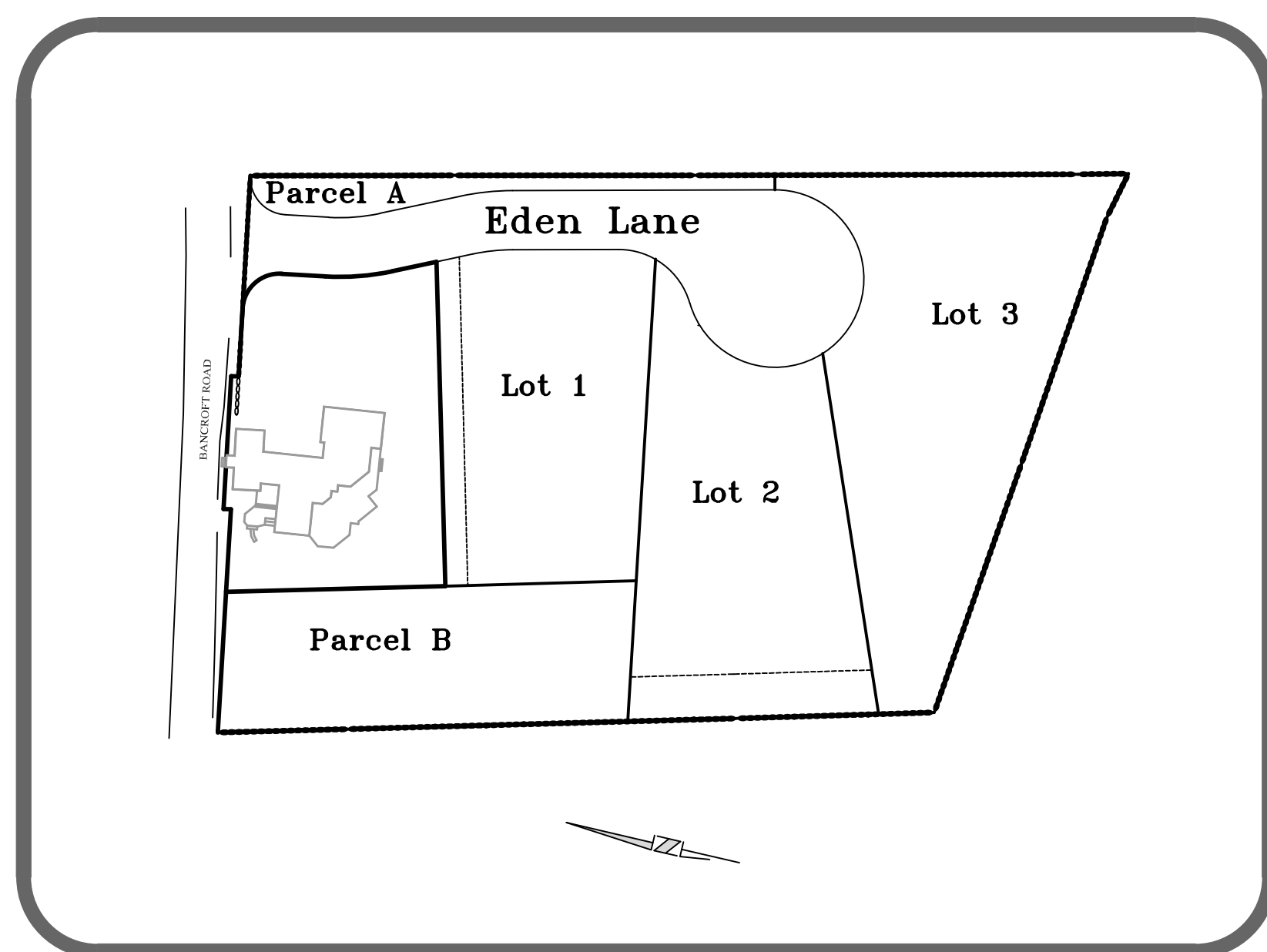


# DEFINITIVE SUBDIVISION PLAN

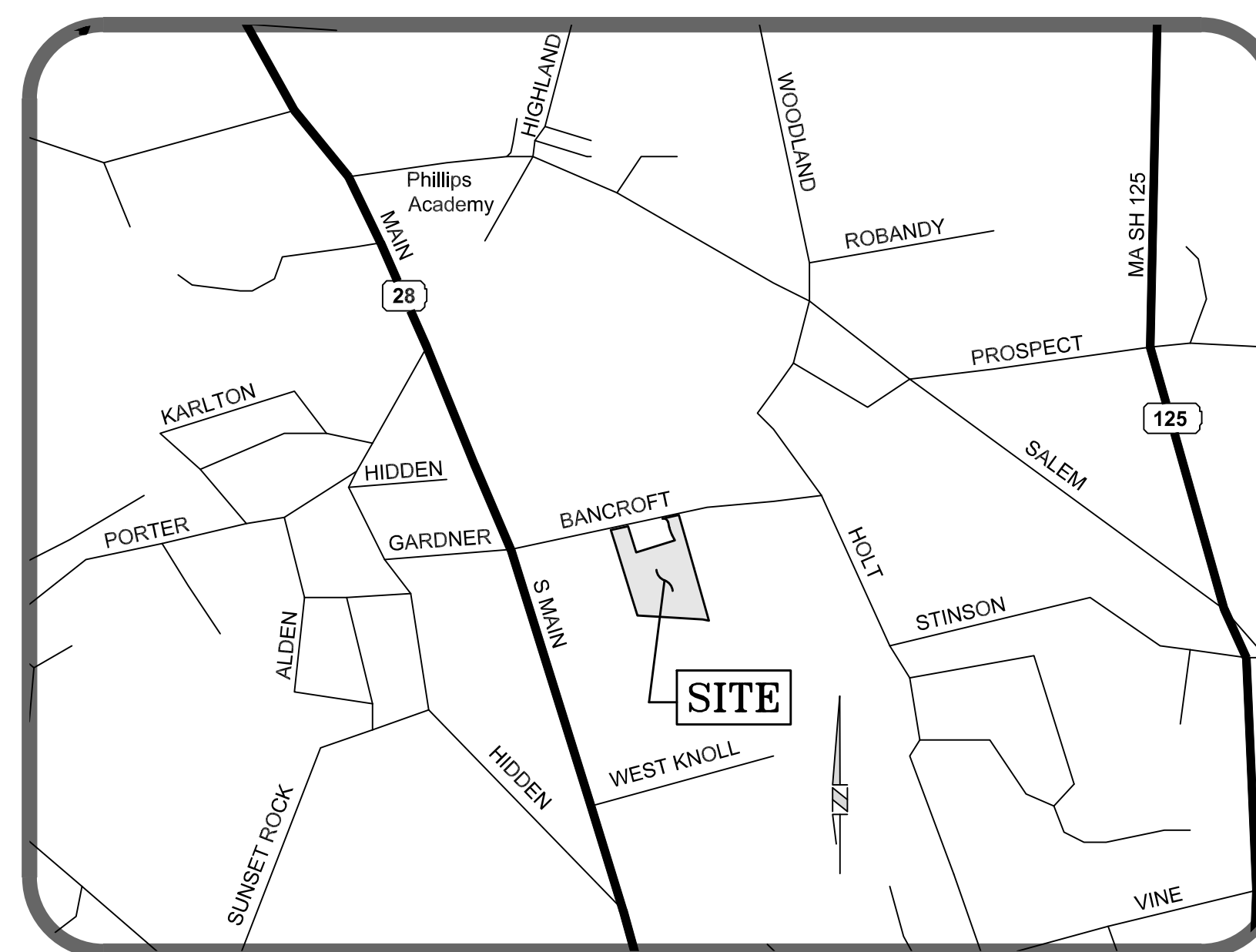
# EDEN ESTATES

A SINGLE FAMILY SUBDIVISION  
IN  
ANDOVER, MASSACHUSETTS

PREPARED FOR:  
**EDEN LANE, LLC**  
42 School Street  
Andover, Massachusetts 01810



KEY MAP  
SCALE: 1" = 100'



LOCUS MAP  
SCALE: 1" = 800'

### SITE ANALYSIS

LOT	AREA (ACS.)
1	0.71
2	0.84
3	1.02
PARCEL A	0.13
PARCEL B	0.61
PROPOSED WAY	0.57
TOTAL AREA	3.88

### INDEX TO SHEETS

- TITLE SHEET 1
- DEFINITIVE SUBDIVISION PLAN 2
- EXISTING CONDITIONS PLAN 3
- GRADING & EROSION CONTROL PLAN 4
- PLAN & PROFILE SHEET 5
- DETAIL SHEET - DRAINAGE/EROSION 6
- DETAIL SHEET - MISCELLANEOUS 7
- LANDSCAPE PLAN 8

### GENERAL NOTES

- SUBJECT PROPERTY IS SHOWN ON ANDOVER ASSESSOR'S MAPS AS MAP 59 LOT 30.
- CURRENT ZONING IS SINGLE FAMILY RESIDENTIAL B. THE MINIMUM REQUIRED LOT AREA IS 30,000 S.F. AND THE MINIMUM LOT FRONTAGE IS 150 FEET. THE BUILDING SETBACK REQUIREMENTS ARE AS FOLLOWS:  

ZONING DISTRICT	FRONT	SIDE	REAR
SRB	40'	25'	30'
- TOPOGRAPHY IS BASED ON N.G.V.D. OF 1929 AND WAS OBTAINED THROUGH LIDAR, AUGMENTED AND VERIFIED BY ACTUAL FIELD SURVEY PERFORMED BY FINDEISEN SURVEY & DESIGN, LLC.
- BENCHMARKS ARE AS SHOWN ON THE PLANS.
- UTILITIES SHOWN HAVE BEEN COMPILED BASED ON EXISTING PLANS AND RECORDS. ACCURACY, LOCATIONS AND COMPLETENESS ARE NOT GUARANTEED TO BE CORRECT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION AND ELEVATION OF ALL UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. CALL TOLL-FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR, EXCLUDING WEEKENDS AND HOLIDAYS, TO EXCAVATION.
- INSTALL SILT SACKS IN CATCH BASINS AND MAINTAIN THROUGHOUT CONSTRUCTION.
- LOTS SHALL BE SERVICED BY MUNICIPAL WATER AND SEWER.
- ALL CATCH BASINS, MANHOLES, AND DRAINPIPES ARE TO BE CLEANED BY THE CONTRACTOR, DURING CONSTRUCTION AS NECESSARY AND, AT THE CONCLUSION OF CONSTRUCTION.
- EROSION & SEDIMENT CONTROL MAINTENANCE, OPERATION & SPECIFICATIONS SHALL BE PERFORMED PER THE EDEN ESTATES PROJECT STORMWATER REPORT.
- STREET TREES SHALL BE PLANTED THREE FEET OUTSIDE OF THE RIGHT-OF WAY AT INTERVALS OF 35± FEET ALONG THE PERIMETER OF THE PROPOSED ROADWAY.

APPROVED BY THE TOWN OF ANDOVER  
PLANNING BOARD

	DATE

FILED \_\_\_\_\_

HEARING \_\_\_\_\_

"I, \_\_\_\_\_, CLERK OF THE TOWN OF ANDOVER, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

\_\_\_\_\_  
TOWN CLERK

### I HEREBY CERTIFY:

THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR THE PREPARATION OF PLANS AS SET FORTH BY THE REGISTERS OF DEEDS.

08/08/2024  
DATE

EDEN ESTATES

Engineer / Surveyor:  
**DK Engineering LLC**  
69 Granite Lane, Chester, NH 03038  
Telephone Number: (603) 605-9298  
E-mail Address: dan@dkelc.com

**FINDEISEN SURVEY & DESIGN LLC**  
P.O. Box 612, Sandown, New Hampshire 03075  
E-mail Address: FSDLLC@gmail.com

Engineer:  
**DANIEL KORAVOS**  
CIVIL  
No. 37752

Surveyor:  
**HUGO P. FINDEISEN II**  
No. 45098

Applicant:  
**EDEN LANE, LLC**  
42 School Street  
Andover, MA 01810

Owner(s):  
**EDEN LANE, LLC**  
42 School Street  
Andover, MA 01810

NO.	DATE	BY	DESCRIPTION	REV. PER SECOND SET OF HWG REVIEW COMMENTS	REV. PER REVIEW COMMENTS & ADD LANDSCAPE PLAN	NOT RELEASED FOR CONSTRUCTION
9						
8						
7						
6						
5						
4						
3	08/08/24	DK				
2	07/14/24	DK				
1						

Assessor's Map & Lot:  
Map 59 & Lot 30  
Project No.: 42215 Drawing Scale: AS NOTED  
Plan Date: 04/02/24 Revised Date: 08/08/24

Sheet Title:  
**TITLE SHEET**

Sheet No.: **1**  
Total No. of Sheets: 8

Drawing name: D:\sk\_ebta\Projects\42215 ->ADIC -> Andover\dwg\42215 -> Subd Plan 2024-08-08.dwg



**LEGEND**

- PROPOSED RETAINING WALL
- EXISTING CONTOURS
- EXISTING SEWER
- EXISTING SEWER MANHOLE
- EXISTING DRAINAGE
- EXISTING CATCH BASIN
- EXISTING DRAIN MANHOLE
- EXISTING WATER LINE
- EXISTING HYDRANT
- EXISTING WATER GATE
- EXISTING UTILITY POLE
- PROPOSED CONTOURS
- PROPOSED GAS
- PROPOSED SEWER
- PROPOSED SEWER MANHOLE
- PROPOSED DRAINAGE
- PROPOSED CATCH BASIN
- PROPOSED DRAIN MANHOLE
- PROPOSED WATER LINE
- PROPOSED HYDRANT
- PROPOSED WATER GATE
- PROPOSED GUARDRAIL
- EROSION CONTROL LINE
- PROP. BOUND
- WETLAND FLAG
- EDGE OF WETLANDS
- TREELINE

**LIST OF ABBREVIATIONS**

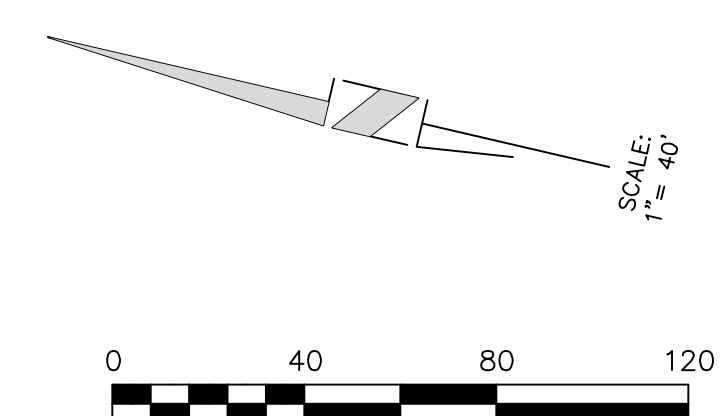
- BIT BITUMINOUS
- CB CATCH BASIN
- DMH DRAINAGE MANHOLE
- EOP EDGE OF PAVEMENT
- P&R POST AND RAIL
- FFE FINISHED FLOOR ELEVATION
- CCB CAPE COD BERM
- VGC VERTICAL GRANITE CURB
- SGC SLOPED GRANITE CURB
- RR SPIKE RAIL ROAD SPIKE
- I.P. IRON PIPE
- (F) FOUND
- NETT NEW ENGLAND TELEPHONE & TELEGRAPH OVERHEAD WIRE
- OHW OVERHEAD WIRE
- SSLW SINGLE SOLID WHITE LINE
- SSBY SINGLE SOLID AND BROKEN YELLOW LINE
- SBLW SINGLE BROKEN WHITE LINE
- CONC CONCRETE
- WF WETLAND FLAG
- PIP PROTECT IN PLACE
- TBR TO BE REMOVED

**SOILS LEGEND**

- |  |  |            |
|--|--|------------|
| <b>Series</b>                                      |  | <b>HSG</b> |
| (310A) Woodbridge fine sandy loam, 0 to 3% slopes  |  | C/D        |
| (310B) Woodbridge fine sandy loam, 3 to 8% slopes  |  | C/D        |
| (310C) Woodbridge fine sandy loam, 8 to 15% slopes |  | C/D        |



FOR REGISTRY USE



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\_\_\_\_\_

TOWN CLERK

APPROVED BY THE TOWN OF ANDOVER PLANNING BOARD

\_\_\_\_\_ DATE

FILED \_\_\_\_\_

HEARING \_\_\_\_\_

Engineer / Surveyor:

**DK Engineering LLC**  
68 Charles Lane, Chester, NH 03038  
 Telephone Number: (603) 505-9298  
 E-mail Address: dan@dkllc.com

**FINDEISEN SURVEY & DESIGN LLC**  
P.O. Box 612, Sandown, New Hampshire 03875  
 E-mail Address: FSDLLC@gmail.com

---

Engineer:

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Surveyor:

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Applicant:

**EDEN LANE, LLC**  
 42 School Street  
 Andover, MA 01810

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Owner(s):

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NO.	DATE	BY	DESCRIPTION
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2	08/08/24	DK	REV. PER SECOND SET OF HWG REVIEW COMMENTS
1	07/14/24	DK	REV. PER REVIEW COMMENTS & ADD LANDSCAPE PLAN

NOT RELEASED FOR CONSTRUCTION

---

Assessor's Map & Lot:  
 Map 59 & Lot 30

Project No.: 42215      Drawing Scale: 1"=40'

Plan Date: 04/02/24      Revised Date: 08/08/24

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Sheet Title:  
**EXISTING CONDITIONS PLAN**

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Sheet No.: **3**

Total No. of Sheets: 8

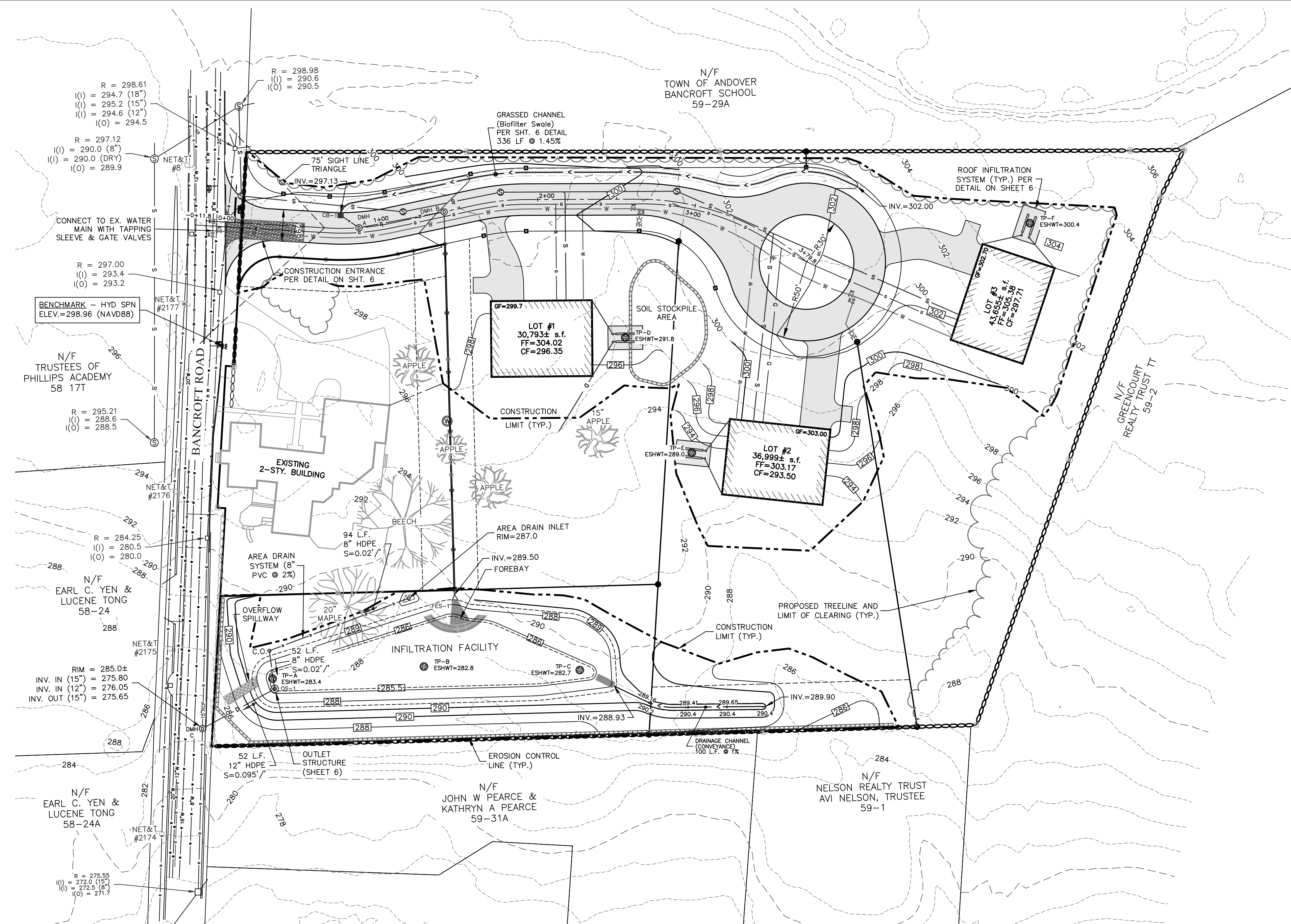
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**CONSTRUCTION SEQUENCE**

1. CONTRACTOR TO NOTIFY DIG-SAFE 72-HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. PRIOR TO GRUBBING OF CLEARED AREAS, ALL SILTATION BARRIERS DESIGNED FOR USE AS TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED AS CALLED FOR ON PROJECT PLANS. INSTALL STABILIZED CONSTRUCTION ENTRANCE AT LOCATION OF CONSTRUCTION ACCESS.
3. CUT AND CLEAR TREES AND BRUSH FROM CONSTRUCTION AREAS TO EXTENT NECESSARY. ALL BRANCHES, TOPS AND BRUSH TO BE PROPERLY DISPOSED OF BY CONTRACTOR ACCORDING TO STATE AND LOCAL REGULATIONS.
4. COMPLETE GRUBBING OPERATIONS. ALL STUMPS AND SIMILAR DEBRIS SHALL BE PROPERLY DISPOSED OF BY CONTRACTOR ACCORDING TO STATE AND LOCAL REGULATIONS. ORGANIC MATERIAL SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED IN UPLAND AREAS. ALL STOCKPILES SHALL BE SEEDDED WITH WINTER RYE AND SURROUNDED WITH HAY BALES OR SILT SOCKS.
5. CONSTRUCT INFILTRATION BASIN, GRASS CHANNEL AND DRAINAGE SWALE.
6. STABILIZE ALL DITCH LINES AND PONDS PRIOR TO DIRECTING FLOW INTO THEM; CONSTRUCT CLOSED DRAINAGE SYSTEM AND OTHER SUBSURFACE UTILITIES. SLOPES AND EMBANKMENTS SHALL BE STABILIZED BY TRACKING AND TEMPORARY SEEDING WITH WINTER RYE PRIOR TO TURF ESTABLISHMENT. ALL DITCHES, POND, AND SWALES SHALL BE STABILIZED PRIOR TO HAVING RUNOFF DIRECTED TO THEM.
7. ALL SWALES AND DITCH LINES SHALL BE PROTECTED FROM EROSION BY IMPLEMENTATION OF SILT SOCKS AS SHOWN ON PROJECT PLANS.
8. APPLY TOPSOIL TO SLOPES AND OTHER AREAS DISTURBED BY CONSTRUCTION. TOPSOIL USED MAY BE NATIVE ORGANIC MATERIAL SCREENED SO AS TO BE FREE OF ROOTS, BRANCHES, STONES, AND OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL BE APPLIED SO AS TO PROVIDE A MINIMUM OF A 4-INCH COMPACTED THICKNESS. UPON COMPLETION OF TOPSOILING, FINISHED SECTIONS ARE TO BE LIMED, SEEDDED AND MULCHED. CONSTRUCTION PERSONNEL SHALL INSPECT COMPLETED SECTIONS OF WORK ON A REGULAR BASIS AND REMEDY ANY PROBLEM AREAS UNTIL A HEALTHY STAND OF GRASS HAS BECOME ESTABLISHED.
9. INSTALL FINISHED GRAVEL FOR PAVEMENT BASE MATERIALS.

**CONSTRUCTION NOTES**

1. ALL ROADWAY AND UTILITY CONSTRUCTION SHALL CONFORM TO APPLICABLE REGULATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO AND/OR DURING CONSTRUCTION. THE DESIGN ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH WORK.
3. ALL SLOPES ARE 3:1 (HORIZONTAL:VERTICAL) UNLESS OTHERWISE SHOWN.
4. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES IN THE PLANS BEFORE PROCEEDING WITH CONSTRUCTION.
5. ALL PIPE LENGTHS ARE FOR BIDDING INFORMATION ONLY AND ACTUAL LENGTHS MAY VARY SLIGHTLY. PIPE LENGTHS ARE MEASURED FROM THE CENTER OF THE STRUCTURE.
6. EROSION CONTROL MEASURES SUCH AS SILT SOX, SILT FENCES, DRAINAGE DIVERSIONS ETC. SHALL BE INSTALLED AND MAINTAINED ON A CONTINUOUS BASIS IN ORDER TO PROTECT OFFSITE AREAS DURING CONSTRUCTION.
7. ALL STORM DRAINS SHALL BE 12" MIN. HIGH DENSITY POLYETHYLENE (HDPE) PIPE OR EQUIVALENT.
8. ALL WATER MAINS SHALL BE 8" CLASS 52 CEMENT LINED DUCTILE IRON (CLDI) PIPE.
9. ALL SANITARY SEWER SHALL BE POLYVINYL CHLORIDE (PVC). ALL JOINTS SHALL BE OF THE RUBBER GASKET TYPE.
10. BENCHMARK: SHOWN ON SHEET 3 AT FIRE HYDRANT ON BANCROFT ROAD.
11. ALL CATCH BASINS SHALL USE LeBARON LAG 266-3 FRAME & GRATE. ALL SEWER OR DRAIN MANHOLES SHALL USE LeBARON LT 106 FRAME & GRATE.
12. THE MINIMUM HORIZONTAL SEPARATION BETWEEN ALL SEWER AND WATER LINES SHALL BE 10'. WHERE THE MINIMUM HORIZONTAL SEPARATION CAN NOT BE OBTAINED, THE SEWER LINE SHALL BE A MINIMUM OF 18" BELOW THE WATER LINE. WHERE NEITHER THE HORIZONTAL NOR VERTICAL SEPARATION CAN BE OBTAINED, BOTH LINES SHALL BE ENCASED IN CONCRETE FOR A DISTANCE OF 10' BEYOND THE AFFECTED AREA. THE HORIZONTAL AND VERTICAL SEPARATION SHALL BE MEASURED FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE.
13. ALL DISTURBED AREAS WHICH WILL NOT BE COVERED WITH IMPERVIOUS MATERIAL SHALL BE LOAMED AND SEEDDED.



**DEEP HOLE TEST RESULTS**

TEST DATE: 08/06/2024

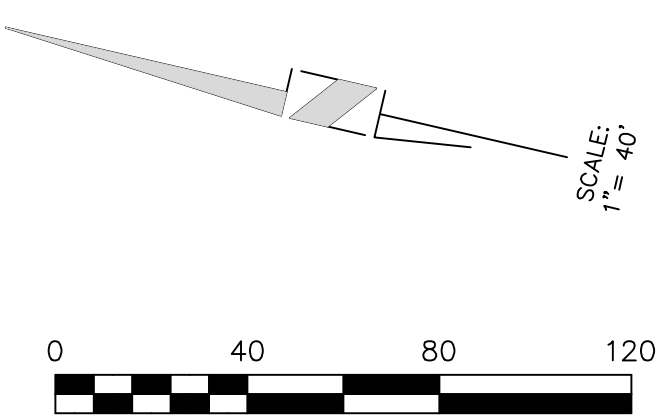
TP	EL	Soil Profile	Notes
TP-A	287.8	FINE SANDY LOAM 10 YR 2/2 SANDY LOAM 10 YR 5/4 LOAMY SAND 2.5 Y 5/3	12" Ap 25" Bw 67" C O.W.T. - NONE E.S.W.T. @ 52" REFUSAL - NONE EL = 283.4
TP-B	287.0	FINE SANDY LOAM 10 YR 2/2 SANDY LOAM 10 YR 5/4 LOAMY SAND 2.5 Y 5/3	16" Ap 45" Bw 85" C O.W.T. - NONE E.S.W.T. @ 50" REFUSAL - NONE EL = 282.8
TP-C	289.0	FINE SANDY LOAM 10 YR 2/2 SANDY LOAM 10 YR 5/4 LOAMY SAND 2.5 Y 5/3	16" Ap 30" Bw 114" C O.W.T. - NONE E.S.W.T. @ 75" REFUSAL - NONE EL = 282.7
TP-D	296.0	FILL FINE SANDY LOAM 10 YR 2/2 SANDY LOAM 10 YR 5/4 LOAMY SAND 2.5 Y 5/3	12" Ap 18" Ap 26" Bw 80" C O.W.T. - NONE E.S.W.T. @ 50" REFUSAL - NONE EL = 291.8
TP-E	293.2	FINE SANDY LOAM 10 YR 2/2 SANDY LOAM 10 YR 5/4 LOAMY SAND 2.5 Y 5/3	14" Ap 27" Bw 79" C O.W.T. - NONE E.S.W.T. @ 50" REFUSAL - NONE EL = 289.0
TP-F	305.0	FINE SANDY LOAM 10 YR 2/2 SANDY LOAM 10 YR 5/4 LOAMY SAND 2.5 Y 5/3	14" Ap 30" Bw 80" C O.W.T. - NONE E.S.W.T. @ 55" REFUSAL - NONE EL = 300.4

**LEGEND**

	PROPOSED RETAINING WALL
	EXISTING CONTOURS
	EXISTING SEWER
	EXISTING SEWER MANHOLE
	EXISTING DRAINAGE
	EXISTING CATCH BASIN
	EXISTING DRAIN MANHOLE
	EXISTING WATER LINE
	EXISTING HYDRANT
	EXISTING WATER GATE
	EXISTING UTILITY POLE
	PROPOSED CONTOURS
	PROPOSED GAS
	PROPOSED SEWER
	PROPOSED SEWER MANHOLE
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	PROPOSED CATCH BASIN
	PROPOSED DRAIN MANHOLE
	PROPOSED WATER LINE
	PROPOSED WATER GATE
	PROPOSED GUARDRAIL
	EROSION CONTROL LINE
	PROP. BOUND
	WETLAND FLAG
	EDGE OF WETLANDS
	TREELINE

**LIST OF ABBREVIATIONS**

BIT	BITUMINOUS
CB	CATCH BASIN
C.O.	CLEAN OUT
DMH	DRAINAGE MANHOLE
EOP	EDGE OF PAVEMENT
P&R	POST AND RAIL
FFE	FINISHED FLOOR ELEVATION
CCB	CAPE COD BERM
VGC	VERTICAL GRANITE CURB
SGC	SLOPED GRANITE CURB
RR SPIKE	RAIL ROAD SPIKE
I.P.	IRON PIPE
(F)	FOUND
NETT	NEW ENGLAND TELEPHONE & TELEGRAPH OVERHEAD WIRE
SSLW	SINGLE SOLID WHITE LINE
SSBY	SINGLE SOLID AND BROKEN YELLOW LINE
SBLW	SINGLE BROKEN WHITE LINE
CONC	CONCRETE
WF	WETLAND FLAG
PIP	PROTECT IN PLACE
TBR	TO BE REMOVED



FOR REGISTRY USE

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\_\_\_\_\_  
TOWN CLERK

APPROVED BY THE TOWN OF ANDOVER PLANNING BOARD

\_\_\_\_\_  
DATE

FILED \_\_\_\_\_  
HEARING \_\_\_\_\_

Engineer / Surveyor:  
**DK Engineering LLC**  
 59 Granite Lane, Chester, NH 03038  
 Telephone Number: (603) 609-9298  
 E-mail Address: dan@dkllc.com

Engineer:  
**DANIEL KORAVOS**  
 CIVIL  
 No. 37752

Surveyor:  
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1	07/14/24	DK	REV. PER REVIEW COMMENTS & ADD LANDSCAPE PLAN

NOT RELEASED FOR CONSTRUCTION

Assessor's Map & Lot:  
 Map 59 & Lot 30  
 Project No.: 42215 Drawing Scale: 1"=40'  
 Plan Date: 04/02/24 Revised Date: 08/08/24

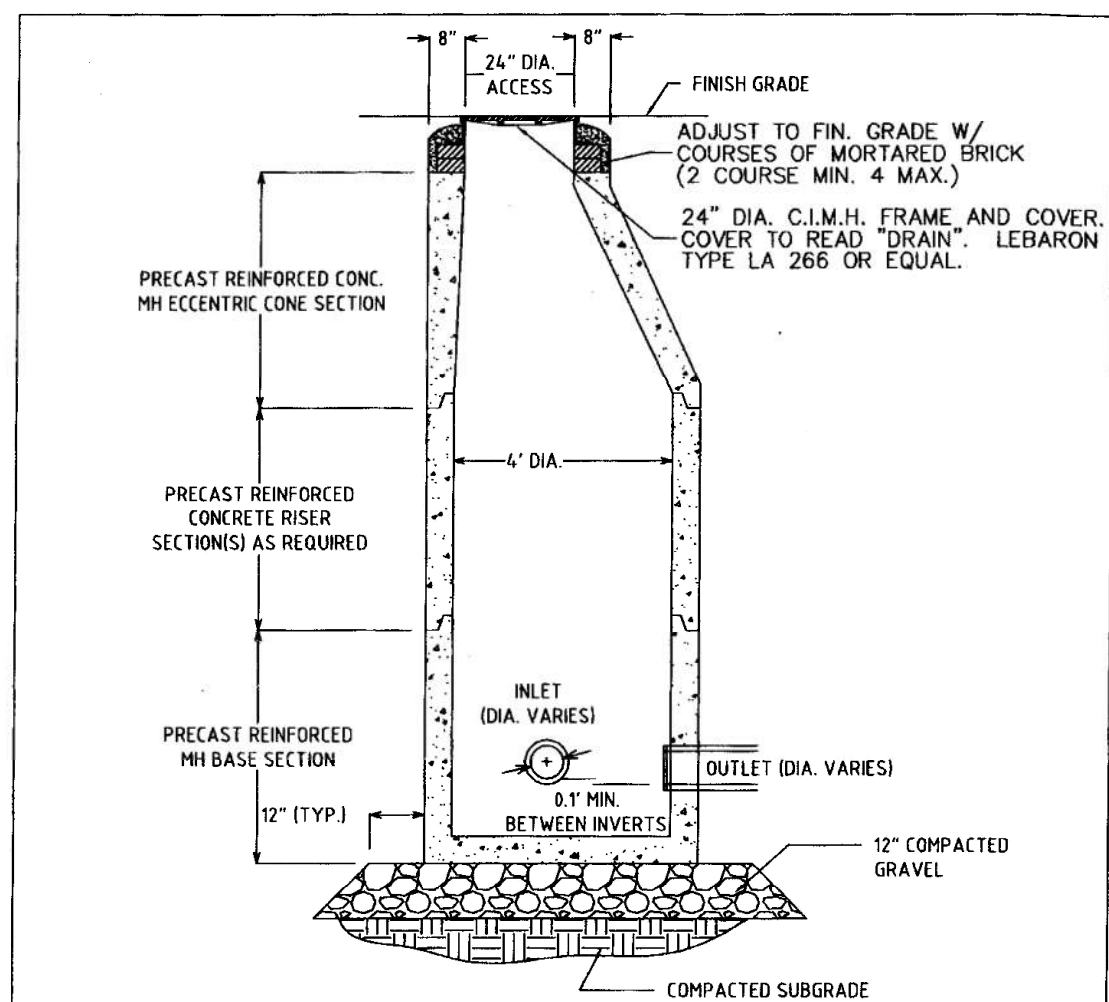
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**GRADING & EROSION CONTROL PLAN**

Sheet No.: **4**

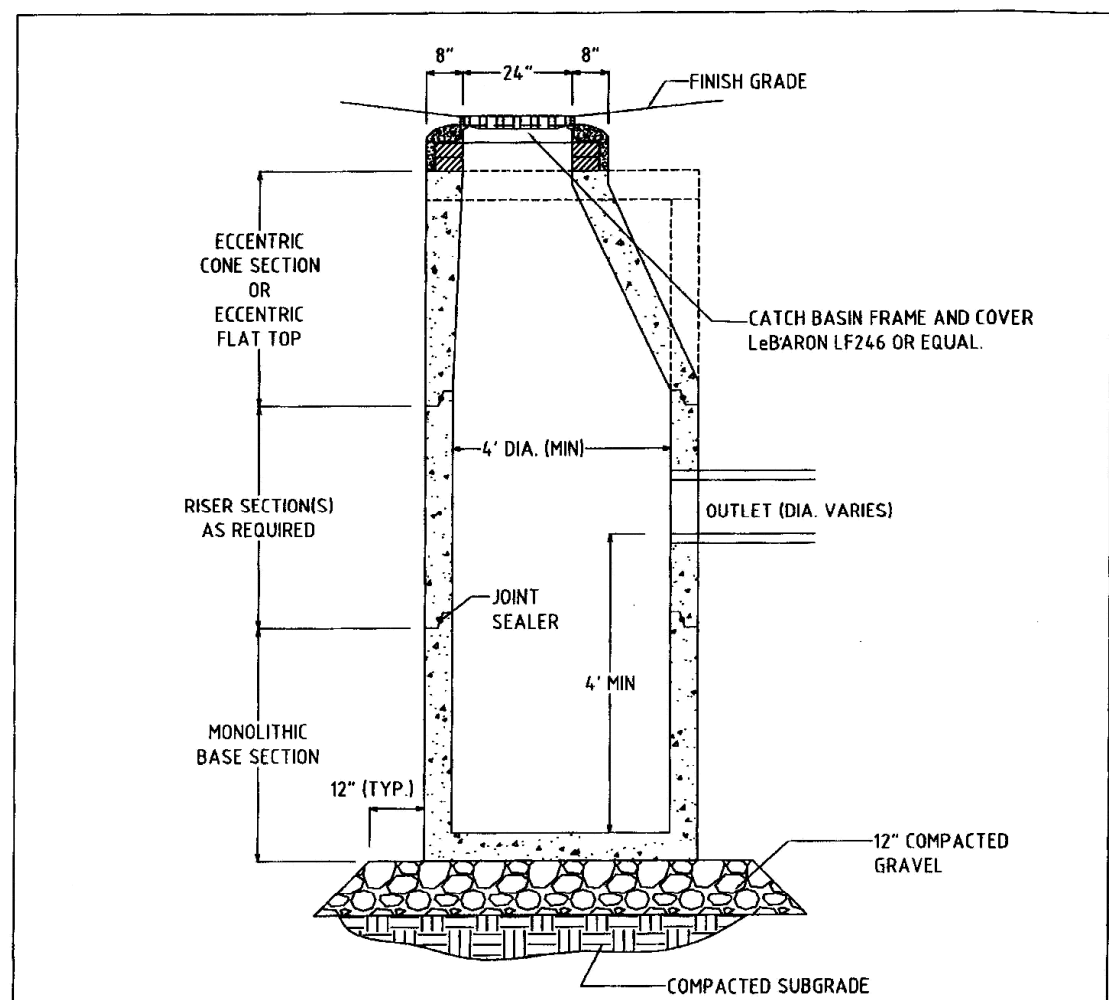
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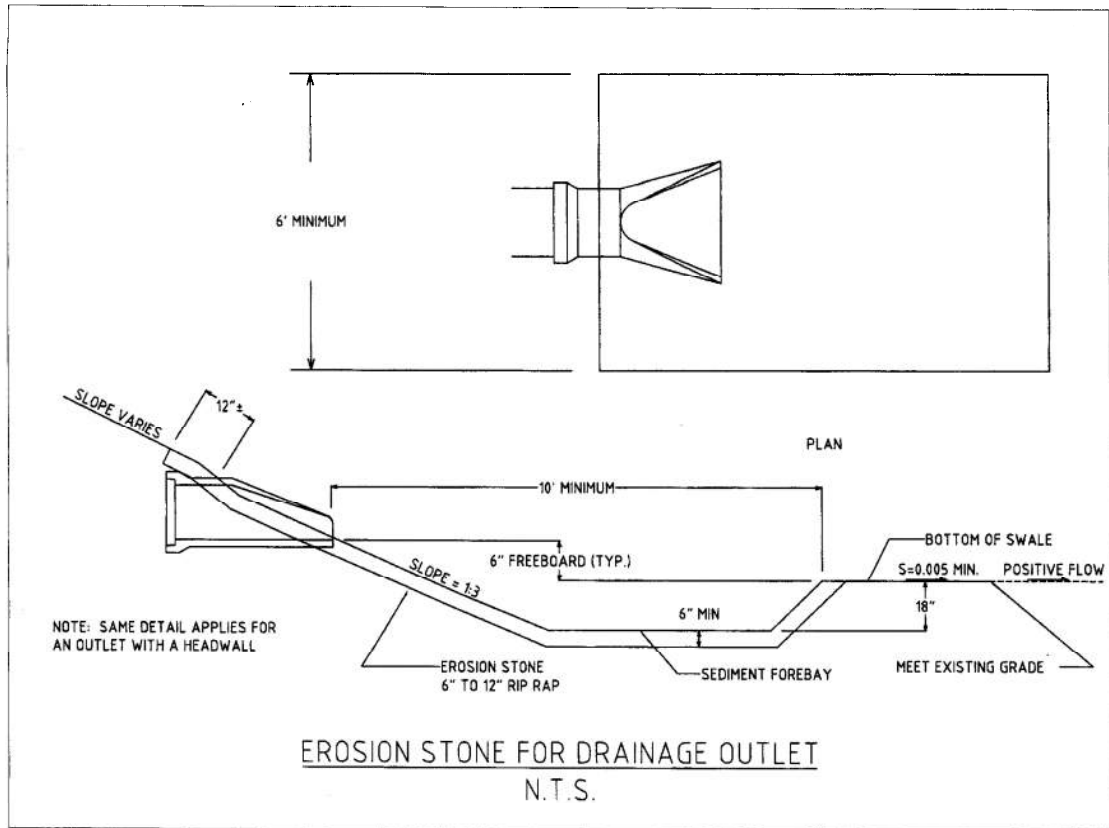




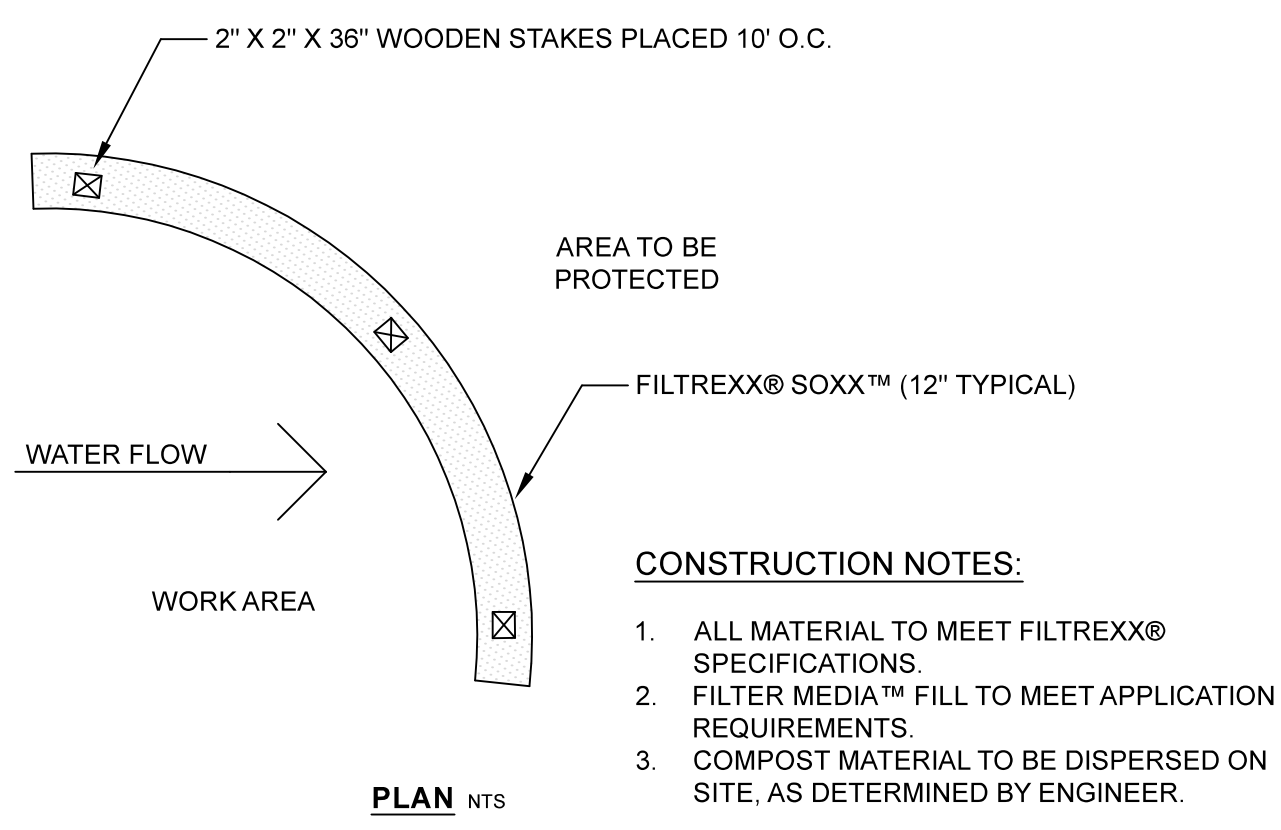
TOWN OF ANDOVER 2004



TOWN OF ANDOVER 2004

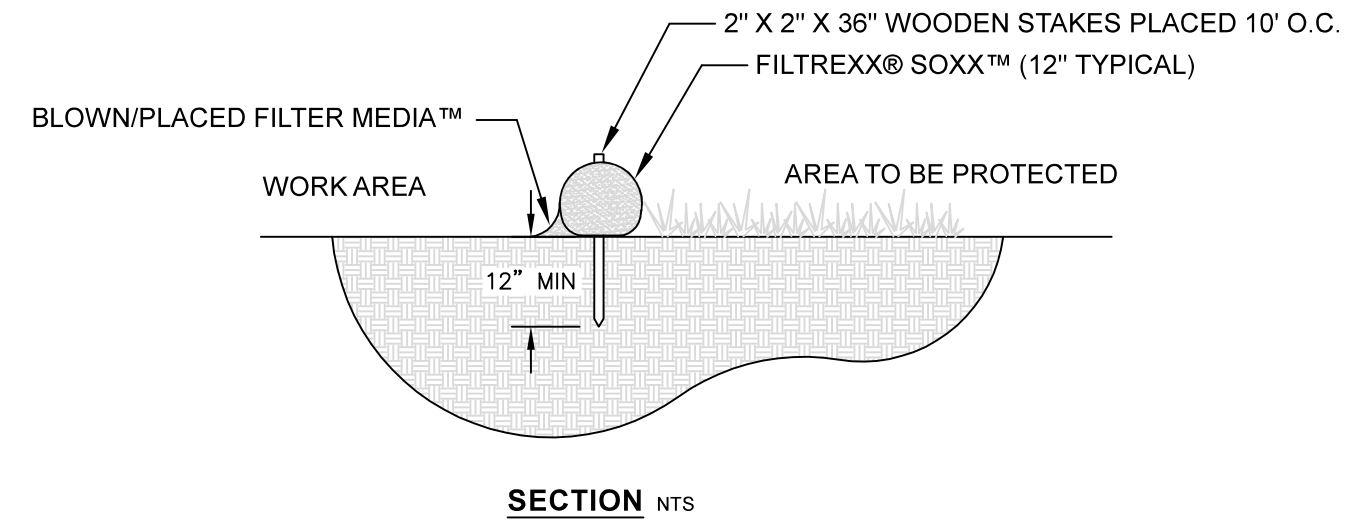


TOWN OF ANDOVER 2004



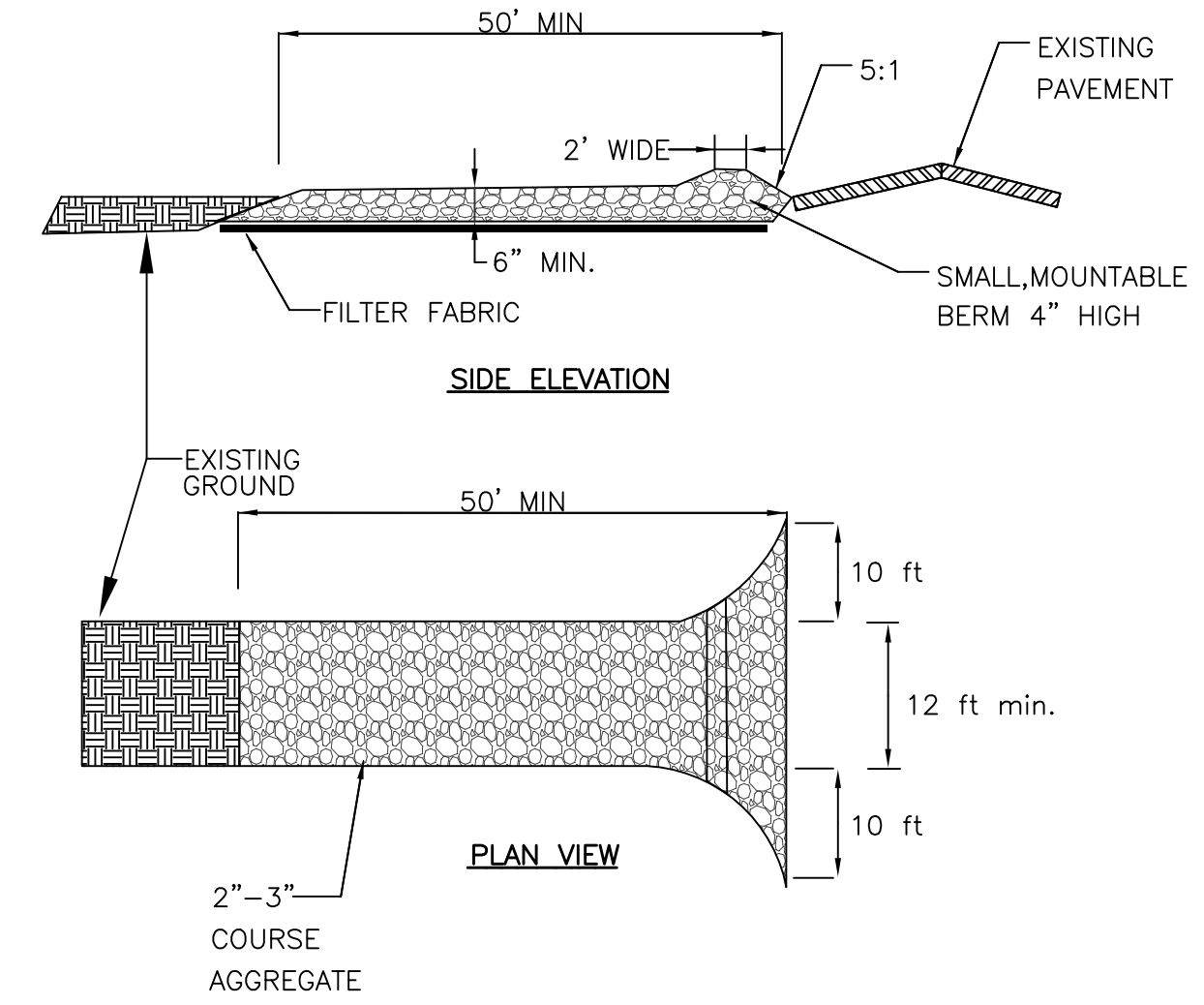
**COMPOST FILTER SOCK**

- INSTALLATION
- PERIMETER CONTROL USED FOR CONTROL OF SEDIMENT IN STORM RUNOFF SHALL MEET FILTREXX SOXX MESH MATERIAL AND FILTREXX CERTIFIED FILTERMEDIA SPECIFICATIONS.
  - PERIMETER CONTROL WILL BE PLACED AT LOCATIONS INDICATED ON PLANS AND IN A MANNER AS DIRECTED BY THE ENGINEER OR MANUFACTURER.
  - PERIMETER CONTROL SHOULD BE INSTALLED PARALLEL TO THE BASE OF THE SLOPE OR OTHER DISTURBED AREA.
  - EFFECTIVE SOXX HEIGHT IN THE FIELD FOR 12" DIAMETER SOXX SHOULD BE = 9.5" HIGH.
  - STAKES SHOULD BE INSTALLED THROUGH THE MIDDLE OF THE PERIMETER CONTROL ON 10 FT CENTERS, USING NOMINAL 2 IN BY 2 IN BY 3 FT WOODEN STAKES.
  - STAKING DEPTH FOR SAND AND SILT LOAM SOILS SHALL BE 12 IN.
  - LOOSE COMPOST MAY BE BACKFILLED ALONG THE UPSLOPE SIDE OF THE PERIMETER CONTROL, FILLING THE SEAM BETWEEN THE SOIL SURFACE AND THE DEVICE, IMPROVING FILTRATION AND SEDIMENT RETENTION.

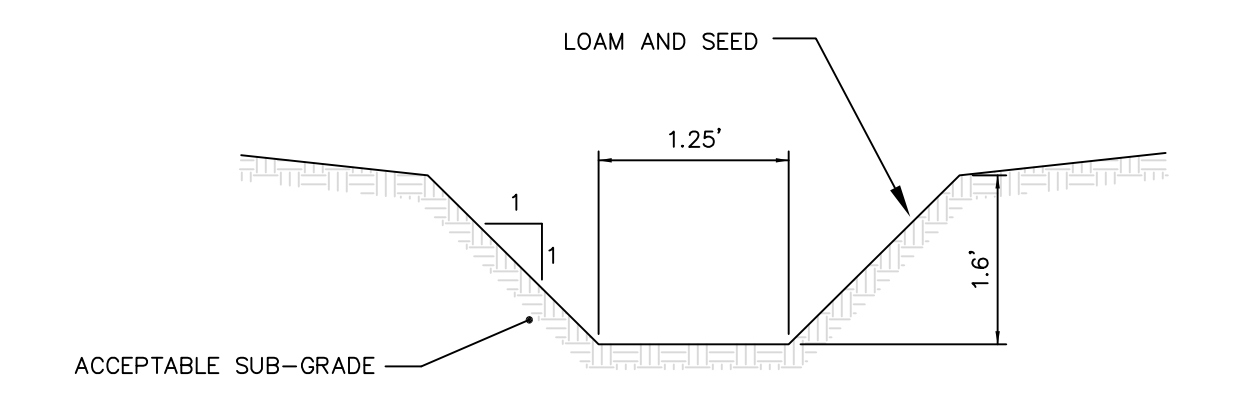


**INSPECTION & MAINTENANCE**

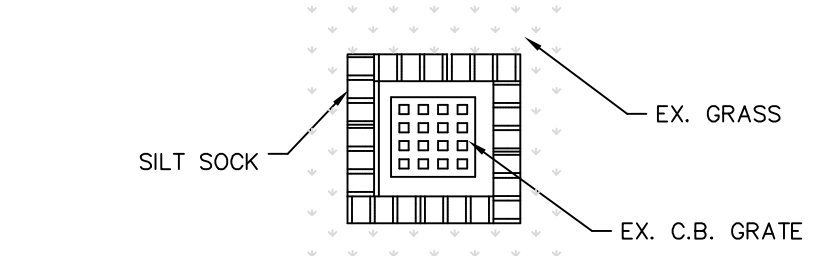
- ROUTINE INSPECTION SHOULD BE CONDUCTED WITHIN 24 HRS OF A RUNOFF EVENT OR AS DESIGNATED BY THE REGULATING AUTHORITY. PERIMETER CONTROL SHOULD BE REGULARLY INSPECTED TO MAKE SURE THEY MAINTAIN THEIR SHAPE AND ARE PRODUCING ADEQUATE HYDRAULIC FLOW-THROUGH. IF PONDING BECOMES EXCESSIVE, ADDITIONAL PERIMETER CONTROL MAY BE REQUIRED TO REDUCE EFFECTIVE SLOPE LENGTH OR SEDIMENT REMOVAL MAY BE NECESSARY. PERIMETER CONTROL SHALL BE INSPECTED UNTIL AREA ABOVE HAS BEEN PERMANENTLY STABILIZED AND CONSTRUCTION ACTIVITY HAS CEASED.
- THE CONTRACTOR SHALL MAINTAIN THE PERIMETER CONTROL IN A FUNCTIONAL CONDITION AT ALL TIMES AND IT SHALL BE ROUTINELY INSPECTED.
  - IF THE PERIMETER CONTROL HAS BEEN DAMAGED, IT SHALL BE REPAIRED, OR REPLACED IF BEYOND REPAIR.
  - THE CONTRACTOR SHALL REMOVE SEDIMENT AT THE BASE OF THE UPSLOPE SIDE OF THE PERIMETER CONTROL WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE SOXX, OR AS DIRECTED BY THE ENGINEER. ALTERNATIVELY, A NEW PERIMETER CONTROL CAN BE PLACED ON TOP OF AND SLIGHTLY BEHIND THE ORIGINAL ONE CREATING MORE SEDIMENT STORAGE CAPACITY WITHOUT SOIL DISTURBANCE.
  - PERIMETER CONTROL SHALL BE MAINTAINED UNTIL DISTURBED AREA ABOVE THE DEVICE HAS BEEN PERMANENTLY STABILIZED AND CONSTRUCTION ACTIVITY HAS CEASED.
  - THE FILTERMEDIA WILL BE DISPERSED ON SITE ONCE DISTURBED AREA HAS BEEN PERMANENTLY STABILIZED, CONSTRUCTION ACTIVITY HAS CEASED, OR AS DETERMINED BY THE ENGINEER.
  - FOR LONG-TERM SEDIMENT AND POLLUTION CONTROL APPLICATIONS, PERIMETER CONTROL CAN BE SEEDED AT THE TIME OF INSTALLATION TO CREATE A VEGETATIVE FILTERING SYSTEM FOR PROLONGED AND INCREASED FILTRATION OF SEDIMENT (CONTAINED VEGETATIVE FILTER STRIP). THE APPROPRIATE SEED MIX SHALL BE DETERMINED BY THE ENGINEER.



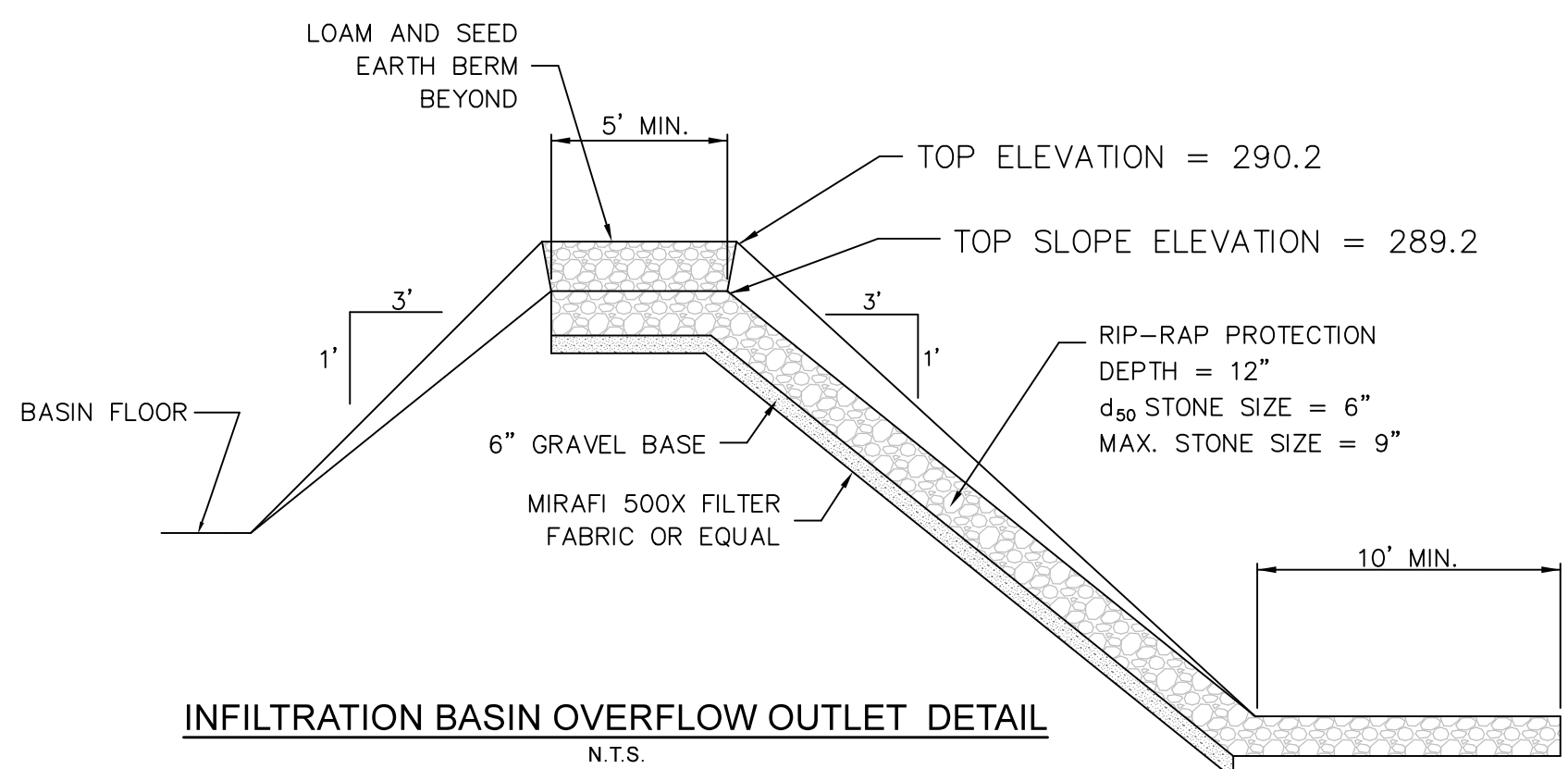
TEMPORARY STABILIZED CONSTRUCTION ENTRANCE N.T.S.



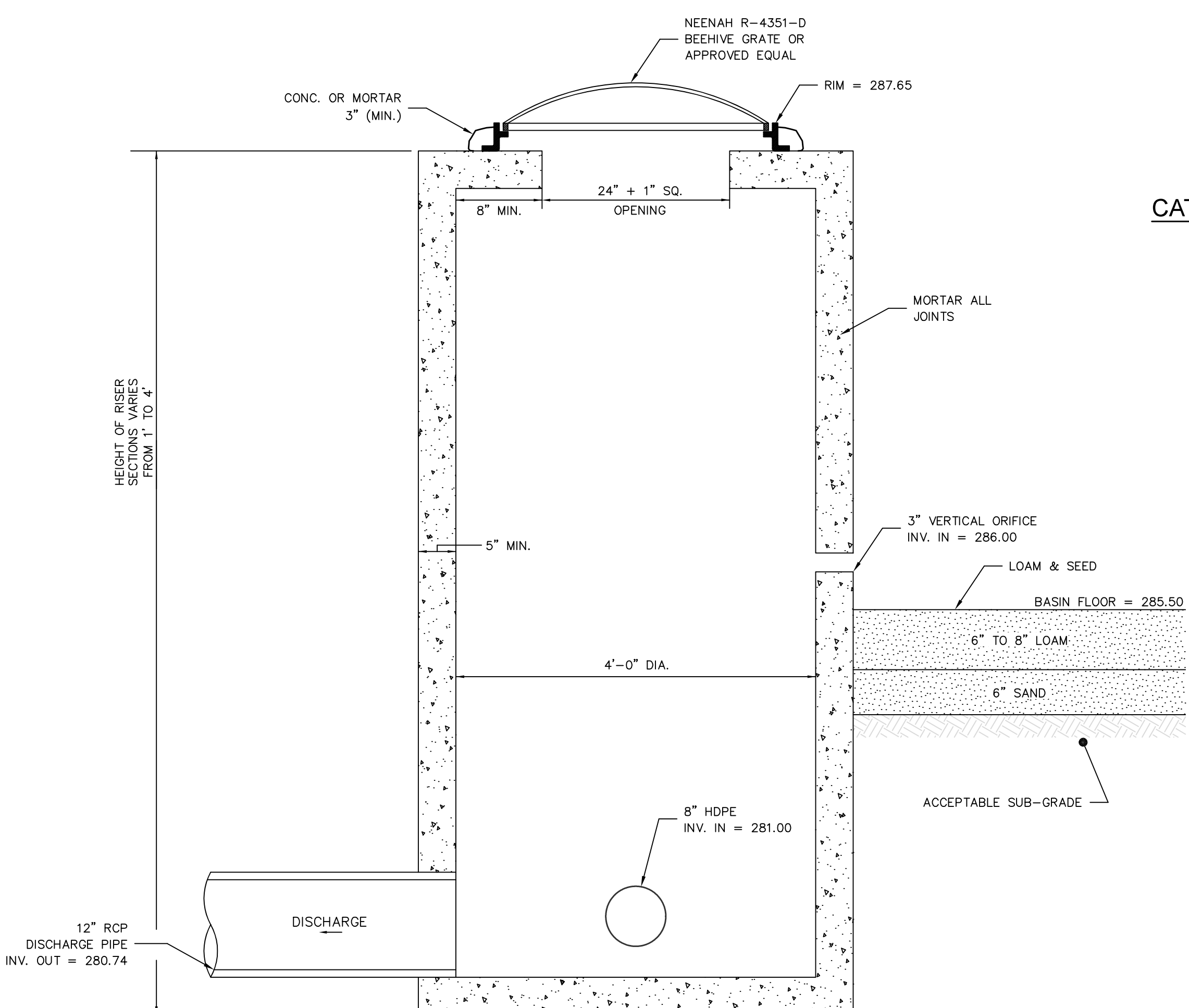
GRASSED CHANNEL DETAIL N.T.S.



CATCH BASIN PROTECTION DETAIL N.T.S.



INFILTRATION BASIN OVERFLOW OUTLET DETAIL N.T.S.



DETENTION BASIN OUTLET STRUCTURE N.T.S.

I, \_\_\_\_\_, CLERK OF THE TOWN OF ANDOVER, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

\_\_\_\_\_  
TOWN CLERK

APPROVED BY THE TOWN OF ANDOVER PLANNING BOARD

\_\_\_\_\_  
DATE

FILED \_\_\_\_\_  
HEARING \_\_\_\_\_

Engineer / Surveyor:  
**DK Engineering LLC**  
60 Granite Lane, Chester, NH 03038  
Phone Number: (603) 605-9298  
E-mail Address: dan@dk-engineering.com

**EDEN ESTATES**

Engineer:  
**DANIEL KORAVOS**  
CIVIL  
No. 37752  
PROFESSIONAL ENGINEER

Surveyor:  
**DK Engineering LLC**  
60 Granite Lane, Chester, NH 03038  
Phone Number: (603) 605-9298  
E-mail Address: dan@dk-engineering.com

Applicant:  
**EDEN LANE, LLC**  
42 School Street  
Andover, MA 01810

Owner(s):  
**EDEN LANE, LLC**  
42 School Street  
Andover, MA 01810

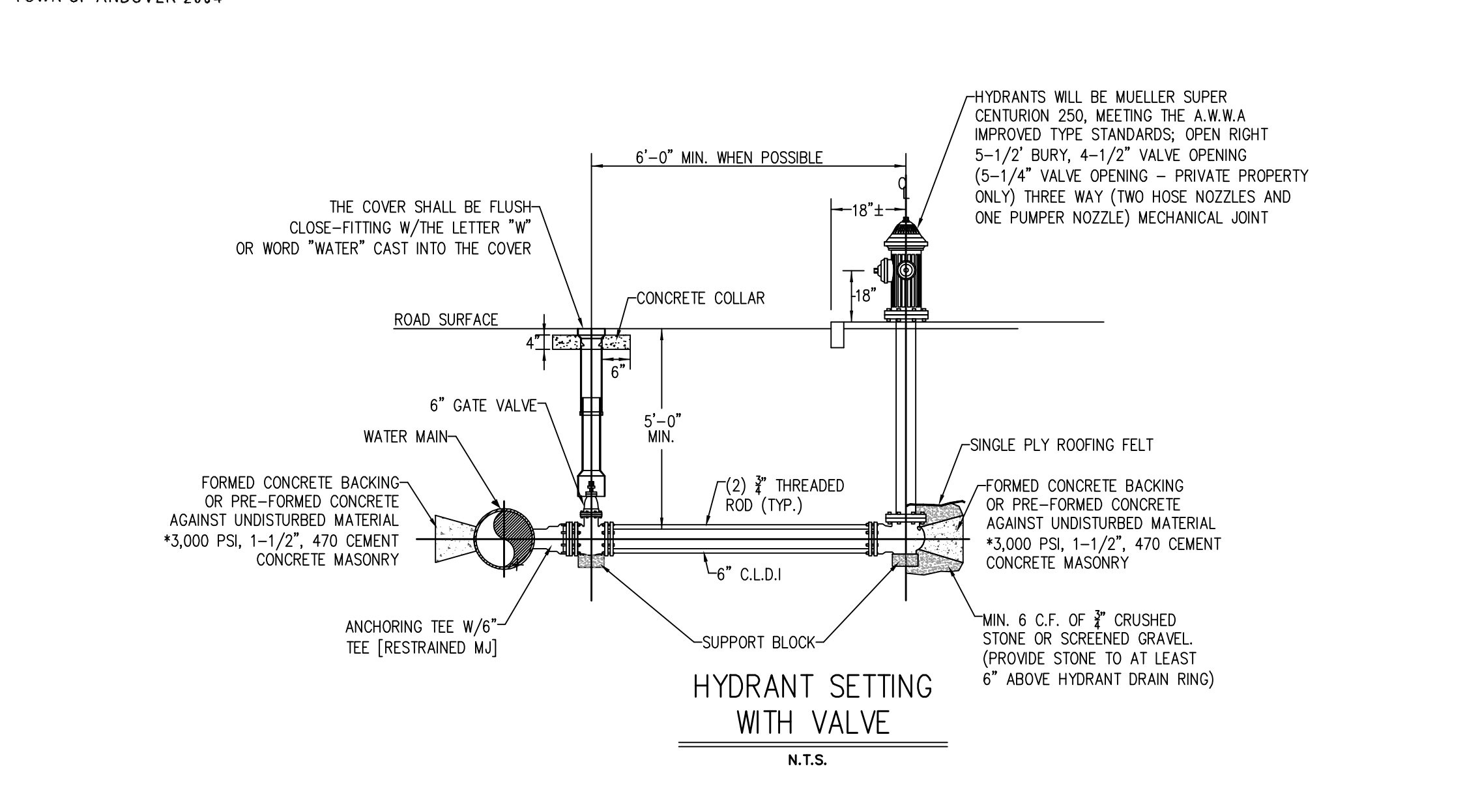
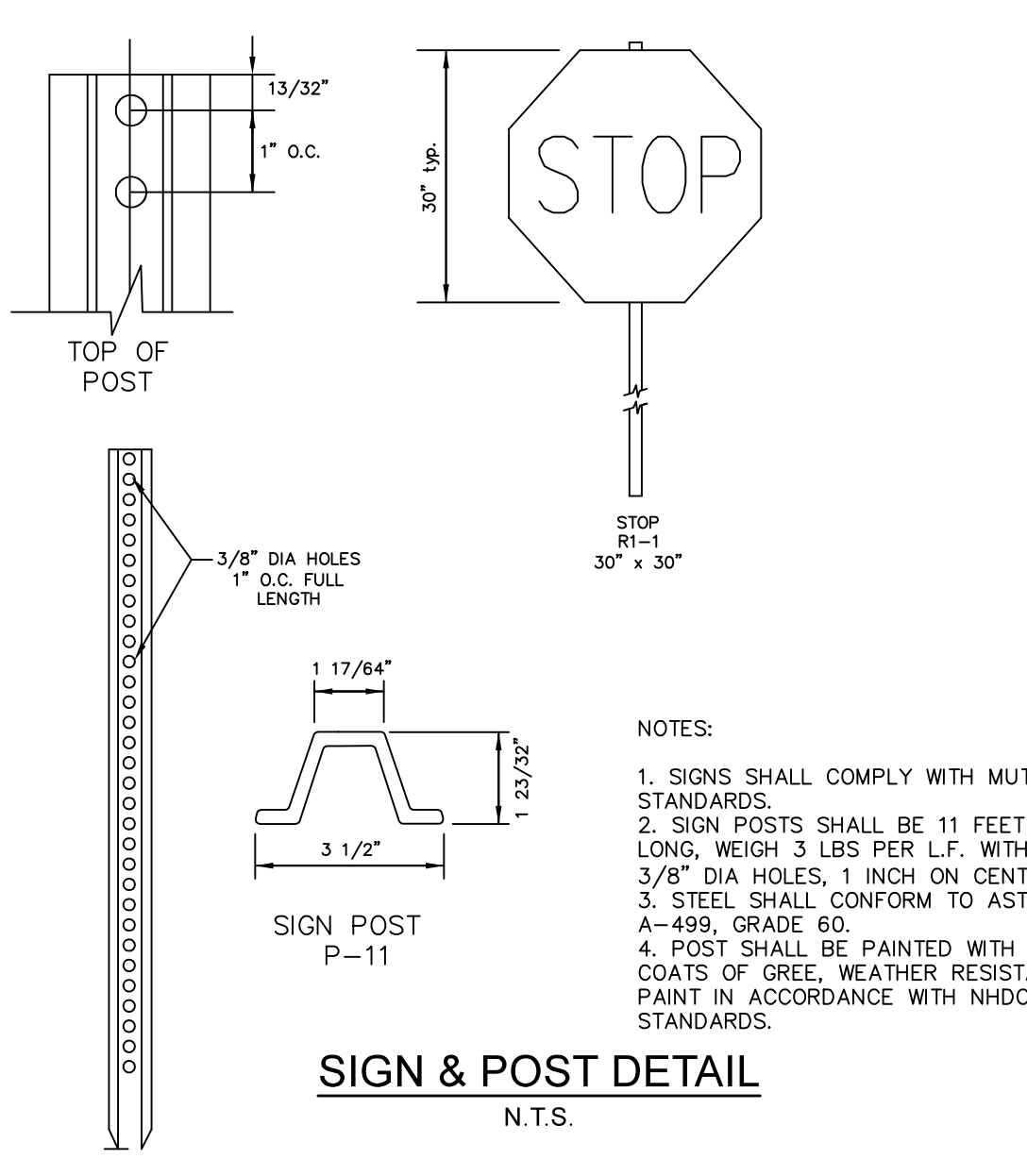
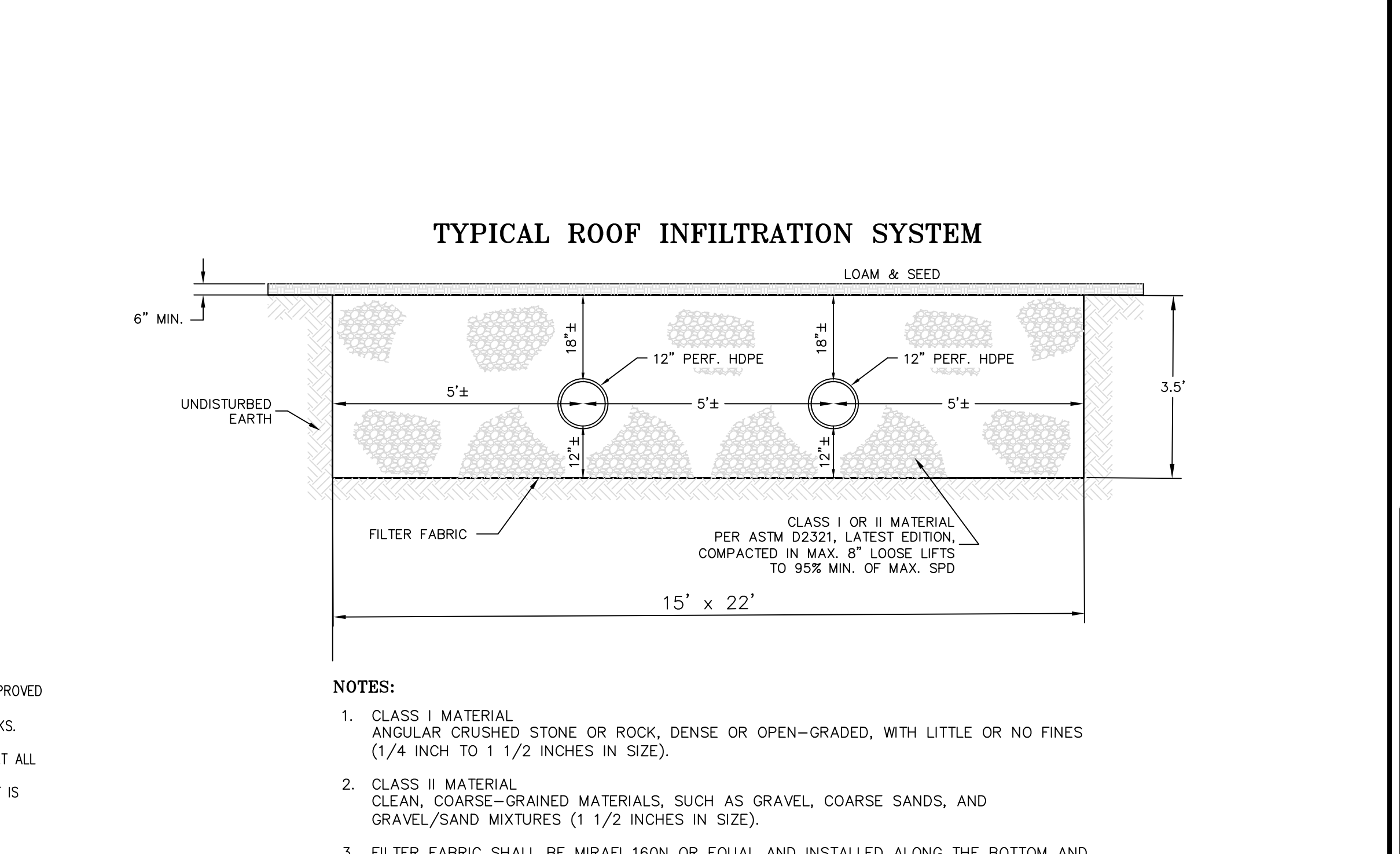
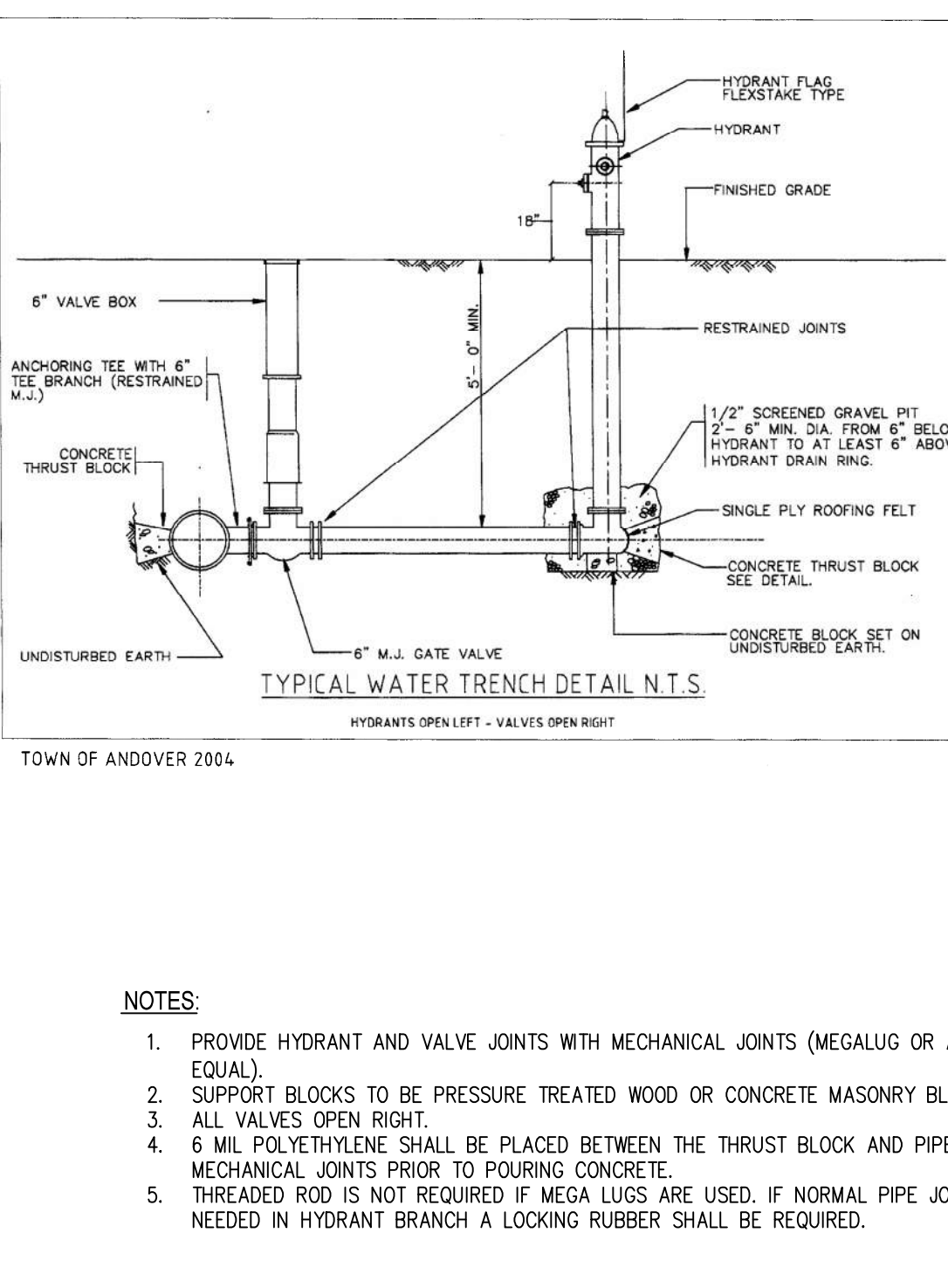
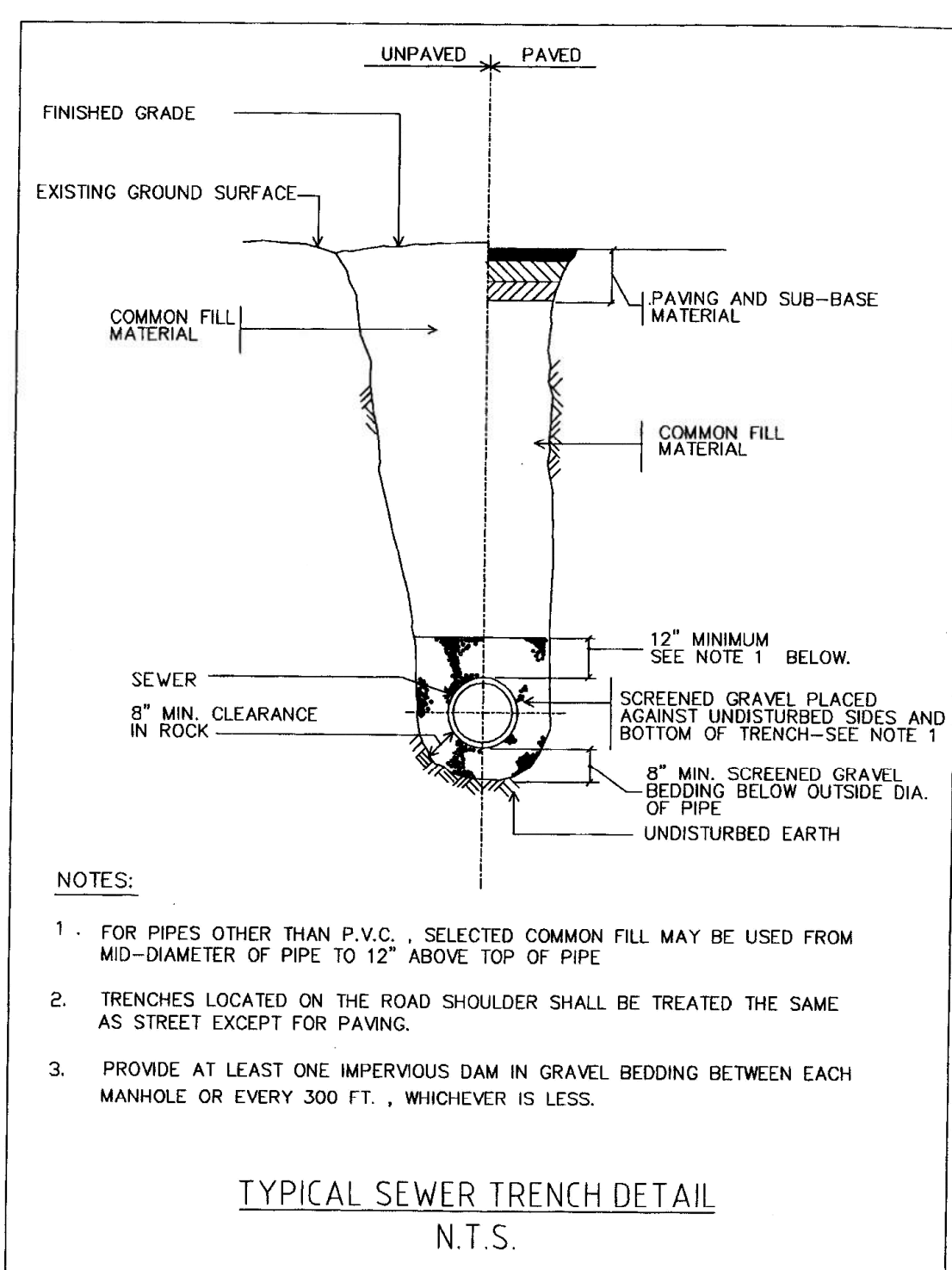
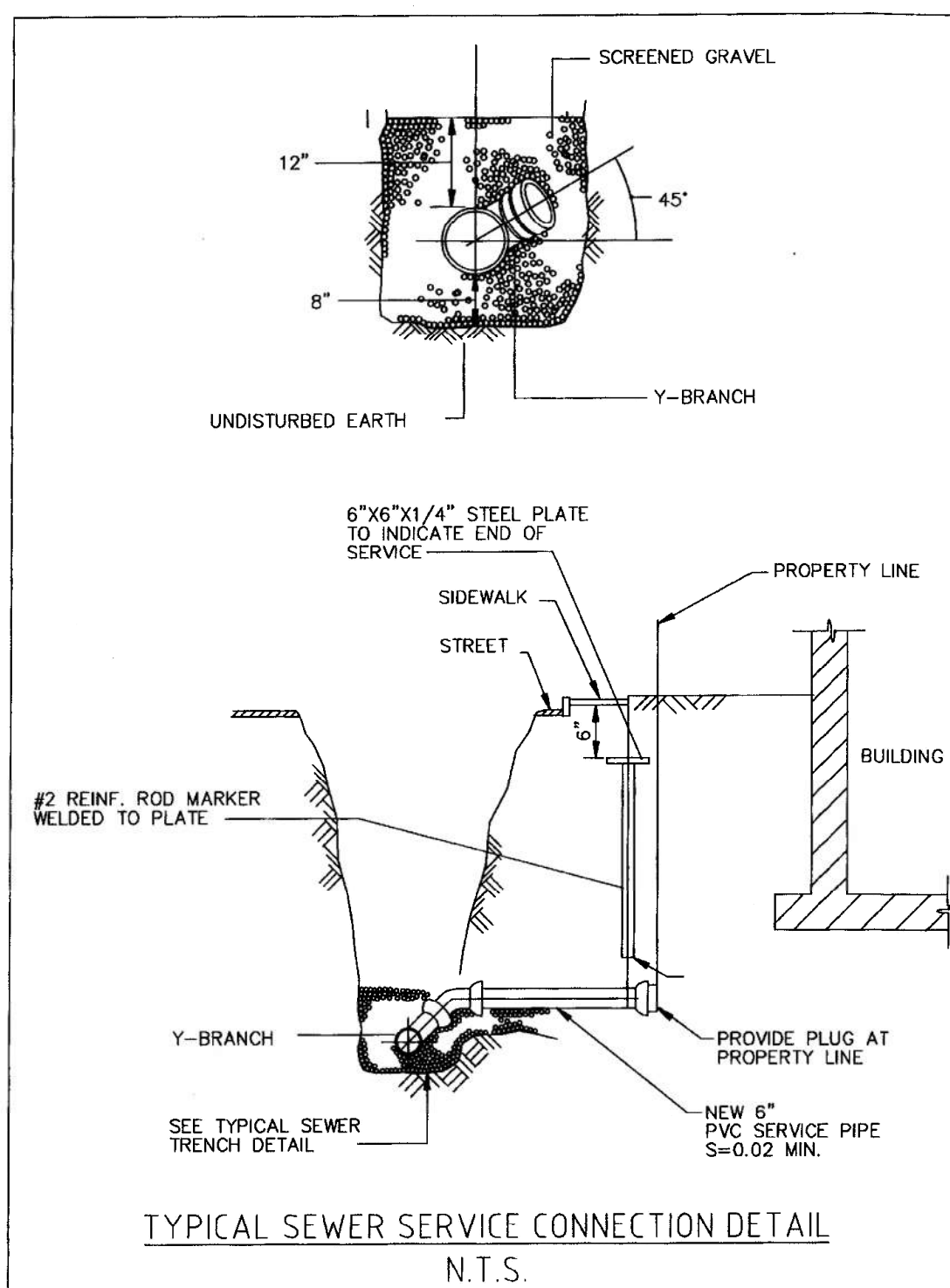
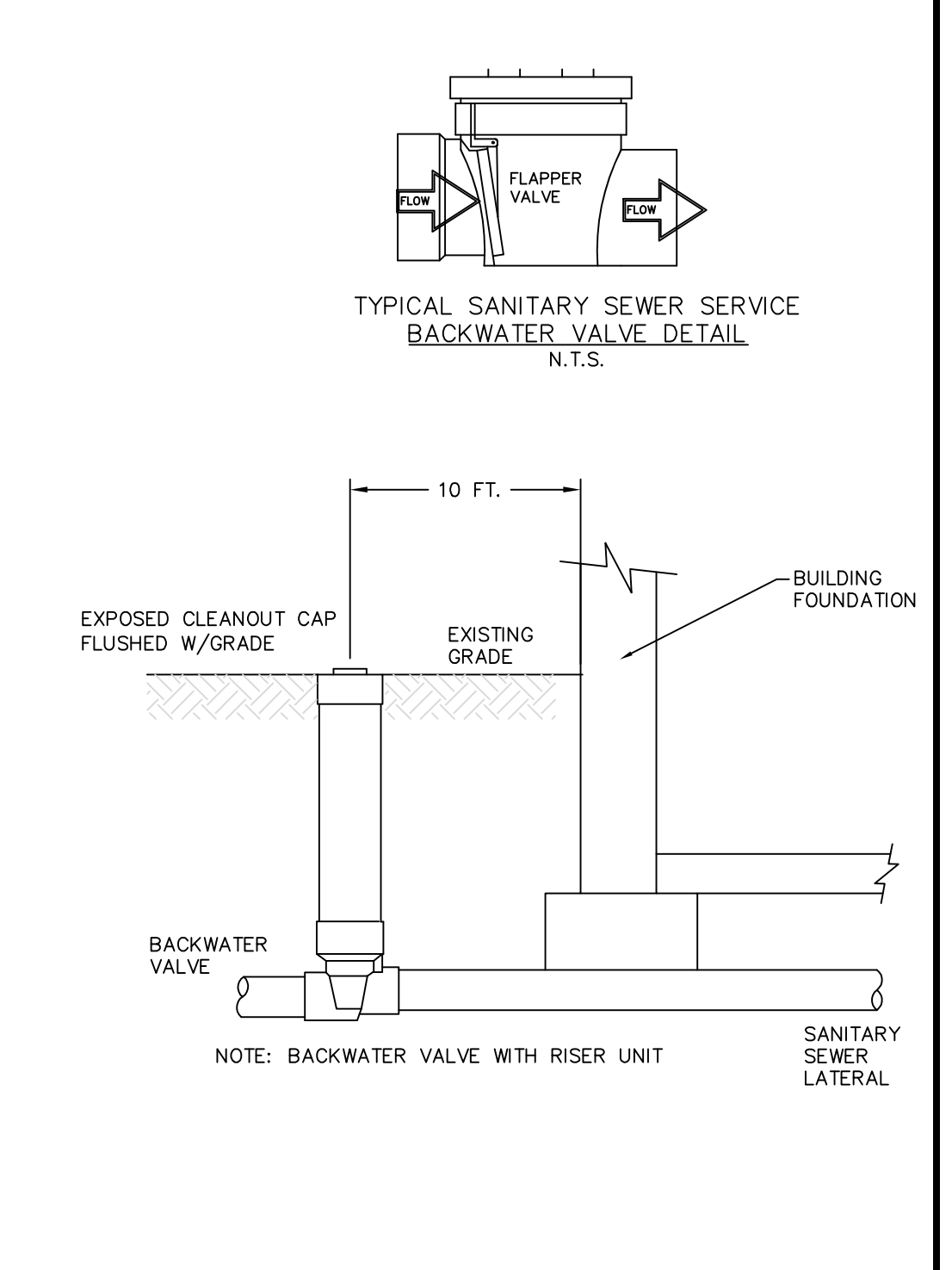
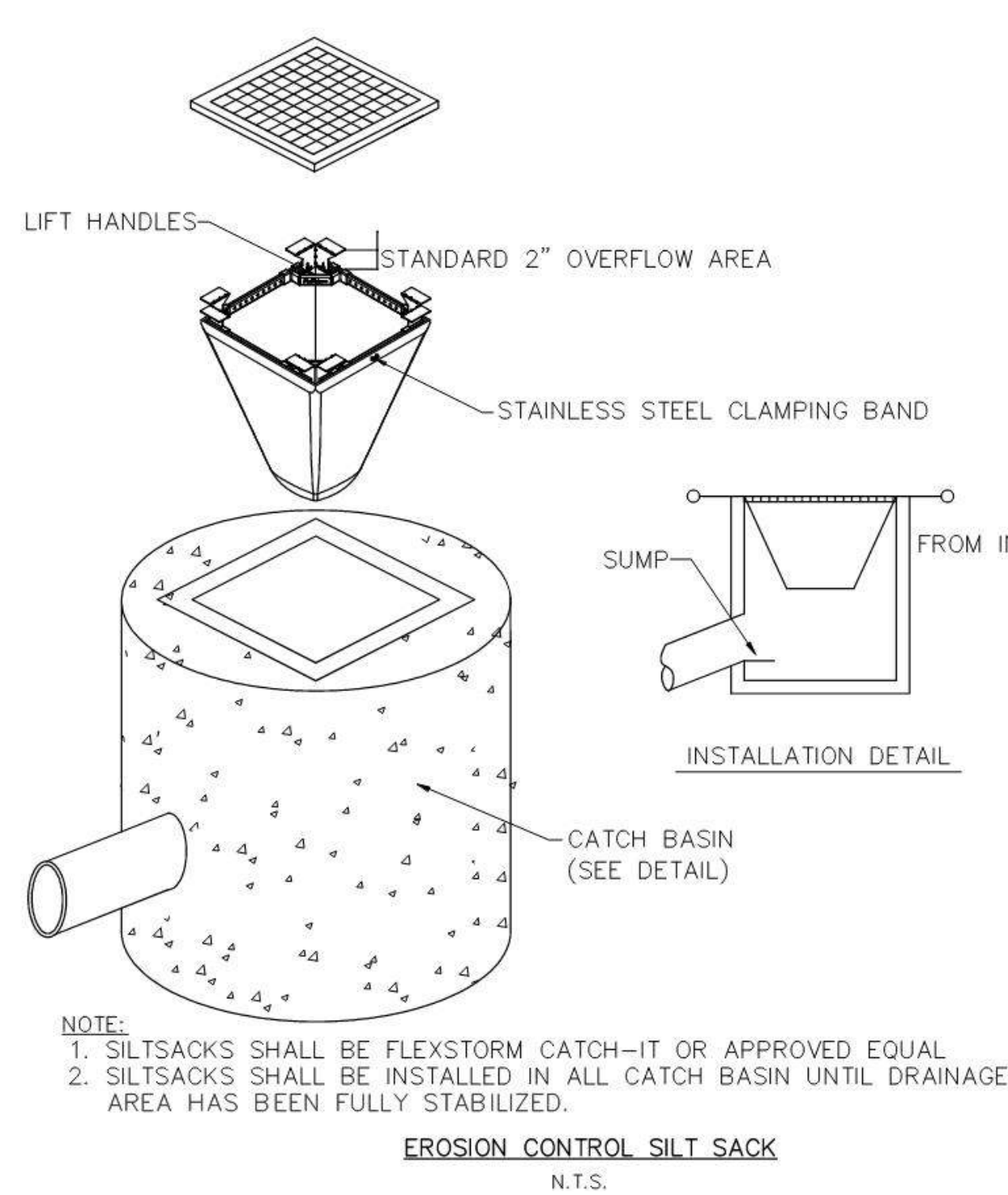
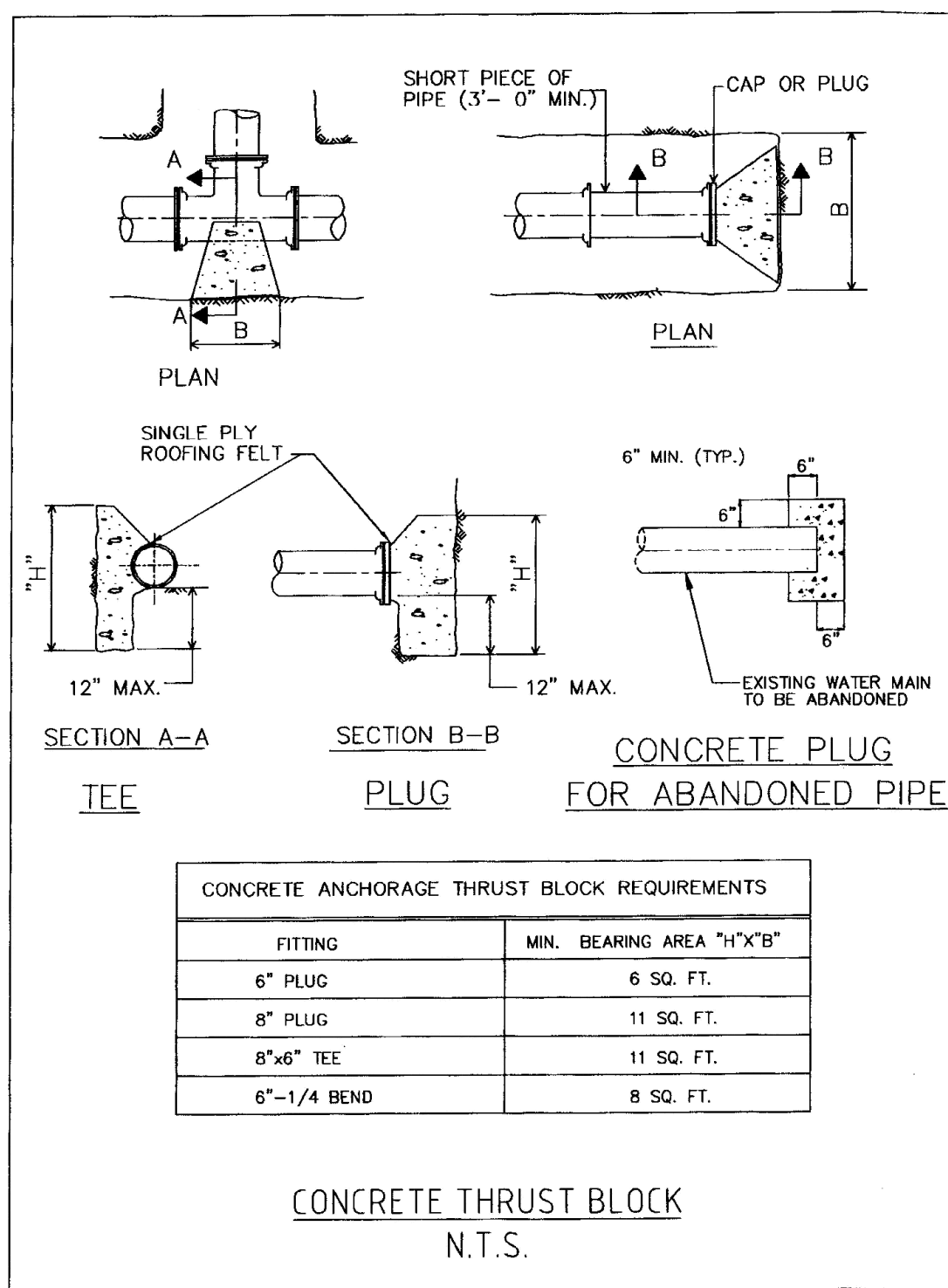
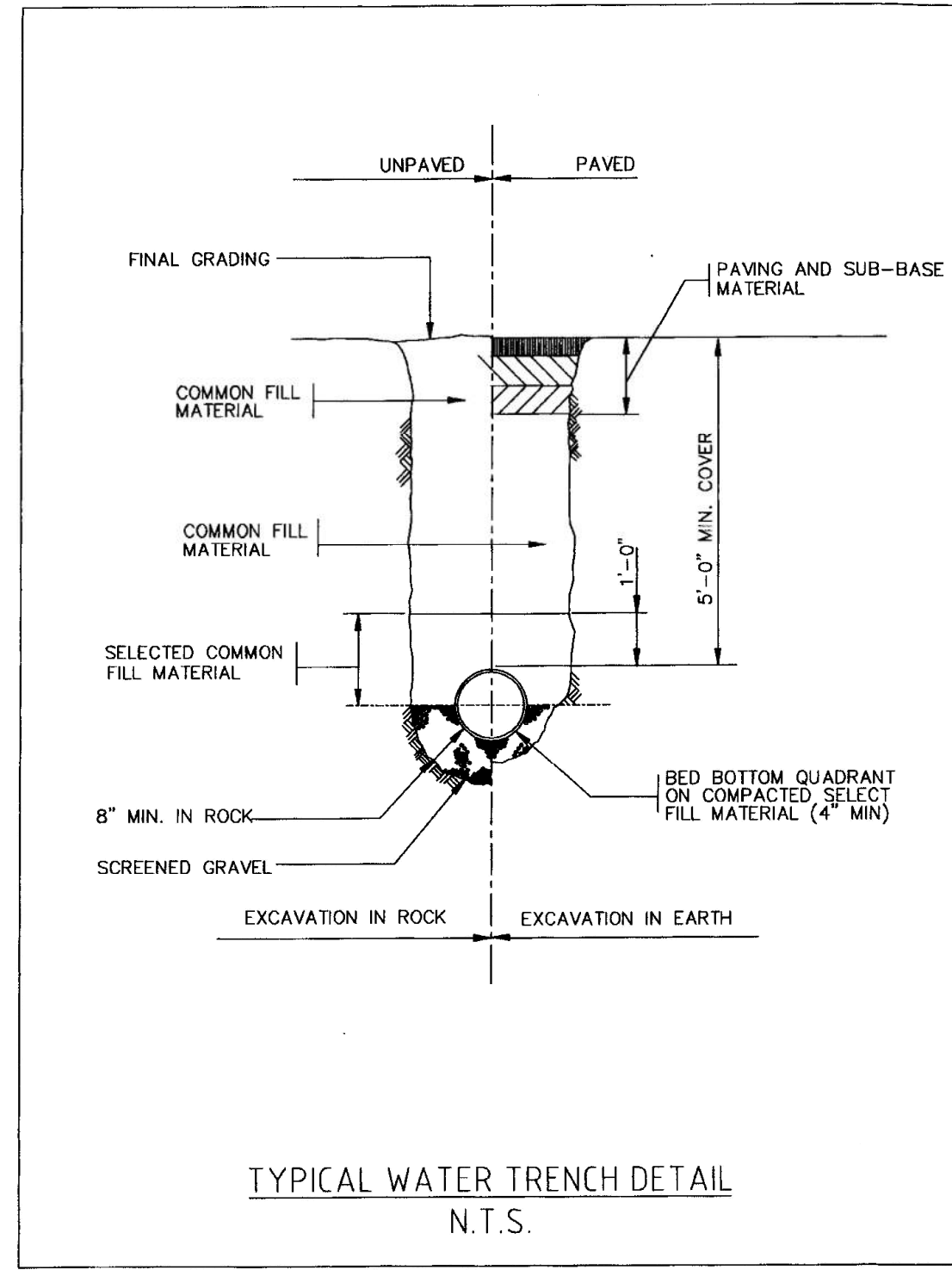
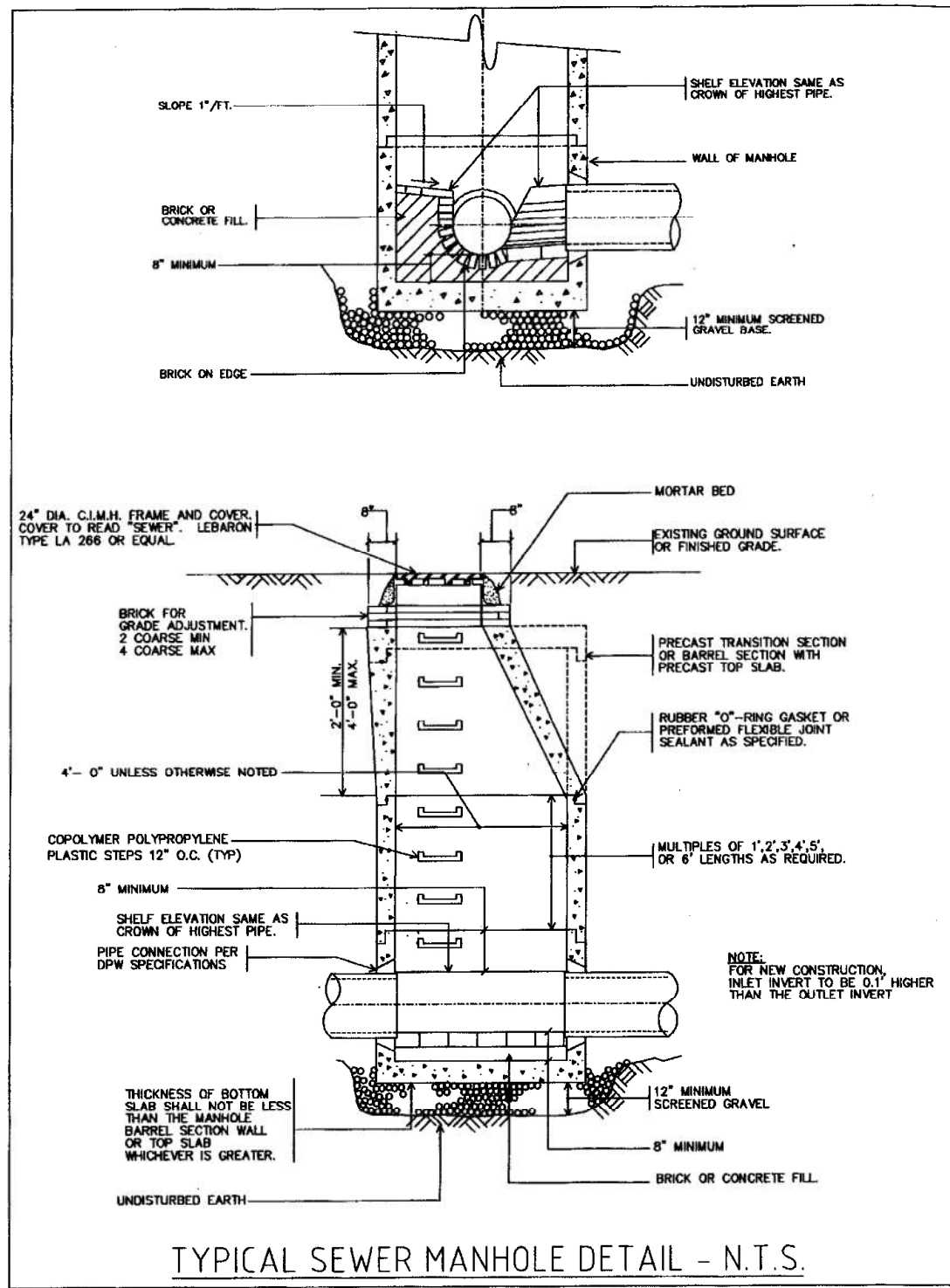
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9			
8			
7			
6			
5			
4			
3			
2	08/08/24	DK	REV. PER SECOND SET OF HWG REVIEW COMMENTS
1	07/14/24	DK	REV. PER REVIEW COMMENTS & ADD LANDSCAPE PLAN NOT RELEASED FOR CONSTRUCTION

Assessor's Map & Lot:  
Map 59 & Lot 30  
Project No.: 42215  
Drawing Scale: AS NOTED  
Plan Date: 04/02/24  
Revised Date: 08/08/24

Sheet Title:  
**DETAIL SHEET**  
Drainage & Erosion Control

Sheet No.: **6**  
Total No. of Sheets: 8

Drawing name: D:\uk\_data\Projects\42215 - ADIC - 8 Bancroft St - Andover\dwg\42215 - Subd Plan - 2024-05-08.dwg  
Printed on: Aug 06, 2024 - 8:10pm



I, \_\_\_\_\_, CLERK OF THE TOWN OF ANDOVER, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

\_\_\_\_\_  
TOWN CLERK

APPROVED BY THE TOWN OF ANDOVER PLANNING BOARD

\_\_\_\_\_  
DATE

FILED \_\_\_\_\_  
HEARING \_\_\_\_\_

Engineer / Surveyor:

**DK Engineering LLC**  
60 Granite Lane, Chester, NH 03038  
Phone Number: (603) 605-9298  
E-mail Address: dan@dkeng.com

**FINDSEN SURVEY & DESIGN LLC**  
P.O. Box 612, Sandown, New Hampshire 03876  
E-mail Address: FSDLLC@gmail.com

Engineer:

**DANIEL KORAVOS**  
CIVIL  
No. 37752  
PROFESSIONAL ENGINEER

Surveyor:

Applicant:

**EDEN LANE, LLC**  
42 School Street  
Andover, MA 01810

Owner(s):

**EDEN LANE, LLC**  
42 School Street  
Andover, MA 01810

NO.	DATE	BY	DESCRIPTION	REV.	PER	SECOND SET OF HWG REVIEW COMMENTS
9						
8						
7						
6						
5						
4						
3						
2	08/08/24	DK	REV. PER SECOND SET OF HWG REVIEW COMMENTS			
1	07/14/24	DK	REV. PER REVIEW COMMENTS & ADD LANDSCAPE PLAN			

NOT RELEASED FOR CONSTRUCTION

Assessor's Map & Lot:  
Map 59 & Lot 30  
Project No.: 42215  
Drawing Scale: AS NOTED  
Plan Date: 04/02/24  
Revised Date: 08/08/24

Sheet Title:  
**DETAIL SHEET**  
Miscellaneous

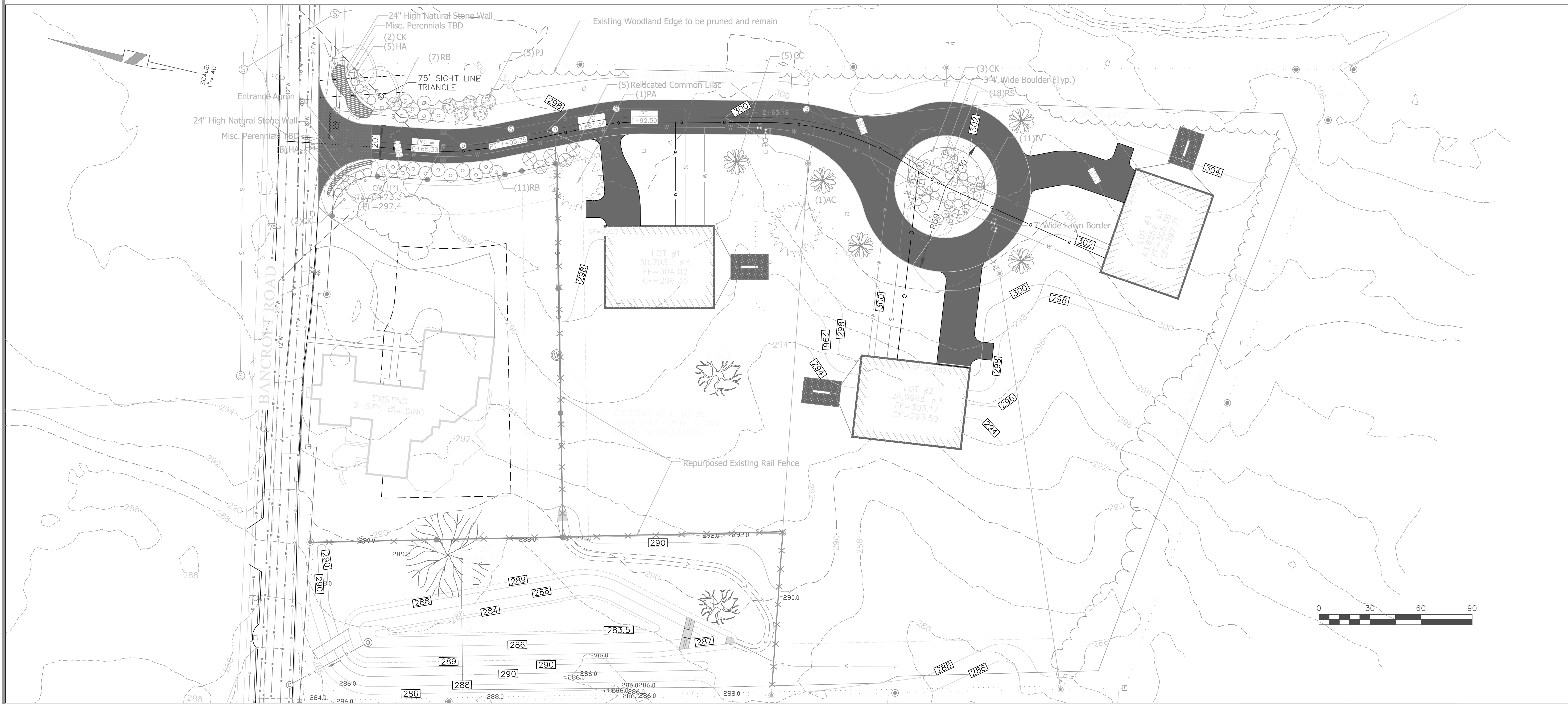
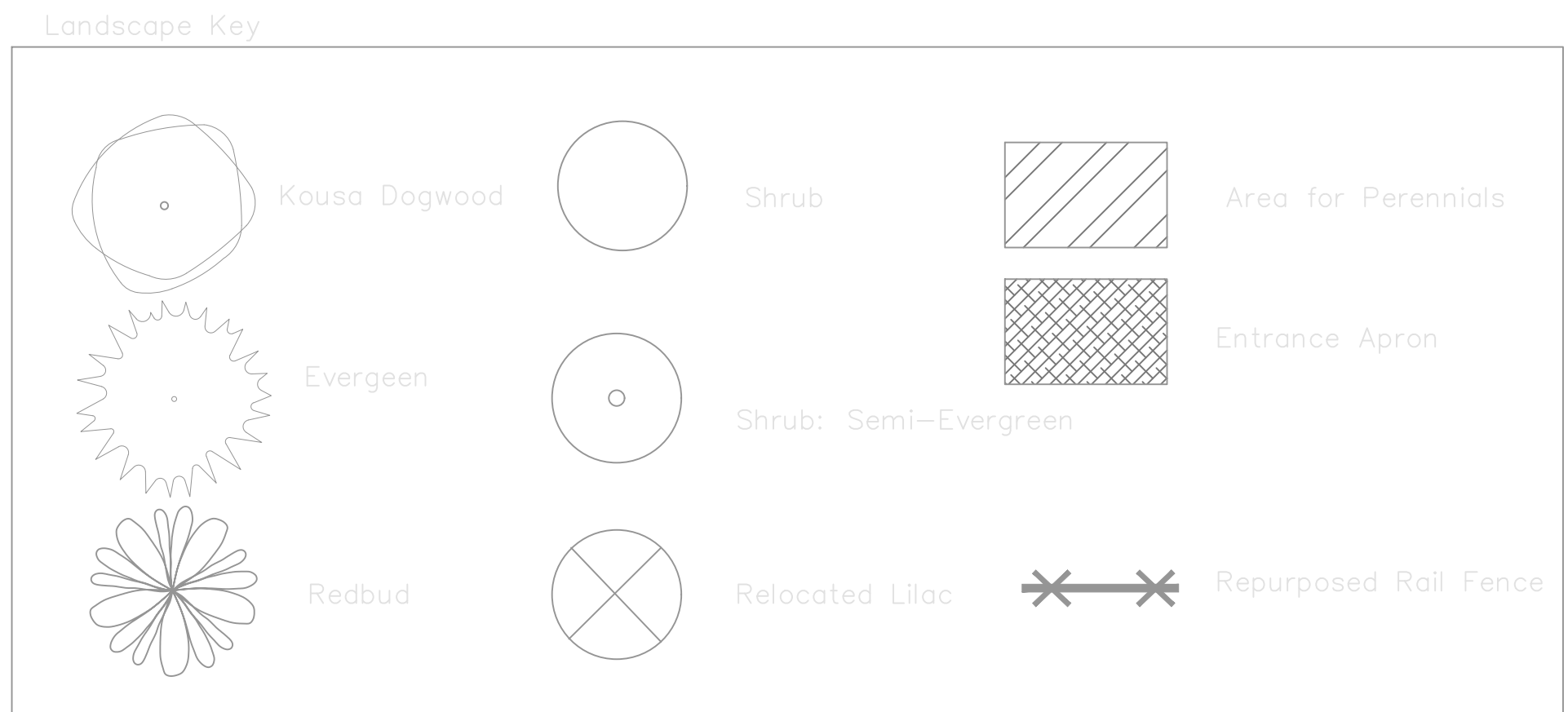
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Total No. of Sheets: **8**

Assessor's Name: D:\data\Projects\42215 - ADIC - 8 Bancroft St - Andover\Jung V2215 - Subd Plan 2024-05-08.docx

Printed on Aug 06, 2024 - 2:00pm

Eden Estates Plant Schedule					
Trees					
Qty.	Symbol	Botanical name	Common Name	Size	Notes
1	AC	Abies Concolor	White Fir	10-12' Height	
5	CC	Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	2.5-3" Caliper	
3	CK	Cornus Kousa	Kousa Dogwood	2.5-3" Caliper	
1	PA	Picea abies	Norway Spruce	10-12' Height	
Shrubs					
10	HA	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	7 Gal.	
11	IV	Illex verticillata 'Red Sprite'	Red Sprite Winterberry	5 Gal.	
5	PJ	Pieris japonica 'Mt. Fire'	Mt Fire Japanese Andromeda	3-4' Height	
18	RS	Rhododendron 'Schlippenbachii'	Azalea Schlippenbachii	3-4' Height	
18	RB	Rhododendron 'Boursault'	Boursault Rhododendron	7 Gal.	
Perennials/Groundcovers					
75+/-		Misc. Perennials species may include: Hosta va., Nepeta, Daylily, Daisy, Blackeyed Susan, Echinacea, Allium, Pachysandra, Ginger, Fern var.			
To be relocated:					
5		Syringa vulgaris	Common Lilac	7+	



EDEN ESTATES  
**Mara landscape design, LLC**  
 16 Myrtle Ave. Newburyport, MA 01950 105 BANK STREET Lebanon, NH 03766  
 maralandscape@gmail.com 978.868.0331

Applicant:  
 EDEN LANE, LLC  
 42 School Street  
 Andover, MA 01810

Owner(s):  
 EDEN LANE, LLC  
 42 School Street  
 Andover, MA 01810

NO.	DATE	BY	DESCRIPTION
1	07/12/24	DK	REV. PER REVIEW COMMENTS & ADD LANDSCAPE PLAN
2			NOT RELEASED FOR CONSTRUCTION

Assessor's Map & Lot:  
 Map 59 & Lot 30

Project No.: 42215 Drawing Scale: 1"=30'

Plan Date: 04/02/24 Revised Date: 07/12/24

Sheet Title:  
**LANDSCAPE PLAN**

Sheet No.: **8**

Total No. of Sheets: 8

\_\_\_\_\_, CLERK OF THE TOWN OF ANDOVER, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

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APPROVED BY THE TOWN OF ANDOVER PLANNING BOARD DATE \_\_\_\_\_

FILED \_\_\_\_\_

HEARING \_\_\_\_\_