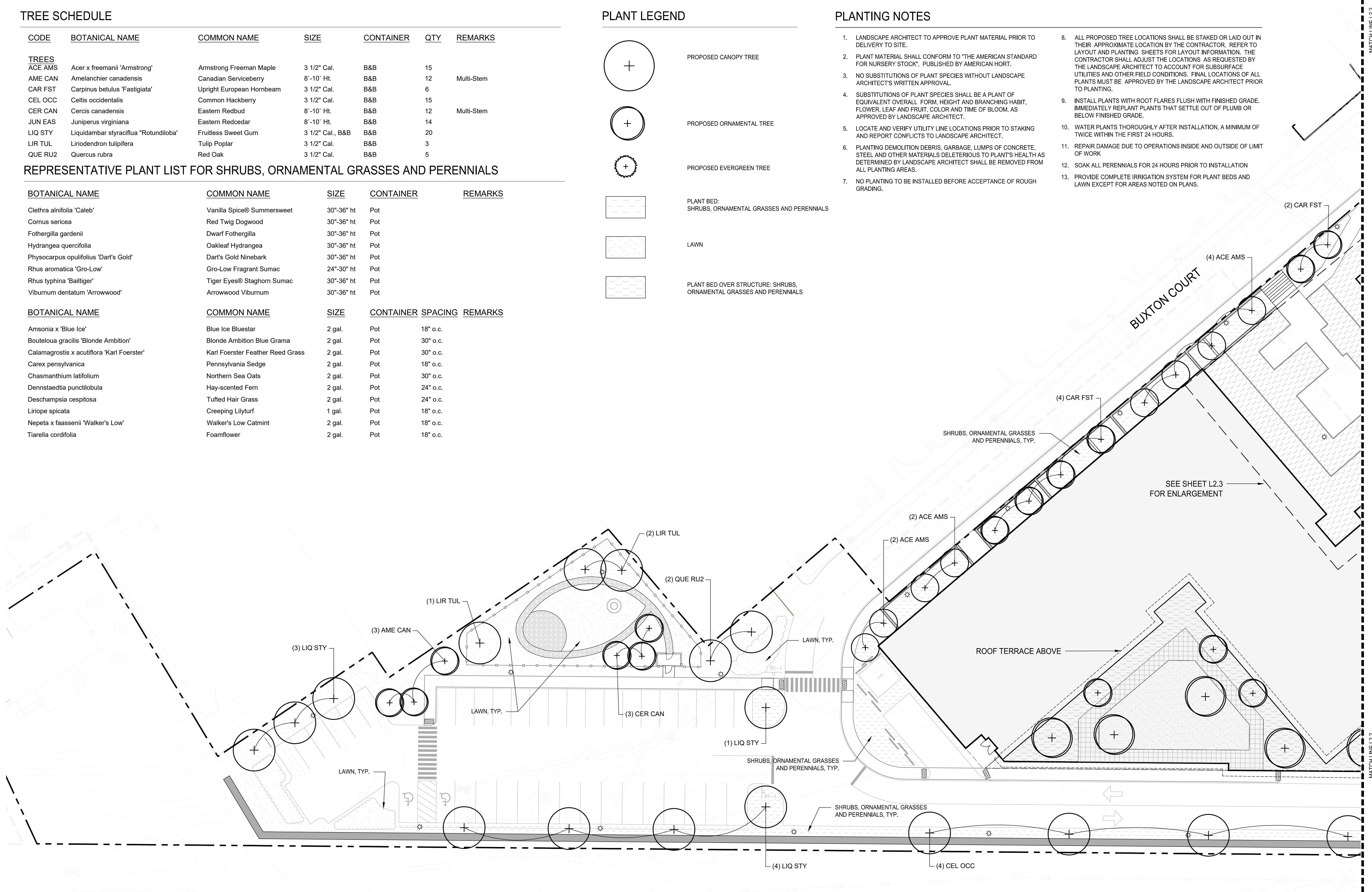
BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	REMARKS
Amsonia x 'Blue Ice'	Blue Ice Bluestar	2 gal.	Pot	18" o.c.	
Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama	2 gal.	Pot	30" o.c.	
Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	2 gal.	Pot	30" o.c.	
Carex pensylvanica	Pennsylvania Sedge	2 gal.	Pot	18" o.c.	
Chasmanthium latifolium	Northern Sea Oats	2 gal.	Pot	30" o.c.	
Dennstaedtia punctilobula	Hay-scented Fern	2 gal.	Pot	24" o.c.	
Deschampsia cespitosa	Tufted Hair Grass	2 gal.	Pot	24" o.c.	
Liriope spicata	Creeping Lilyturf	1 gal.	Pot	18" o.c.	
Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint	2 gal.	Pot	18" o.c.	
Tiarella cordifolia	Foamflower	2 gal.	Pot	18" o.c.	

PLANT LEGEND



PLANTING NOTES

- LANDSCAPE ARCHITECT TO APPROVE PLANT MATERIAL PRIOR TO DELIVERY TO SITE.
- PLANT MATERIAL SHALL CONFORM TO "THE AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY AMERICAN HORT.
- NO SUBSTITUTIONS OF PLANT SPECIES WITHOUT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
- SUBSTITUTIONS OF PLANT SPECIES SHALL BE A PLANT OF EQUIVALENT OVERALL FORM, HEIGHT AND BRANCHING HABIT, FLOWER, LEAF AND FRUIT, COLOR AND TIME OF BLOOM, AS APPROVED BY LANDSCAPE ARCHITECT.
- LOCATE AND VERIFY UTILITY LINE LOCATIONS PRIOR TO STAKING AND REPORT CONFLICTS TO LANDSCAPE ARCHITECT.
- PLANTING DEMOLITION DEBRIS, GARBAGE, LUMPS OF CONCRETE, STEEL AND OTHER MATERIALS DELETERIOUS TO PLANTS' HEALTH AS DETERMINED BY LANDSCAPE ARCHITECT SHALL BE REMOVED FROM ALL PLANTING AREAS.
- NO PLANTING TO BE INSTALLED BEFORE ACCEPTANCE OF ROUGH GRADING.
- ALL PROPOSED TREE LOCATIONS SHALL BE STAKED OR LAID OUT IN THEIR APPROXIMATE LOCATION BY THE CONTRACTOR. REFER TO LAYOUT AND PLANTING SHEETS FOR LAYOUT INFORMATION. THE CONTRACTOR SHALL ADJUST THE LOCATIONS AS REQUESTED BY THE LANDSCAPE ARCHITECT TO ACCOUNT FOR SUBSURFACE UTILITIES AND OTHER FIELD CONDITIONS. FINAL LOCATIONS OF ALL PLANTS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- INSTALL PLANTS WITH ROOT FLARES FLUSH WITH FINISHED GRADE. IMMEDIATELY REPLANT PLANTS THAT SETTLE OUT OF PLUMB OR BELOW FINISHED GRADE.
- WATER PLANTS THOROUGHLY AFTER INSTALLATION, A MINIMUM OF TWICE WITHIN THE FIRST 24 HOURS.
- REPAIR DAMAGE DUE TO OPERATIONS INSIDE AND OUTSIDE OF LIMIT OF WORK.
- SOAK ALL PERENNIALS FOR 24 HOURS PRIOR TO INSTALLATION
- PROVIDE COMPLETE IRRIGATION SYSTEM FOR PLANT BEDS AND LAWN EXCEPT FOR AREAS NOTED ON PLANS.



APPLICANT

ANDOVER TOWN YARD, LLC

231 SUTTON STREET, SUITE 1B
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ARCHITECT

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ARCHITECTURE & DESIGN

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PROJECT INFORMATION

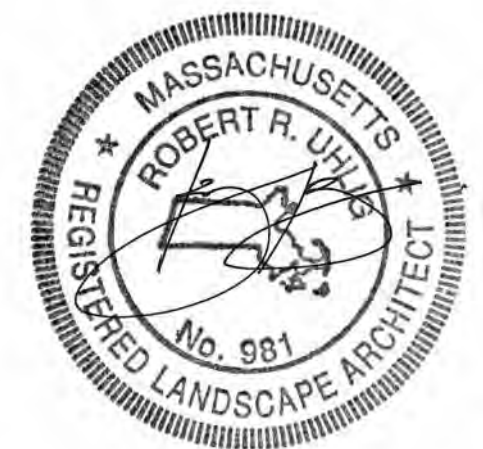
ANDOVER TOWN YARD

11 LEWIS ST, ANDOVER, MA 01810

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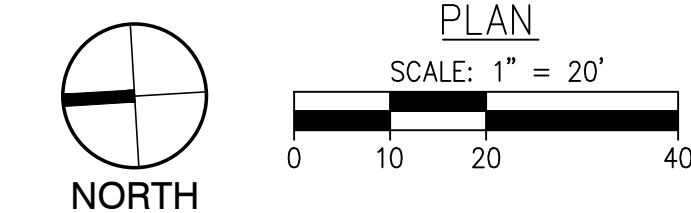
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PLANTING PLAN

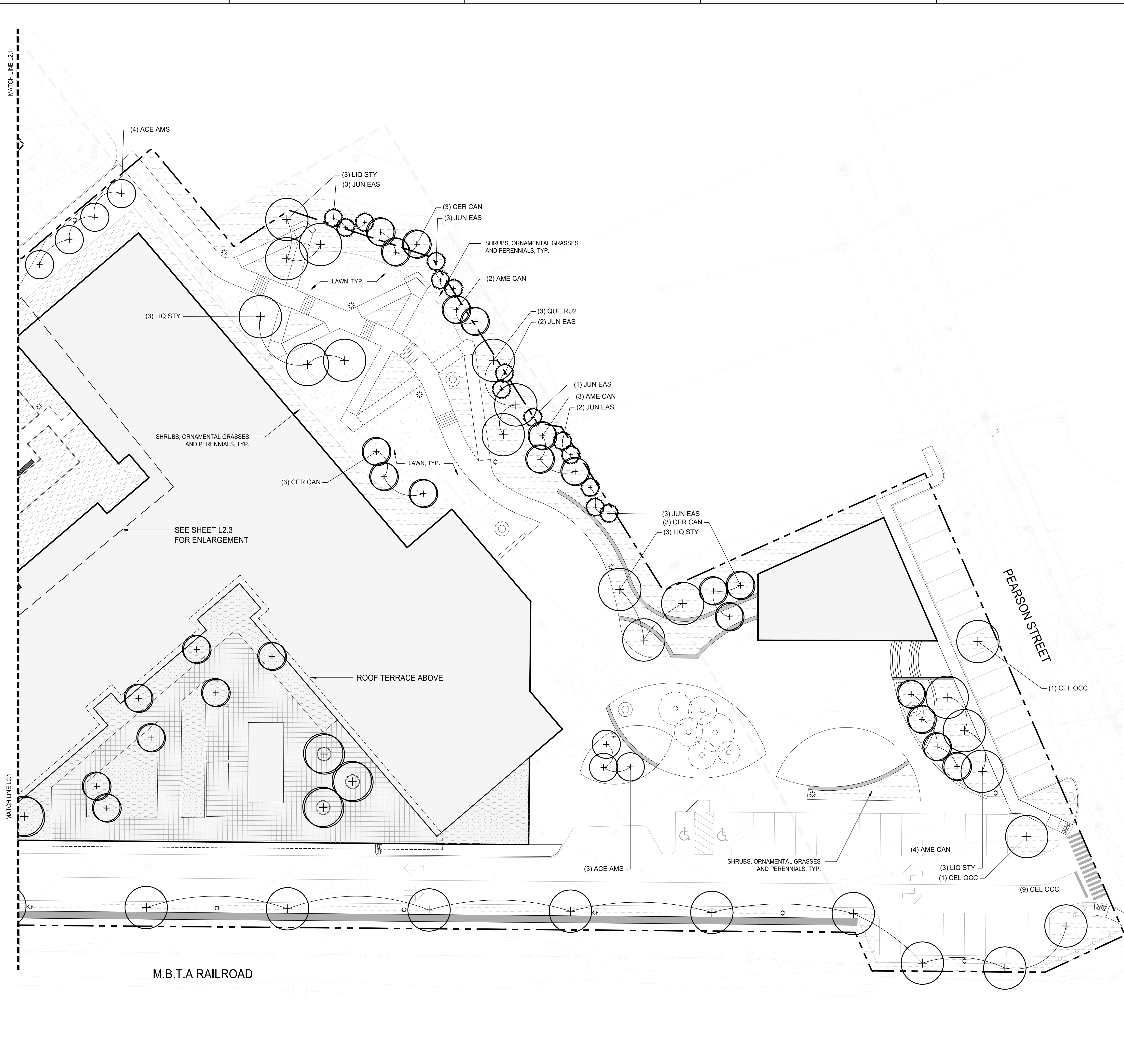
Project No. 21035
 Drawn By JMI/JF
 Date 11/15/23
 Scale 1" = 20'-0"

DRAWING NUMBER:

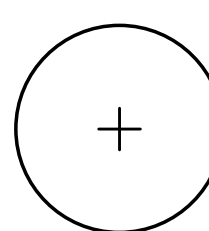
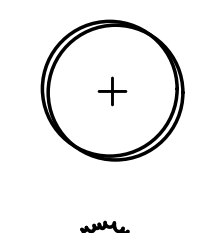
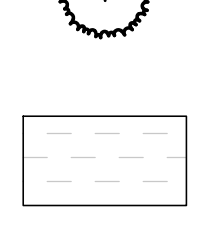
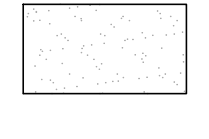


L2.1



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PLANT LEGEND

-  PROPOSED CANOPY TREE
-  PROPOSED ORNAMENTAL TREE
-  PROPOSED EVERGREEN TREE
-  PLANT BED: SHRUBS, ORNAMENTAL GRASSES AND PERENNIALS
-  LAWN
-  PLANT BED OVER STRUCTURE: SHRUBS, ORNAMENTAL GRASSES AND PERENNIALS

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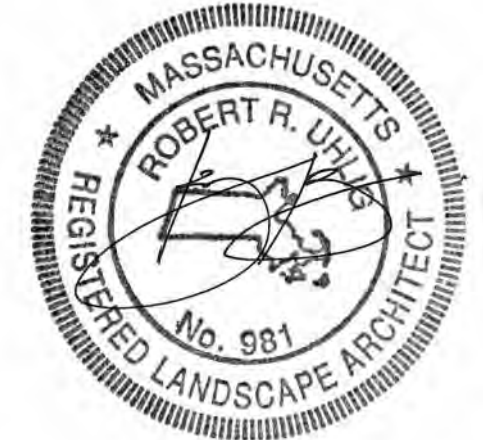
ANDOVER TOWN YARD

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ISSUANCE

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REVISIONS

No.	Date	Description

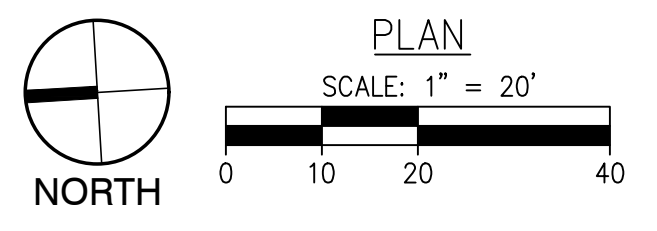
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PLANTING PLAN

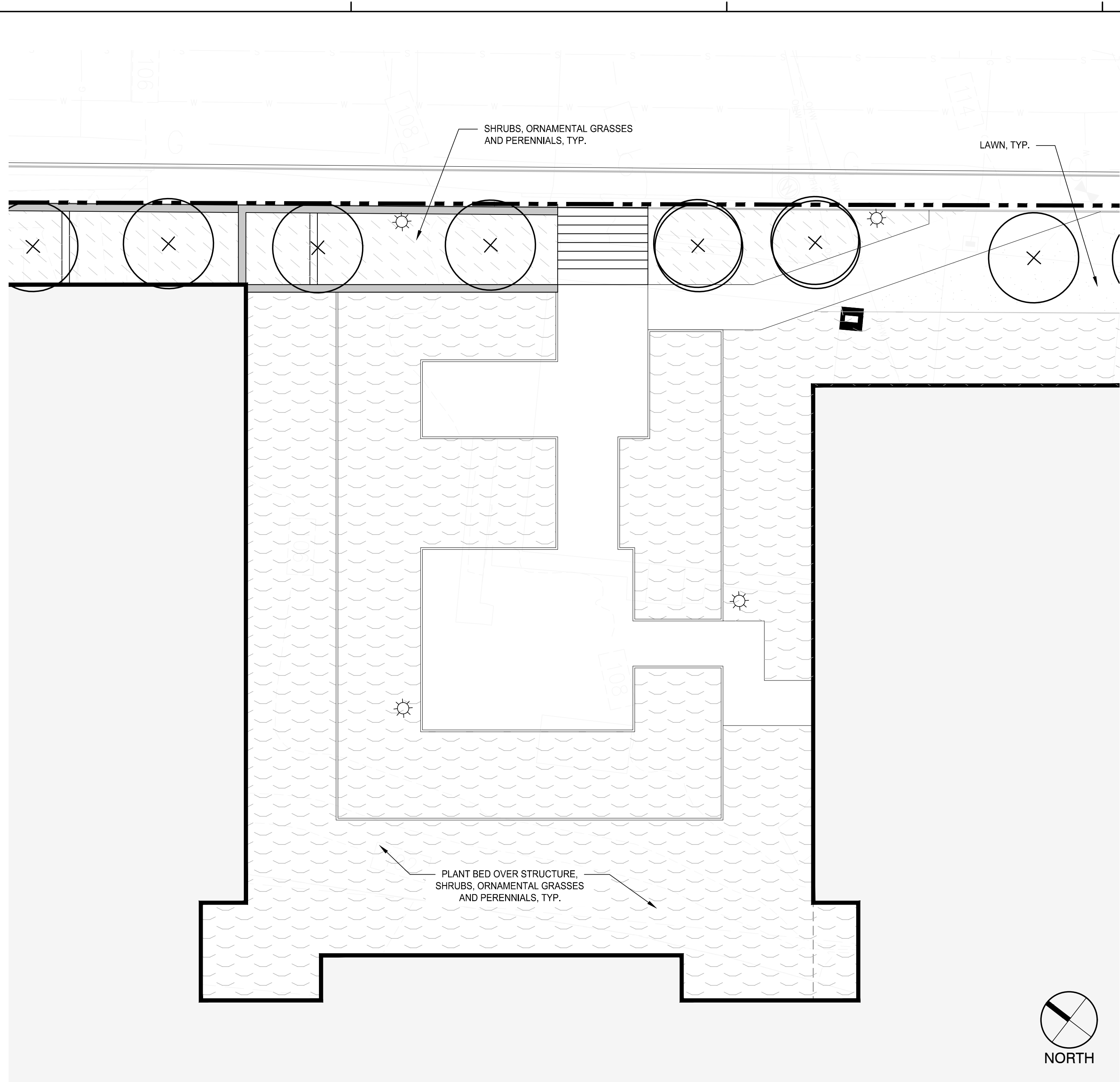
Project No.	21035
Drawn By	JM/JF
Date	11/15/23
Scale	1" = 20'-0"

DRAWING NUMBER:

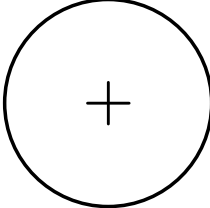
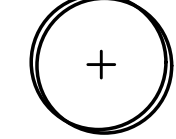
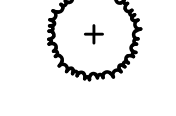
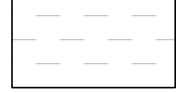
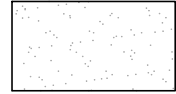
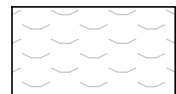
L2.2



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PLANT LEGEND

-  PROPOSED CANOPY TREE
-  PROPOSED ORNAMENTAL TREE
-  PROPOSED EVERGREEN TREE
-  PLANT BED: SHRUBS, ORNAMENTAL GRASSES AND PERENNIALS
-  LAWN
-  PLANT BED OVER STRUCTURE: SHRUBS, ORNAMENTAL GRASSES AND PERENNIALS

1 BUXTON COURT COURTYARD
SCALE: 1"=10'-0"

APPLICANT

ANDOVER TOWN YARD, LLC

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT
ARROWSTREET
ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com

CONSULTANT

HALVORSON
Tighe&Bond STUDIO

PROJECT INFORMATION

ANDOVER TOWN YARD

11 LEWIS ST, ANDOVER, MA 01810

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REVISIONS

No.	Date	Description

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PLANTING ENLARGEMENT PLANS

Project No. 21035
Drawn By JM/JF
Date 11/15/23
Scale 1" = 20'-0"

DRAWING NUMBER:

L2.3



1 BENCH
NTS



2 MOVABLE FURNISHINGS
NTS



3 METAL SCREEN
NTS



4 UNIT PAVERS
NTS



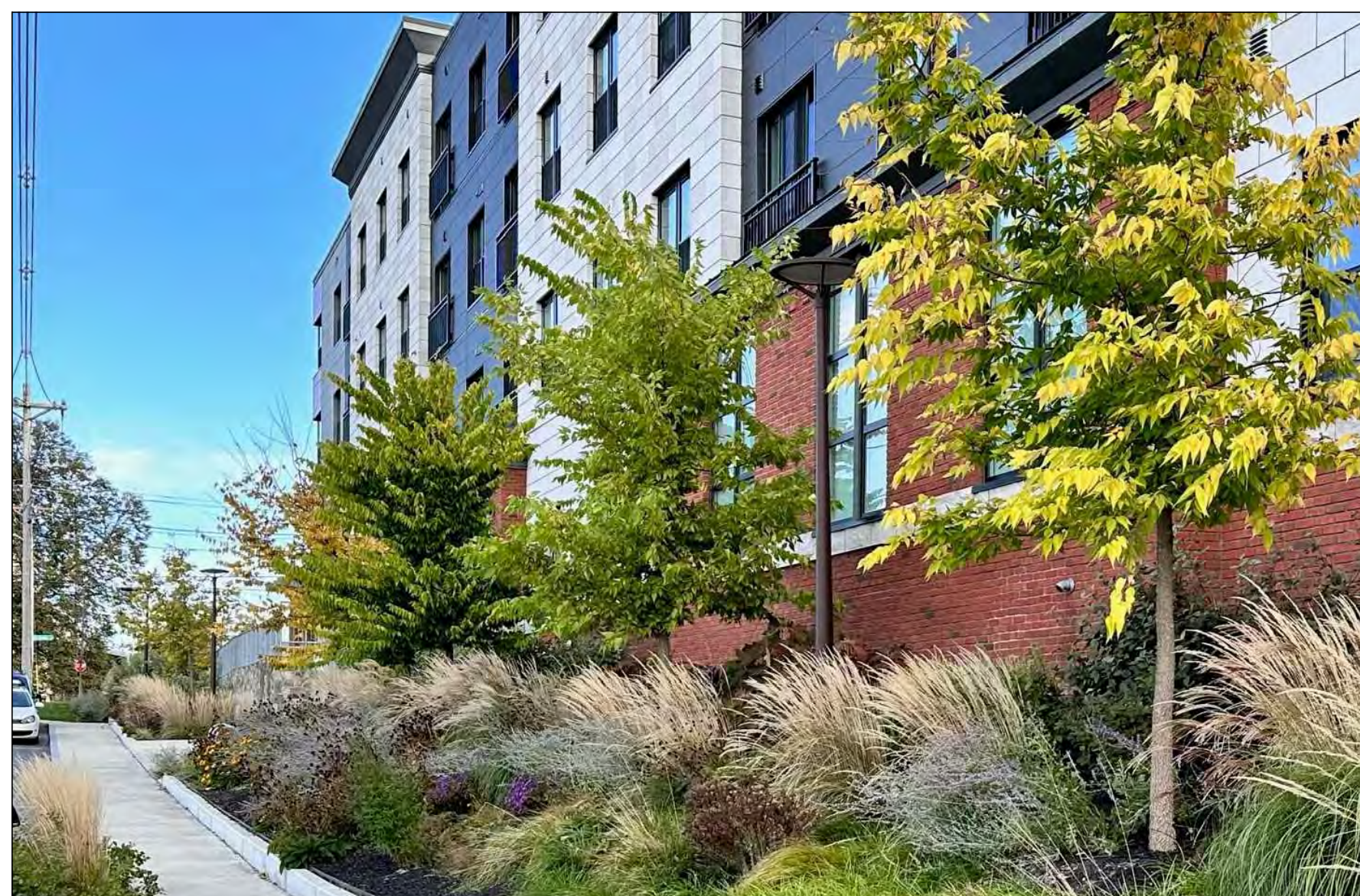
5 PLANTINGS AT CONNECTOR WALK
NTS



6 BOARD FORM CONCRETE FINISH
NTS



7 TRASH AND RECYCLING RECEPTACLES
NTS



8 BUXTON COURT PLANTING
NTS

APPLICANT

ANDOVER TOWN YARD, LLC

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT
ARROWSTREET
ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com

CONSULTANT

HALVORSON Tighe&Bond STUDIO

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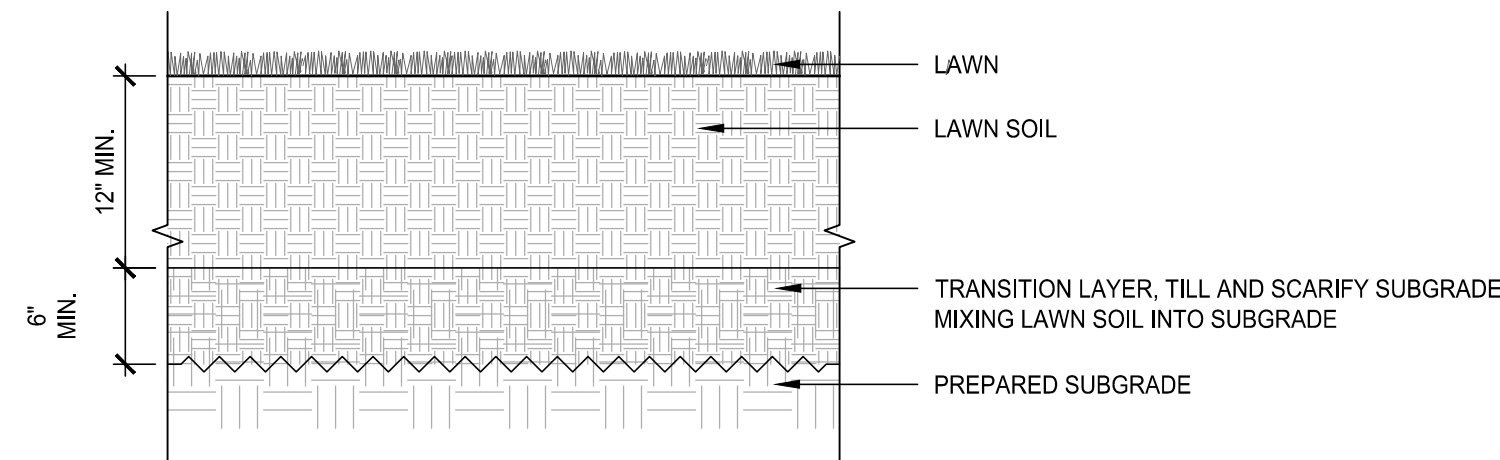
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LANDSCAPE REPRESENTATIVE PHOTOS

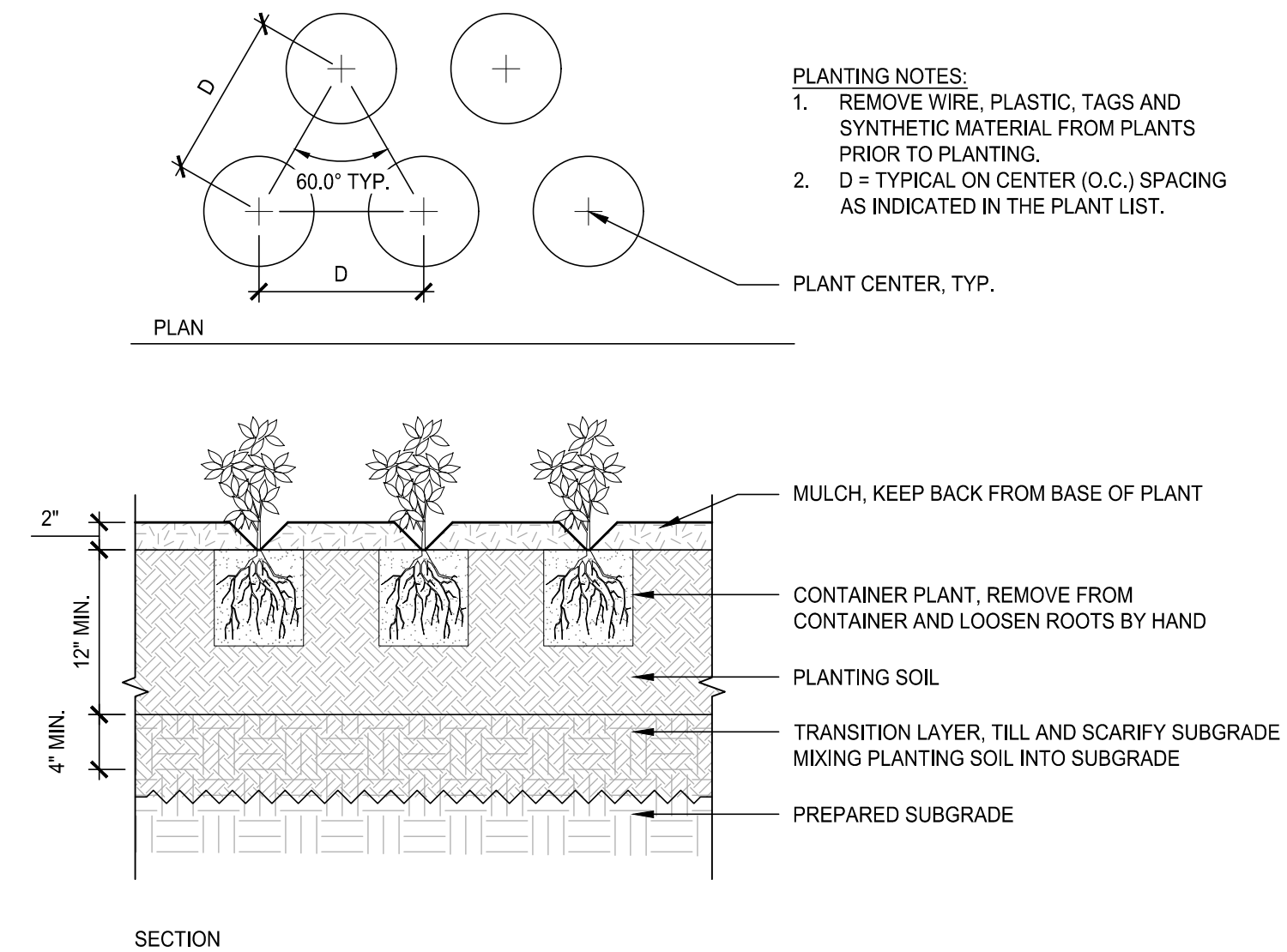
Project No.	21035
Drawn By	JM/JF
Date	11/15/23
Scale	NTS

DRAWING NUMBER:

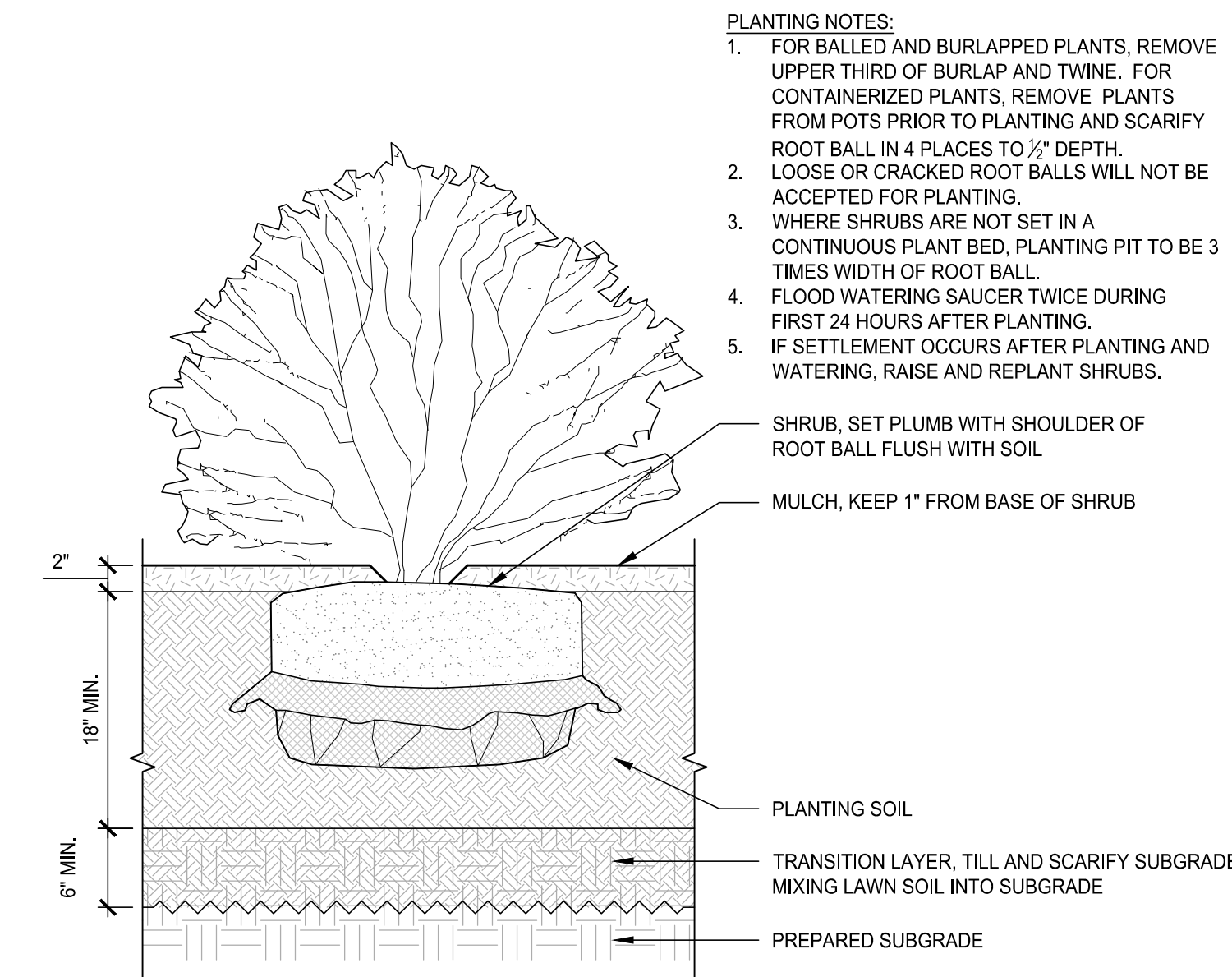
L3.1



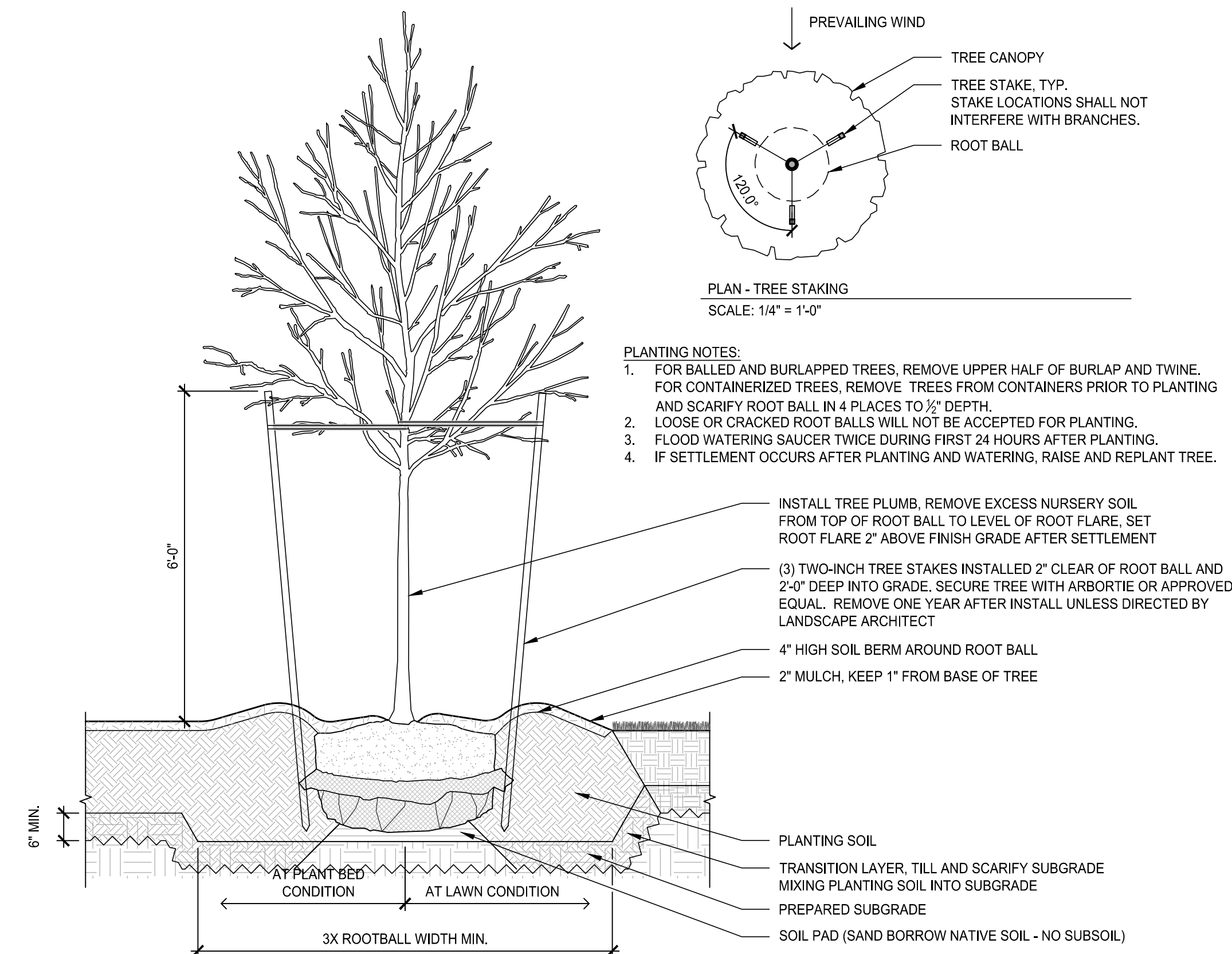
1 LAWN
SCALE: 1"=1'-0"



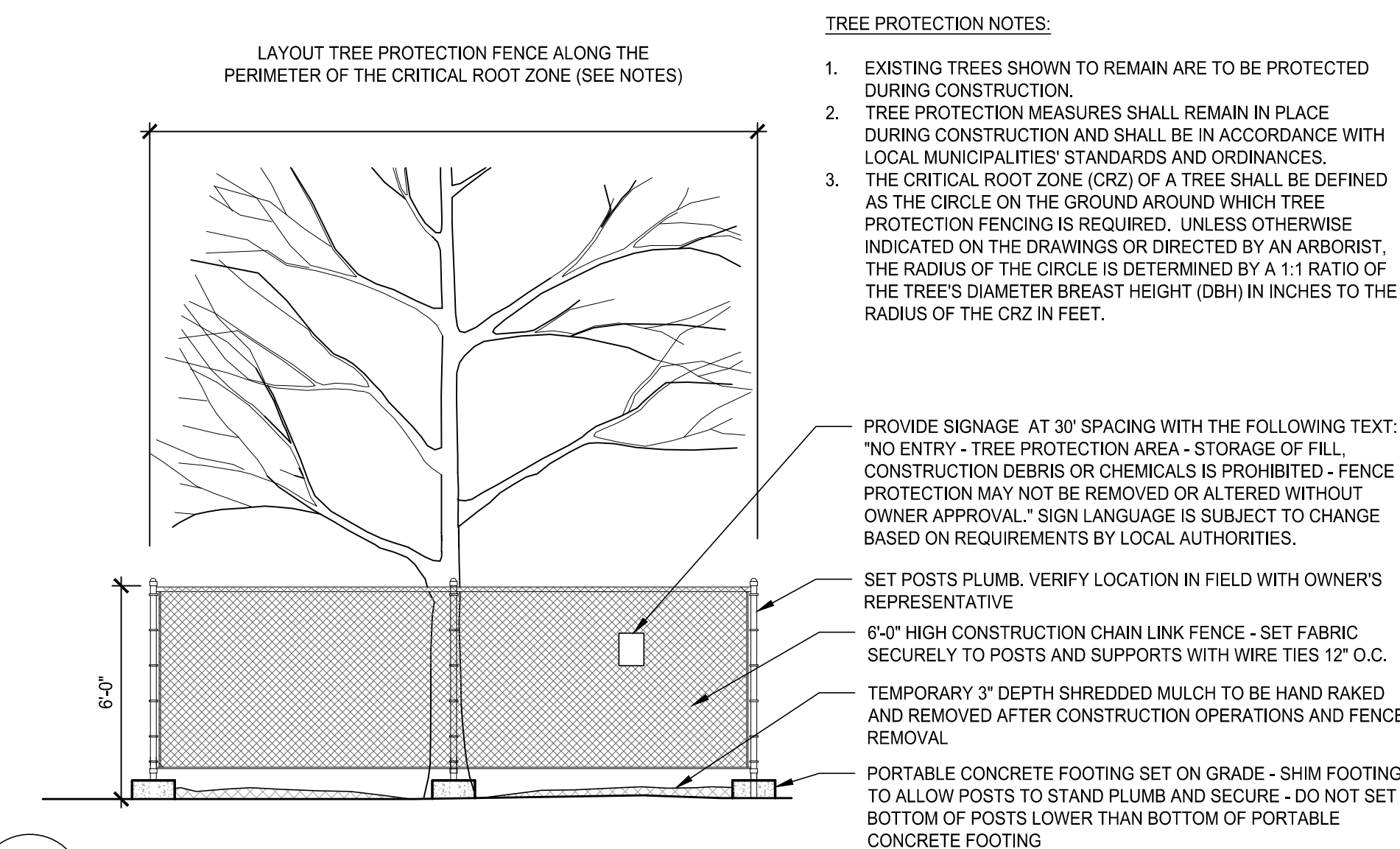
2 GROUNDCOVER / PERENNIAL PLANTING
SCALE: 1"=1'-0"



3 SHRUB PLANTING
SCALE: 1"=1'-0"



4 TREE PLANTING
SCALE: 1/2"=1'-0"



5 TREE PROTECTION FENCE
SCALE: 1/4"=1'-0"

- PLANTING NOTES:**
- FOR BALLED AND BURLAPPED PLANTS, REMOVE UPPER THIRD OF BURLAP AND TWINE. FOR CONTAINERIZED PLANTS, REMOVE PLANTS FROM POTS PRIOR TO PLANTING AND SCARIFY ROOT BALL IN 4 PLACES TO 1/2" DEPTH. LOOSE OR CRACKED ROOT BALLS WILL NOT BE ACCEPTED FOR PLANTING.
 - WHERE SHRUBS ARE NOT SET IN A CONTINUOUS PLANT BED, PLANTING PIT TO BE 3 TIMES WIDTH OF ROOT BALL.
 - FLOOD WATERING SAUCER TWICE DURING FIRST 24 HOURS AFTER PLANTING.
 - IF SETTLEMENT OCCURS AFTER PLANTING AND WATERING, RAISE AND REPLANT SHRUBS.

- SHRUB, SET PLUMB WITH SHOULDER OF ROOT BALL FLUSH WITH SOIL
- MULCH, KEEP 1" FROM BASE OF SHRUB
- PLANTING SOIL
- TRANSITION LAYER, TILL AND SCARIFY SUBGRADE MIXING LAWN SOIL INTO SUBGRADE
- PREPARED SUBGRADE

- PLANTING NOTES:**
- FOR BALLED AND BURLAPPED TREES, REMOVE UPPER HALF OF BURLAP AND TWINE. FOR CONTAINERIZED TREES, REMOVE TREES FROM CONTAINERS PRIOR TO PLANTING AND SCARIFY ROOT BALL IN 4 PLACES TO 1/2" DEPTH. LOOSE OR CRACKED ROOT BALLS WILL NOT BE ACCEPTED FOR PLANTING.
 - FLOOD WATERING SAUCER TWICE DURING FIRST 24 HOURS AFTER PLANTING.
 - IF SETTLEMENT OCCURS AFTER PLANTING AND WATERING, RAISE AND REPLANT TREE.

TREE PROTECTION NOTES:

- EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION.
- TREE PROTECTION MEASURES SHALL REMAIN IN PLACE DURING CONSTRUCTION AND SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPALITIES' STANDARDS AND ORDINANCES.
- THE CRITICAL ROOT ZONE (CRZ) OF A TREE SHALL BE DEFINED AS THE CIRCLE ON THE GROUND AROUND WHICH TREE PROTECTION FENCING IS REQUIRED. UNLESS OTHERWISE INDICATED ON THE DRAWINGS OR DIRECTED BY AN ARBORIST, THE RADIUS OF THE CIRCLE IS DETERMINED BY A 1:1 RATIO OF THE TREE'S DIAMETER BREST HEIGHT (DBH) IN INCHES TO THE RADIUS OF THE CRZ IN FEET.
- CRITICAL ROOT ZONES SHALL BE KEPT FREE OF TRASH AND DEBRIS. NO MATERIALS SHALL BE STOCKPILED OR STORED IN AND NO MIXING, CLEANING, OR DISPOSING OF LIQUIDS OR OTHER MATERIALS SHALL OCCUR WITHIN THE CRZ.
- NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- STAGING SHALL NOT OCCUR IN UNPROTECTED CRITICAL ROOT ZONES. IF STAGING IS REQUIRED IN AREAS OTHER THAN THOSE PROVIDED, PRE-APPROVAL BY THE ARBORIST AND IS REQUIRED. ADDITIONAL PROTECTION MEASURES MAY BE REQUIRED.
- WORK WITHIN THE CRITICAL ROOT ZONE OF TREES TO REMAIN:
 - SHALL BE DIRECTLY SUPERVISED BY AN ARBORIST.
 - SHALL BE PERFORMED "BY HAND" USING HAND TOOLS. WHEELBARROWS, ETC. AS MUCH AS PRACTICAL. THE USE OF POWERED OR MECHANIZED EQUIPMENT SHALL BE REVIEWED AND APPROVED BY THE ARBORIST PRIOR TO WORK. EQUIPMENT WITH A SMALLER AND LIGHTER FOOTPRINT IS PREFERRED.
 - WHERE EXCAVATING WITHIN CRZ, BACKFILL VOIDS WITH LOOSELY PLACED TOPSOIL. INSTALL ONLY THE AMOUNT OF SOIL NECESSARY TO FILL THE VOID WITHOUT SPREADING OVER EXISTING ADJACENT GRADES.
 - ROOTS ENCOUNTERED DURING DEMOLITION SHALL BE REVIEWED ON A CASE-BY-CASE BASIS BY THE ARBORIST. THE ARBORIST SHALL PROVIDE APPROPRIATE TREATMENT OR PRUNING METHODS AS NEEDED AND IN GENERAL CONFORMANCE WITH ACCEPTED INDUSTRY STANDARDS.
- POWERED OR MECHANIZED EQUIPMENT SHALL NOT ENTER CRITICAL ROOT ZONES EXCEPT AS FOLLOWS:
 - EQUIPMENT ACCESS SHALL BE SUPERVISED BY THE ARBORIST.
 - EQUIPMENT SHALL REMAIN ON EXISTING HARD SURFACES OR ON TEMPORARY ACCESS MATTING AND WOOD CHIP PROTECTION LAYER (OR APPROVED ALTERNATES).
 - EQUIPMENT TRAVEL SHALL BE MINIMIZED AS MUCH AS PRACTICAL.

APPLICANT

ANDOVER TOWN YARD, LLC

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT
ARROWSTREET
ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com

CONSULTANT

HALVORSON
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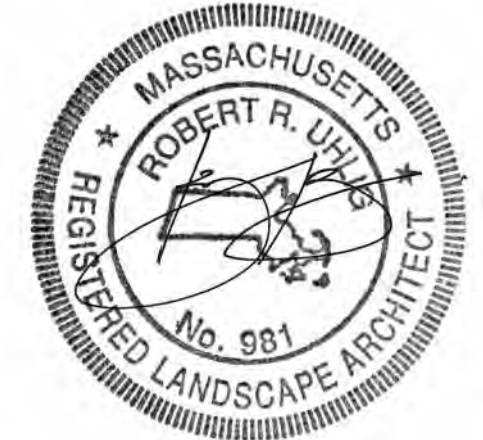
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No.	Date	Description

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LANDSCAPE DETAILS

Project No.	21035
Drawn By	JM/JF
Date	11/15/23
Scale	AS SHOWN

DRAWING NUMBER:

L4.1



Luminaire Schedule					
Qty	Label	Arr. Watts	Arrangement	LLF	Description
4	P1	73.01	SINGLE	0.900	CANTO-2LVC-NW-T4-UNV-SDEG
11	P2	72.85	SINGLE	0.900	CANTO-2LVC-NW-T2-UNV-SDEG
18	PT1	30	SINGLE	0.900	88164

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	Fc	0.33	5.8	0.0	N.A.	N.A.

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ANDOVER TOWN YARD, LLC

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT
ARROWSTREET
ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com

CONSULTANT
illuminate
263 Winn Street
Burlington, MA 01803
(781) 935-8500
333 Pleasant Valley Road
South Windsor, CT 06074
(860) 282-0597

PROJECT INFORMATION
ANDOVER TOWN YARD

11 LEWIS ST, ANDOVER, MA 01810

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No.	Date	Description

DRAWING TITLE
PHOTOMETRIC LIGHTING PLAN

Project No. 21035
Drawn By JMI/JF
Date 11/15/23
Scale

DRAWING NUMBER:

P1.0

